

PLANNING COMMISSION AGENDA

Regular Meeting

March 12, 2025 at 7:00 PM



- 1) **CALL TO ORDER**
- 2) **ROLL CALL**
- 3) **APPROVAL OF MINUTES** - Items can be added or deleted from the Agenda by board action.
 - A. Approval of January 8, 2025 Planning Commission Minutes
 - B. Approval of February 20, 2025 Special Planning Commission Minutes
- 4) **APPROVAL OF AGENDA** - Items can be added or deleted from the Agenda by board action.
- 5) **PUBLIC COMMENT ON AGENDA ITEMS** Persons addressing the board are required to give their name and address for the record when called upon by the Chair. Members of the public shall be limited to speaking for a maximum of five (3) minutes. Comments should address AGENDA ITEM topics. Public Hearing items should be addressed during the PUBLIC HEARING portion of the meeting agenda. Non-Agenda items should be addressed during the PUBLIC COMMENT-NON-AGENDA ITEMS portion of the meeting agenda.
- 6) **PUBLIC HEARINGS & SUBSEQUENT BOARD ACTION**
- 7) **OLD BUSINESS**
- 8) **REPORTS AND RECOMMENDATIONS/NEW BUSINESS**
 - A. 210 WINSTON DRIVE HOTEL - INTRODUCTION
- 9) **PUBLIC COMMENT ON NON-AGENDA ITEMS** Persons addressing the board are required to give their name and address for the record when called upon by the Chair. Members of the public shall be limited to speaking for a maximum of five (3) minutes. Comments should address NON-AGENDA ITEM topics. Public Hearing items should be addressed during the PUBLIC HEARING portion of the meeting agenda. Agenda items should be addressed during the PUBLIC COMMENT-AGENDA ITEMS portion of the meeting agenda.
- 10) **BOARD REPORTS**
- 11) **ADJOURNMENT**

PLANNING COMMISSION MINUTES

January 8, 2025

Regular Meeting - 7:00 PM

1) **CALL TO ORDER**

IN A REGULAR SESSION held on Wednesday, January 8, 2025 at 7:00 PM in the Council Chambers of City Hall, 323 West Michigan Ave, Marshall, MI 49068, the Marshall Planning Commission was called to order by Chair McNiff.

2) **ROLL CALL**

Roll was called:

Present: Chair McNiff, Vice Chair Banfield, Bright, Fitzgerald, Hodo, Stewart

Also Present: Deputy Clerk Cary

Absent: Zuck

3) **APPROVAL OF MINUTES** - Items can be added or deleted from the Agenda by board action.

A. Approval of December 11, 2024 Meeting Minutes

Moved by Tim Banfield, supported by Aron Hodo to approve the December 11, 2024, meeting minutes. On a voice vote: **Motion carried.**

4) **APPROVAL OF AGENDA** - Items can be added or deleted from the Agenda by board action.

Moved by Ian Stewart, supported by Aron Hodo to approve the agenda as presented. On a voice vote: **Motion carried.**

5) **PUBLIC COMMENT ON AGENDA ITEMS** Persons addressing the board are required to give their name and address for the record when called upon by the Chair. Members of the public shall be limited to speaking for a maximum of five (5) minutes. Comments should address AGENDA ITEM topics. Public Hearing items should be addressed during the PUBLIC HEARING portion of the meeting agenda. Non-Agenda items should be addressed during the PUBLIC COMMENT-NON-AGENDA ITEMS portion of the meeting agenda.

none

6) **COMMISSION ORGANIZATION**

A. ELECTION OF OFFICERS

Moved by Tim Banfield, supported by Tim Fitzgerald to elect Lisa McNiff as Chair of Planning Commission. On a voice vote: **Motion Carried.**

Moved by Lisa McNiff, supported by Tim Fitzgerald to elect Tim Banfield as Vice Chair of Planning Commission. On a voice vote: **Motion Carried.**

B. JOINT PLANNING COMMISSION APPOINTMENTS

Chair McNiff appointed Aron Hodo as Joint Planning Commissioner and Carter Bright as an alternate for the Joint Planning Commissioner.

7) **PUBLIC HEARINGS & SUBSEQUENT BOARD ACTION**

A. 2025 - CAPITAL IMPROVEMENT PLAN PUBLIC HEARING

Chair McNiff opened the Public Hearing for the 2025 Capital Improvement Plan at 7:04PM.

"Hearing no public comment, Chair McNiff closed the Public Hearing for the 2025 Capital Improvement Plan at 7:05PM."

Moved by Tim Banfield, supported by Aron Hodo to Approve the 2025-2031 Capital Improvement Plan for the City of Marshall and move it on to City Council. On a voice vote: **Motion Carried.**

Banfield asked why some of the columns are not listed as a priority. Director of Community Development Strange stated that before it goes to City Council staff will go in and add those priority lists that were missed.

Scott Wolfersberger, Mayor of Marshall, stated that prioritization goes to what has been assessed as the largest need, but if the largest need is the most expensive, then they may try to complete projects in the lower categories, so at least some things get accomplished.

8) OLD BUSINESS

none

9) REPORTS AND RECOMMENDATIONS/NEW BUSINESS

A. 1154 WEST MICHIGAN AVE SITE DEVELOPMENT PLANS - INTRODUCE AND SET PUBLIC HEARING

Moved by Tim Banfield, supported by Aron Hodo to set a Public Hearing for 1154 West Michigan Avenue Site Development Plans for February 12, 2025, at the regularly scheduled Planning Commission meeting. On a voice vote: **Motion Carried.**

Discussion:

Director of Community Development Strange stated that the engineer and the owner of 1154 West Michigan Avenue were here, and that what is in the packet is the preliminary site plan. She stated that there have been some communications about the parking allotment and current numbers are based on what Marriot's recommendation is, but the zoning ordinance for parking allows us to add parking spaces based on meeting room sizes. Her recommendation is that several spots be allocated for future parking addition to limiting the amount of asphalt on site initially and that a note could be added to the property, so if people are complaining about people parking on adjacent properties for hotel business, we can go in and request they implement that additional parking. She further stated there is an island just right outside the site on Michigan Ave, and there is a request by MDOT for this project to pay for the modification of the island to accommodate additional stacking on Michigan Ave. She said that they are planning to implement solar panels to cover up areas in the parking lot.

Fitzgerald asked what does it mean by stacking? Director Strange described that stacking is when cars are waiting in a line, it is the length of area where five or six cars

take up and MDOT is expecting more cars needing to wait to turn into the hotel driveway than what previously has been needed. MDOT is trying to make sure people are not waiting in the driving lane, by transforming it into a turn lane.

Andrew Rossell from AR Engineering stated that the property owner and the solar company are here and happy to answer any questions. We are working on approximately 17,600 square foot footprint Marriot Hotel, with 101 rooms, indoor pool, a little breakfast area that turns into a bar at night, conference rooms and an outdoor patio. There will be 110 parking spaces on site with eleven for future allocated parking. We plan to have solar canopies over parking spaces to provide shade in the summer and shelter from the snow. They have been reviewing the site plan with MDOT and have gone through traffic impact assessments. MDOT wants more stacking in the left turn lane because of their standards. The median island that is there now will be modified. We have been working with the city about the storm water. We have 9,300 cubic feet of underground storm water storage, which is significantly more than what is out there right now.

Banfield asked about how many conference rooms, how big they are, and how many people. Hodo has concerns that if you have a big conference, there will not be enough parking. Rossell answered that the conference or meeting rooms would be used during the day, when about 80% of the rooms are unoccupied, unless they are an extended stay. Chair McNiff stated that we're not talking about ballrooms that would be suitable for weddings or larger conferences.

Savinder Singh stated that the conference rooms are required by the franchise. If there is a meeting, it is normally used during the day when most guests are not in the hotel rooms. The reason for putting the solar in is that we want to make it a green hotel, and it serves a dual purpose. The solar carports will still be aesthetic to match the Marriott.

Banfield stated that the ordinance doesn't include solar roof structures, so they have to be considered structures and meet the setbacks in the ordinance.

Director Strange stated that the staff and Andrew can work to ensure setbacks are met prior to the next Planning Commission meeting or the Planning Commission could give contingent approval at the next meeting. She will confer with the city attorney for the correct interpretation of the current zoning language prior to the next Planning Commission meeting.

Banfield stated that the landscape plan requires a licensed landscape architect and any of the sides with residential zoning needs to be screened. Rossell stated that the plan would be signed and sealed prior to the next planning meeting.

Discussion was brought up about underground storm management. Banfield discussed concerns about maintenance of the underground and that it would require a maintenance agreement with the city. Rossell described how the first row is an isolation row with a manhole for ease of cleaning. Banfield deferred to the city engineer's judgement.

Questions were brought up about charging stations for cars. There are 4 designated spaces in the hotel parking lot. Their location was discussed, and the designer will confirm the final location as part of construction documents.

Discussion confirmed walkability of the site remains as it is on Michigan Ave and that pedestrian traffic from north to south through the site still connects.

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B. DISCUSS EAST PROSPECT VACATION

Director Strange explained a vacation of the street is the area of the street, and the right of way is turned over from the city to the owners of the properties on either side of the street. Oaklawn has requested a vacation of Prospect Street on the north side of the hospital. They have parking immediately adjacent on the north side and then the emergency room is on the south side. Oaklawn's intent is to make way for the expansion of the emergency department. This action is purely the vacation of the street turning it from public property to private property. There are utilities in the right of way that would need to be dealt with through an easement. She states the City Council is requesting that the planning commission review the vacation and provide their input.

Chair McNiff stated it is pretty clear that it is the city council's domain.

Mayor of Marshall Wolfersberger explained that the planning commission is an advisory board to city council, and they are seeking the commissions input.

Mr. Degraw stated he is here to answer any questions. He is the attorney that has represented the hospital for the last 60 years. He contacted the city on October 4th and asked to vacate the portion of East Mansion Street lying between Madison and High. The street is primarily used by hospital patients, visitors and employees as most people avoid it because of the jog of the street. The purpose of vacating is to make room for the emergency room expansion. The emergency room needs about 11,000 or 12,000 square feet as they are only currently at 8,000 square feet, and there has been an increase in patient volume that they see continuing to grow.

Mr. Degraw discussed the history of Oaklawn Hospital.

The ordinance in the hospital campus overlay district 3.1.16 Section A purpose number three. Expansion of health care and supporting issues within the hospital campus overlay district. The anticipate the increase. As healthcare services and related uses continue to expand, street closures may also be a component of the district subject to city council approval. The hospital campus overlay provides the regulatory framework to permit expansion of health care and supporting uses.

The intent is to push this back off to staff at this point to collect some additional information. Director Strange will coordinate a timeline.

- 10) PUBLIC COMMENT ON NON-AGENDA ITEMS** Persons addressing the board are required to give their name and address for the record when called upon by the Chair. Members of the public shall be limited to speaking for a maximum of five (5) minutes. Comments should address NON-AGENDA ITEM topics. Public Hearing items should be addressed during the PUBLIC HEARING portion of the meeting agenda. Agenda items should be addressed during the PUBLIC COMMENT-AGENDA ITEMS portion of the meeting agenda.

Scott Wolfersberger Mayor of Marshall gave public comment.

11) BOARD REPORTS

Commissioner Stewart stated that the steering committee meeting is tomorrow (January 9th), happy to see that process still continues. The Marshall Area Conservation

Committee meeting was held tonight. We have a tree planting scheduled for April 26th. This will be the first of two for this year. There is a lot of talk about trees, but looking in the long term at things, what we can do to get more trees to build our canopy to keep it healthy and keep it going. Curious through the master plan process and future discussions as a commissioner about what we can do to expand our tree code.

Commissioners Bright, Hodo and Banfield will be gone in February. Commissioner Banfield will also be gone in March.

12) ADJOURNMENT

The meeting was adjourned at 8:49pm.

Respectfully submitted by,

Brandie Cary
Deputy Clerk

PLANNING COMMISSION MINUTES

February 20, 2025
Special Meeting - 7:00 PM

1) CALL TO ORDER

IN A SPECIAL SESSION held on Thursday, February 20, 2025 at 7:00 PM in the Council Chambers of City Hall, 323 West Michigan Ave, Marshall, MI 49068, the Marshall Planning Commission was called to order by Chair McNiff.

2) ROLL CALL

Roll was called:

Present: Chair Lisa McNiff, Carter Bright, Tim Fitzgerald, Aron Hodo, Ian Stewart, Jim Zuck

Also Present: Director Strange and Deputy Clerk Cary

Absent: Tim Banfield, Karl Sievertsen, Ryan Underhill

3) APPROVAL OF AGENDA - Items can be deleted from the Agenda by board action.

Moved by Aron Hodo, supported by Jim Zuck to amend the agenda to indicate that this is a special meeting and approve the remainder of the agenda. On a voice vote: **Motion Carried**

4) PUBLIC COMMENT ON AGENDA ITEMS Persons addressing the board are required to give their name and address for the record when called upon by the Chair. Members of the public shall be limited to speaking for a maximum of three (3) minutes. Comments should address AGENDA ITEM topics. Public Hearing items should be addressed during the PUBLIC HEARING portion of the meeting agenda. Non-Agenda items should be addressed during the PUBLIC COMMENT-NON-AGENDA ITEMS portion of the meeting agenda.

Emily Emerson Rich at 616 Union Street gave a summary of existing hotel room quantities and expressed concerns about allowing another hotel to be built in the City of Marshall.

5) PUBLIC HEARINGS & SUBSEQUENT BOARD ACTION

none

6) OLD BUSINESS

none

7) REPORTS AND RECOMMENDATIONS/NEW BUSINESS

A. 1154 WEST MICHIGAN AVE SITE DEVELOPMENT PLANS

Moved by Tim Fitzgerald, supported by Aron Hodo to consider and recommend the site plan 1154 W Michigan Ave.

Director Strange discussed the 1154 W Michigan site plan. She stated that there are some contingency items that we don't have necessarily documented as part of the drawing set that should be considered. The fire department questioned the turning radius to get onto the north side of the building. The recommendation is that we require more thorough coordination with the fire department. There was discussion that, if it was necessary, the small stretch of solar panels would be removed from the project to accommodate the fire department's needs. She discussed the placement of the solar

panels along the east side of the property. With that east side being residential, there is a 50-foot setback requirement. The solar panels in the 50-foot setback are being removed to meet requirements. The next recommendation is to allow the panel to extend to face the curb, so that the drip will hit the curb and grass instead of the parking lot. The supports for the panels would still be outside the setback requirements.

Stewart questioned if it was only the island units that would be considered to be removed.

Director Strange explained that the extents of the removed panels are indicated on the last drawing in the packet.

Director Strange discussed some landscape items.

Chair McNiff stated there are a lot of contingencies that she would have preferred to have seen incorporated into the stamped plans.

Jason Raleigh from AR Engineering spoke about the landscape. He stated that there are some labeled shrubs that need new labels, so the shrub will meet the requirements. Some of the trees by the residential area will be replaced with evergreens. The calipers of the trees will be changed as required. The size of the bushes will be changed to give the height at planting, and a final plant count will be given.

Fitzgerald had questions about the solar panels. He questioned the resiliency of the panels. Are they tested for hail and tornado-like hard impacts directly on the top of them? He asked if there are any hazardous materials inside the panels.

Joey Tatar from Solar Mounts stated that there is hail testing that they do in New Mexico. He stated that, normally, when a break happens during the installation process, it doesn't really happen when it's already installed. It would have to be a bowling ball dropped on it from quite high to actually break it. The panels crack through instead of just shattering and falling to the ground.

Chair McNiff questioned the elevations of the solar panels.

Joey Tatar from Solar Mounts discussed that their company builds everything to a 14-foot height minimum. He also discussed snow removal. Since the panels are tilted to the outer edge, there will be no problem with snow removal. The posts are also on the back edges, so there won't be any obstructions to the plow trucks.

Jason Raleigh from AR Engineering stated that a plow company can haul snow off site if needed.

Chair McNiff stated the lighting was an issue discussed at the last meeting, and it looks like you're working on the lighting for those areas where you can't have solar panels.

Jason Raleigh stated that they provided a photometric plan. We have been working with the city and city attorney to navigate through some of those setbacks that go between the solar section and the accessory building section. Where solar panels are being eliminated, the ordinance for minimizing and maintaining the downward directional

lighting and minimal throw will be met.

Chair McNiff asked if a contingent plan would be needed?

Director Strange recommended making it a staff review to require their approach be similar to the front. We want a similar type of lighting across the property to have a consistent look and feel throughout.

Chair McNiff agreed.

Director Strange discussed the storm water plan. She stated that one of the questions that came up at the meeting was that the water at the south end of the lot was making its way all the way to the back retention area. The fall of the piping from the front to the back gets back to the retention area.

Jason Raleigh spoke about storm water management. He stated that they have been working with the city and Spicer Group on how to maintain and design that system. He stated that all the piping is going around from front to the back, and everything is going to be a little bit deeper. The system back there is going to act as a storage area, and then as that system fills up it will start to slowly release.

Spicer Group review should be completed next week and there will need to be some contingencies on this bigger project. We'll make sure there aren't any loose ends from zoning, setbacks, building, and those items. The final details will be completed after Planning Commission approval, otherwise a huge amount of money would be spent redesigning if there were changes.

Stewart wants to make sure Marguerite feels good with the plan. The maintenance of the system has been clear.

Jason Raleigh stated that an agreement with the City would be confirmed with Marguerite for maintenance requirements. Accessible maintenance will make cleaning any sediment from the Isolator row easier. Good soils are on site. We did soil and geotechnical work to verify it.

Chair McNiff commented that the design seems appropriate, but we have no control over MDOT.

Savindor Singh commented that there has been communication with MDOT, a traffic impact assessment was completed and made an initial submittal probably 45 days ago. They came back with some minor comments that are being reviewed.

Jason Raleigh stated that one of the items is the width of the drives. So, the required width will also take care of the Fire Department concerns at the entry. The fire hydrant will be removed from the drawings.

Director Strange stated that the Fire Department doesn't like yard hydrants on private property and both the Fire Department and Water Department confirmed that they prefer to use the hydrants in the right of way. The existing hydrants will work with hose lengths. This was sorted out by the two departments in the last two days, after the packet was completed for consideration.

The Fire Department Connection on the building fitting must meet the City's requirements.

Chair McNiff commented that the Fire Department coordination with the solar panels will need to be a contingency item, and the connection at the FDC will need to be a contingency item.

Jason Raleigh stated that lot coverage meets requirements for all the solar panels. If any are eliminated for fire department coordination, it will just make the lot coverage numbers better for zoning.

Director Strange stated that the utilities coordination contingency should include electrical utility coordination. Just like we are requiring a revised site plan for us to review prior to moving into Construction Documents or submitting for building permits, we would request that they come to us to discuss the electrical utility coordination to confirm we don't have any long lead-time items that the City would need to purchase early in the process.

Jason Raleigh stated that the engineers are working through panel sizing, and they will feed info to Kevin so whatever transformer is needed is available and can be ordered. From a construction standpoint, I think we have time because we don't need electricity on day one.

Director Strange commented that we could call it a desktop review for electrical. They are already doing it on wastewater and water utilities, which are more important to get done for the Planning Commission. We just want to communicate with the design team prior to them getting Construction Documents completed.

Stewart commented that he appreciated that the City is looking at it from this perspective. There are no footcandles noted on the photometric on the west side of the building where there are exits. We need this side of the building to be safe.

Christopher Miller from CPM Construction stated that emergency safety lighting will be pronounced at the doors and will meet minimum light requirements.

Stewart commented that he wasn't sure what the best practice was, but there is no sidewalk connecting the sidewalk along the street to the building. So, guests at the hotel wanting to go to Applebee's or McDonald's have to walk in the driveway, then onto the sidewalk. Or to go get ice cream. Maybe try to stay out of the driveways and connect along the west line in the west parking lot.

Jason Raleigh commented that he didn't see an issue with adding that from a walkability perspective, it's great.

Chair McNiff proposed a friendly amendment to include a contingency for:

- The landscape items including the evergreen trees in lieu of deciduous
- Revise the caliper of the trees from two feet to two-and-a-half feet.
- Review and comply with the zoning ordinance as it relates to the shrub sizes at time of planting

- Work with the Architectural team to provide necessary lighting in the area along the east parking lot where the solar panel system was removed adjacent to the apartment building.
- The lighting in the (removed solar panel) location will comply with the requirements that are laid out in the zoning ordinance.
- There will be final coordination and approval of the water and wastewater utility connection plans with the city and the Spicer Group.
- Approval of the final storm as well as the sanitary services final connection details.
- Final coordination between the Fire Department truck requirements and the solar panels locations.
- Final approval by the fire department regarding the fire hydrant location.
- A desktop review with the City regarding the electrical utility coordination.
- Approval is subject to MDOT approval for the revisions to the access drive.
- Confirmation of the column locations for the solar panels is required to stay beyond the setback. Panels can be in the setback but not beyond the back of the associated curb.
- Revised drawings shall be submitted to staff and a review shall confirm the resolution of the contingency items.

Moved by Tim Fitzgerald, supported by Aron Hodo to amend the motion and approve the site plan for 1154 W Michigan Ave contingent upon:

- The landscape items including the evergreen trees in lieu of deciduous
- Revise the caliper of the trees from two feet to two-and-a-half feet.
- Review and comply with the zoning ordinance as it relates to the shrub sizes at time of planting
- Work with the Architectural team to provide necessary lighting in the area along the east parking lot where the solar panel system was removed adjacent to the apartment building.
- The lighting in the (removed solar panel) location will comply with the requirements that are laid out in the zoning ordinance.
- There will be final coordination and approval of the water and wastewater utility connection plans with the city and the Spicer Group.
- Approval of the final storm as well as the sanitary services final connection details.
- Final coordination between the Fire Department truck requirements and the solar panels locations.
- Final approval by the fire department regarding the fire hydrant location.
- A desktop review with the City regarding the electrical utility coordination.
- Approval is subject to MDOT approval for the revisions to the access drive.
- Confirmation of the column locations for the solar panels is required to stay beyond the setback. Panels can be in the setback but not beyond the back of the associated curb.
- Revised drawings shall be submitted to staff and a review shall confirm the resolution of the contingency items.

On a voice vote: **Motion Carried**

- 8) **PUBLIC COMMENT ON NON-AGENDA ITEMS** Persons addressing the board are required to give their name and address for the record when called upon by the Chair. Members of the public shall be limited to speaking for a maximum of three (3) minutes. Comments should address NON-AGENDA ITEM topics. Public Hearing items should be addressed during the PUBLIC HEARING portion of the meeting agenda. Agenda items should be addressed during the PUBLIC COMMENT-AGENDA ITEMS portion of the meeting agenda.

none

9) **BOARD REPORTS**

Director Strange requested member availability for a joint work session with the City Council in the next two months. The meeting would be held on a Monday prior to a regularly scheduled City Council meeting.

Ian Stewart commented that there is a MACC meeting next Wednesday at the Public Services Building. Time is 6:30, to be confirmed. Tree planting is scheduled for Saturday, April 26th. Excited to be working with the City, MACC and others to enhance our tree canopy. There will be a second tree planting in the fall as well as Canoe the Kazoo and Crazy for the Kazoo.

Fitzgerald stated there are accidents where people are trying to exit the ball fields and cross 4 lanes of traffic to turn left.

Director Strange stated this driving condition is on our radar. Chief Lankard presented an assessment of intersections in town based on incidents and their perspective of hazards. There were a couple of uncontrolled intersections, like a T intersection, where there was nothing to give direction. I know they specifically talked about that turn coming out of the ball field as trying to make that right turn only. I know the sign is not up yet. Maybe they are waiting for spring. But I know that it is on the radar.

McNiff addressed the public: Comments are appreciated, but the scope of our work is limited to looking at a site plan to determine if the use is compliant with the zoning district it's in. That all the building, code regulations, the setbacks, the landscaping, all of that is in accordance with our ordinance. We don't have any control over what is being built other than to make sure it conforms to the ordinance. That's our scope. We are not allowed to exceed it.

Director Strange recommended adjourning.

McNiff stated that additional questions could be fielded after the meeting and called for adjournment.

10) **ADJOURNMENT**

The meeting was adjourned at 7:52pm.

Respectfully submitted by,

Brandie Cary
Deputy Clerk



ITEM 8.A

TO: Planning Commission
FROM: Marcia Strange, Director of Community Development
DATE: March 12, 2025
SUBJECT: 210 WINSTON DRIVE HOTEL - INTRODUCTION

We are introducing a project for the undeveloped site at Unit 5, 210 Winston Drive. The proposed project is a Home 2 Suites by Hilton.

The site is 3.73 Acres and is zoned B-4 Regional Commercial and a Hotel is an allowed use.

Lot Coverage is +/- 40.8% which is below the 60% coverage allowed.

Construction is within setbacks.

4 stories is allowed in the area although the adjacent structures within 100' are 1.5-2 stories in height. The parapet is 46' high with the tallest "marquee" area at approximately 51'-6" which is still below the 60' maximum height.

Drives indicated allow a 20' clear drive through the parking areas which will allow the fire truck access to all sides of the building. Maintaining this clear path at all times needs to be a priority by staff as large trucks look for parking spots on site. The width of the one-way drive and overhang at the main entry will restrict the passage of a fire truck through the NE portion of the site but the use of the cul-de-sac is not anticipated to be a problem.

Parking allocation takes into consideration the meeting room occupant load. Pool and meeting rooms are for guest use.

The landscape plan is not sealed and is required to be sealed by a Landscape Architect prior to approval by the Planning Commission.

No charging stations or solar panels are anticipated. If a generator is required, additional information and locations are required if any are included in the project.

Transformers can be long lead time items, We will require building electrical loads and request a desktop review with our Electrical Department and the project AE team be completed after Planning Commission approval but before Construction Documents are submitted for Building Permits.

Screening of HVAC and electrical equipment is required. Additional detail is requested of any ground-mounted equipment to confirm extents and type of screening.

Staff has recommended the designers reach out to the Railroad regarding possible lighting requirements and have asked they provide information regarding communication and any subsequent requirements discovered.

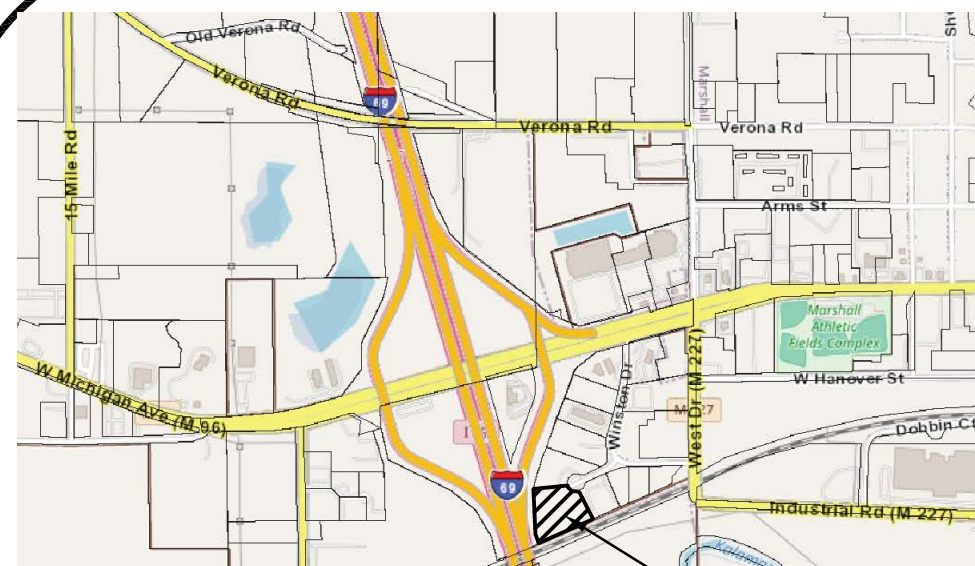
A revised Condominium Agreement must be provided to the City containing any modifications to easements, setbacks, and as-built information following construction.

As-built documentation must be provided as referenced in the Condominium Agreement and as requested by the City,

Setbacks have been shown to meet the zoning ordinance (which are more restrictive than the Condominium Agreement requirements).

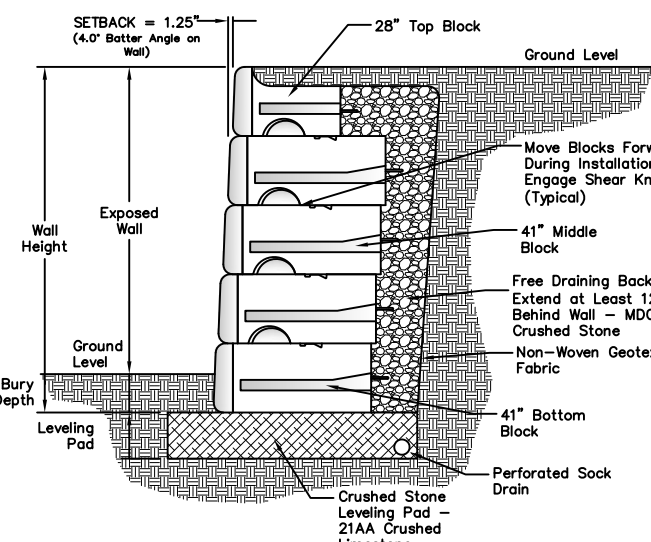
RECOMMENDATION:

We are not requesting approval at this time but are seeking guidance to reach site plan approval.

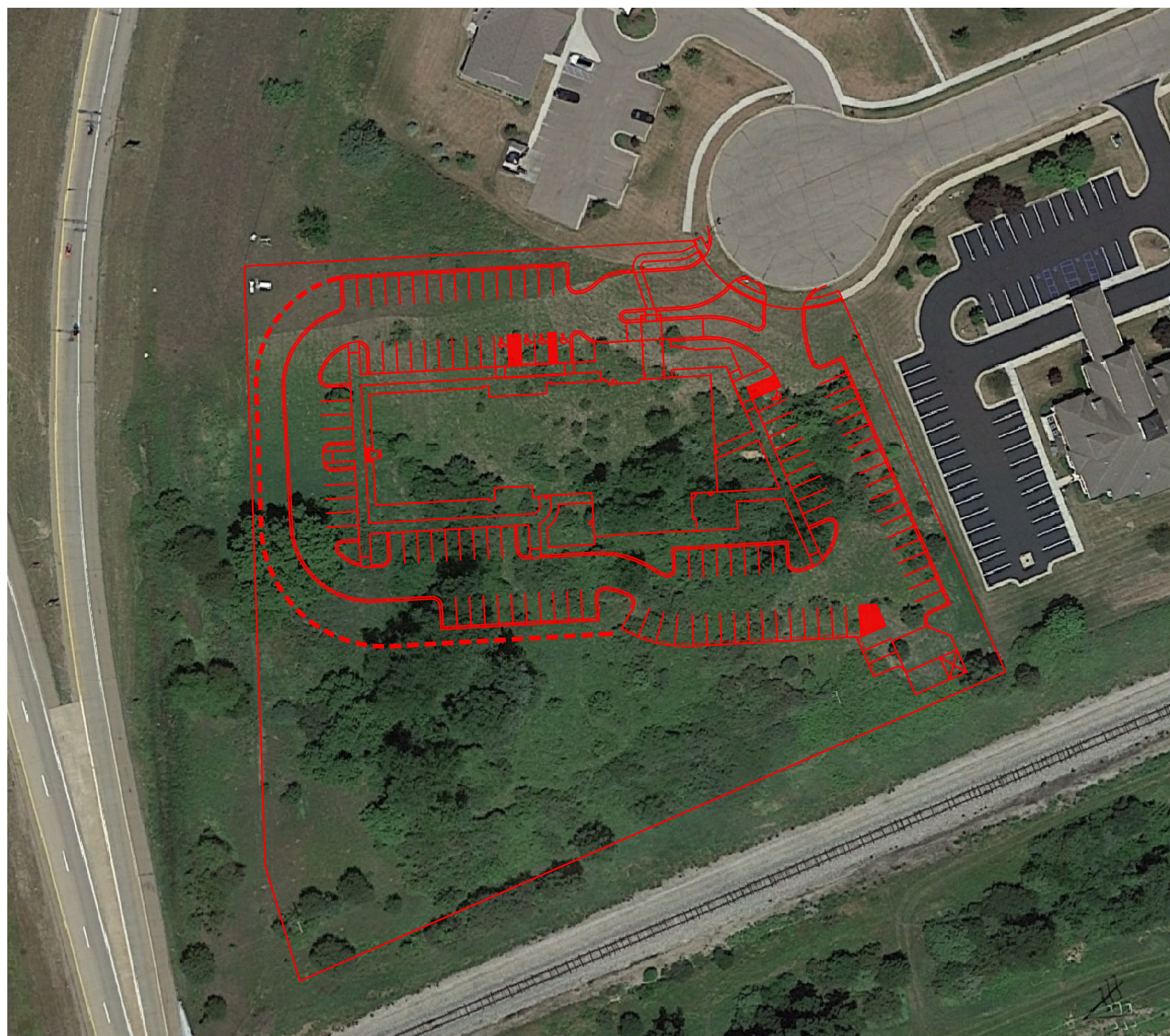


VICINITY MAP
NO SCALE

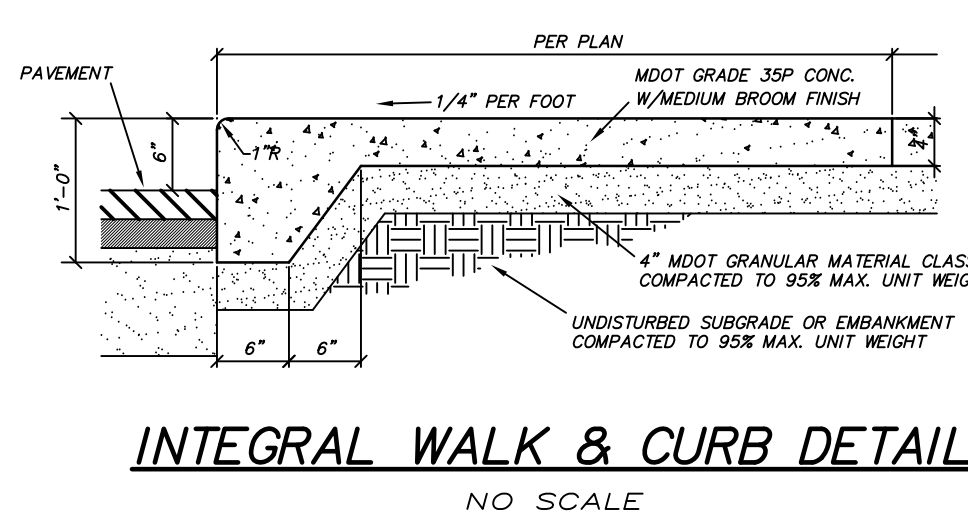
MDOT F-2 CURB DETAIL
ON-SITE CURBED AREAS
NO SCALE (PITCH OUT AS REQUIRED)



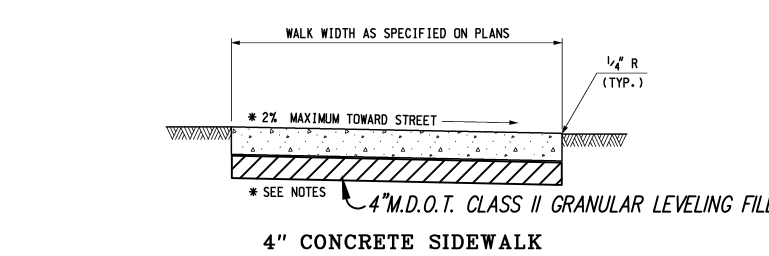
RETAINING WALL DETAIL WITH FENCE GUARDRAIL
NO SCALE - OR APPROVED EQUAL



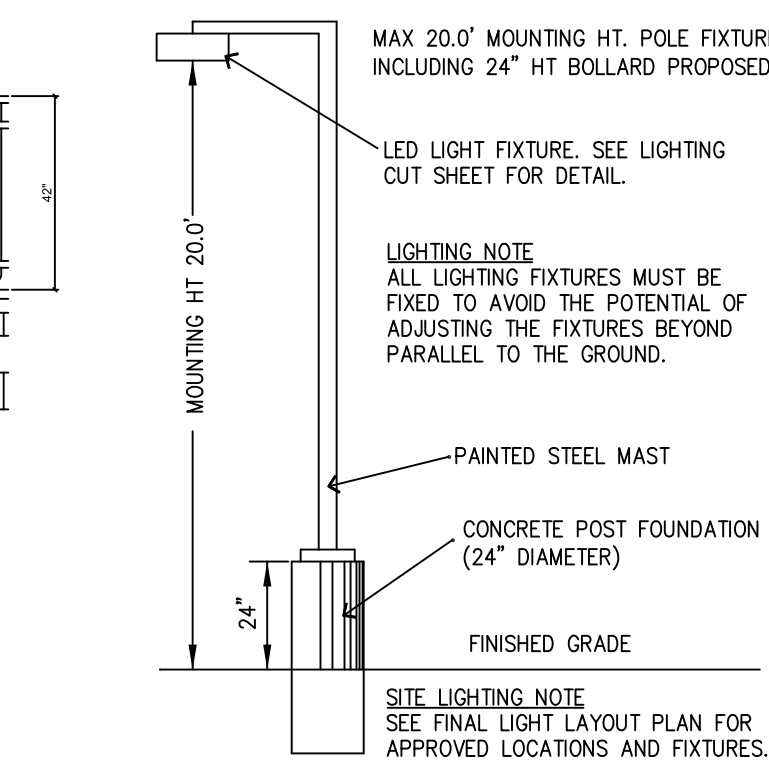
SURROUNDING AERIAL PHOTO OVERLAY
SCALE 1" = 60'± FOR REFERENCE ONLY



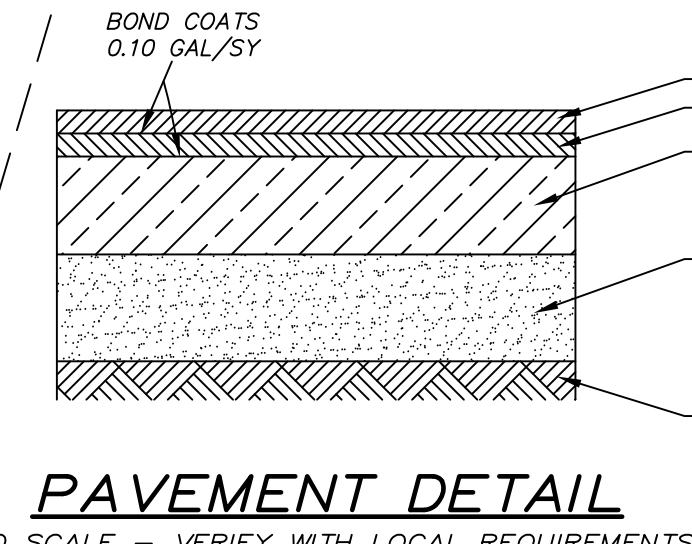
INTEGRAL WALK & CURB DETAIL
NO SCALE



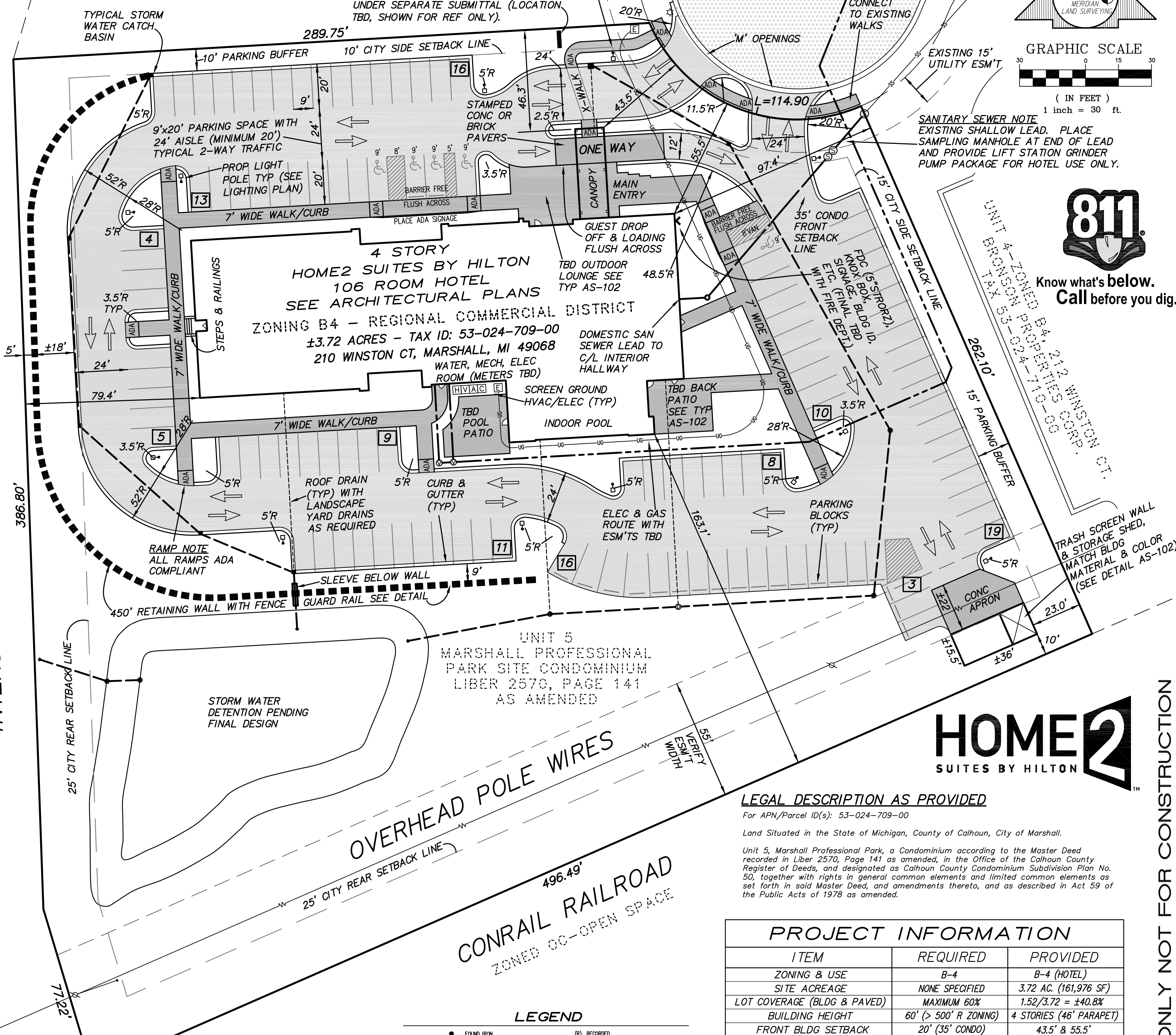
SIDEWALK DETAIL
NO SCALE (SEE LATEST EQUIVALENT MDOT DETAIL)



LIGHT DETAIL
NO SCALE



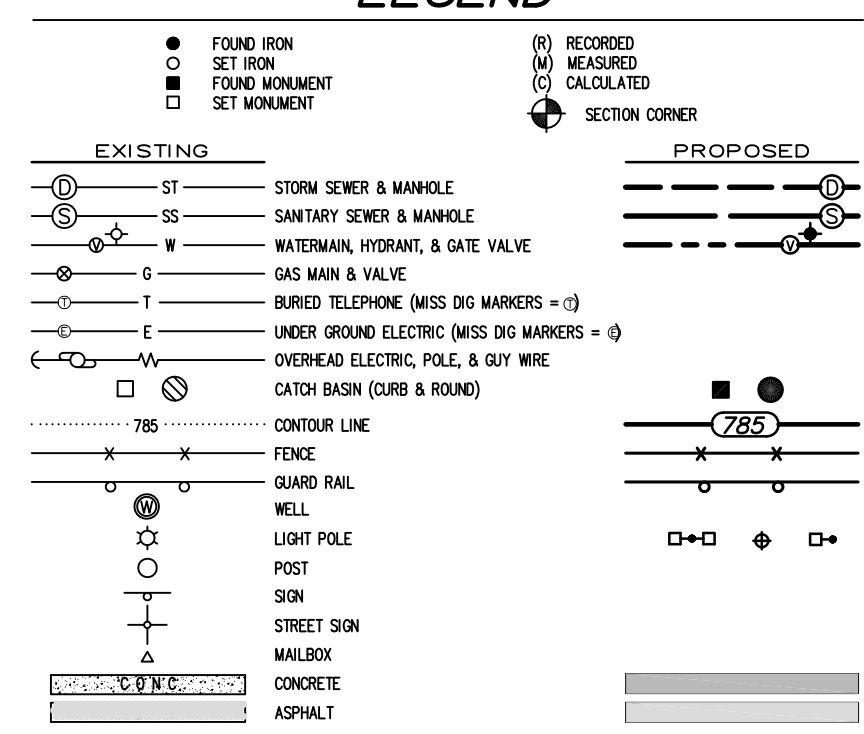
PAVEMENT DETAIL
NO SCALE - VERIFY WITH LOCAL REQUIREMENTS



INTERSTATE - 69 RAMP

SITE NOTES

1. SITE DESIGN SUBJECT TO A FINAL CIVIL DESIGN WITH UTILITY ENGINEERING WITH GRADING & DRAINAGE PLAN DESIGN & SOIL EROSION. THIS PLAN IS NOT FOR CONSTRUCTION.
2. PLAN SUBJECT TO ALL LOCAL AND STATE APPROVALS.
3. THE HOTEL IS CONSTRUCTED IN ONE PHASE AND GENERALLY COMPLETED WITHIN 12-24 MONTHS FROM CONSTRUCTION START.



LEGAL DESCRIPTION AS PROVIDED

For APN/Parcel ID(s): 53-024-709-00
Land Situated in the State of Michigan, County of Calhoun, City of Marshall.
Unit 5, Marshall Professional Park, a Condominium according to the Master Deed recorded in Liber 2570, Page 141 as amended, in the Office of the Calhoun County Register of Deeds, and designated as Calhoun County Condominium Subdivision Plan No. 50, together with rights in general common elements and limited common elements as set forth in said Master Deed, and amendments thereto, and as described in Act 59 of the Public Acts of 1978 as amended.

PROJECT INFORMATION		
ITEM	REQUIRED	PROVIDED
ZONING & USE	B-4	B-4 (HOTEL)
SITE ACREAGE	NONE SPECIFIED	3.72 AC. (161,976 SF)
LOT COVERAGE (BLDG & PAVED)	MAXIMUM 60%	1.52/3.72 = ±40.8%
BUILDING HEIGHT	60' (> 500' R ZONING)	4 STORIES (46' PARAPET)
FRONT BLDG SETBACK	20' (35' CONDO)	43.5' & 55.5'
SIDE BLDG SETBACK	10'-25' BOTH (10' CONDO)	46.3' & 97.4'
REAR BLDG SETBACK	25' (20' CONDO)	79.4' & 163.1'
PARKING SETBACK	10'	10' & 15'
PARKING SPACES *	114	114

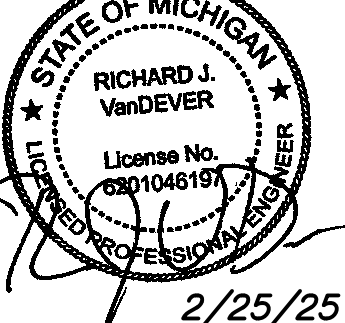
- * PARKING = 1 PER 1 OCCUPANCY UNIT; PLUS 1 PER EMPLOYEE; PLUS ANY USES
- * PARKING = 106 ROOMS + 8 EMPLOYEES + 0 USES = 114 REQUIRED (INCLUDES 5 ADA)

SHEET INDEX

1. PRELIMINARY SITE PLAN
2. ENLARGED PRELIMINARY UTILITY & GRADING PLAN
3. ALTA/NSPS LAND TITLE SURVEY
4. AS-102 ENLARGED TYPICAL DETAILS (BY OTHERS)
5. A101 OVERALL FIRST FLOOR PLAN (BY OTHERS)
6. A201 EXTERIOR BUILDING ELEVATIONS (BY OTHERS)
7. L1-LANDSCAPE PLAN (BY OTHERS)
8. L201-LIGHTING PLAN (BY OTHERS)

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940 S. GRAND TRAVELER ST.
CITY OF FLINT • MICHIGAN • 48502

REVISIONS		
No.	Description	By
1	PER CITY REVIEW & INCLUDE ALTA SURVEY	RAV

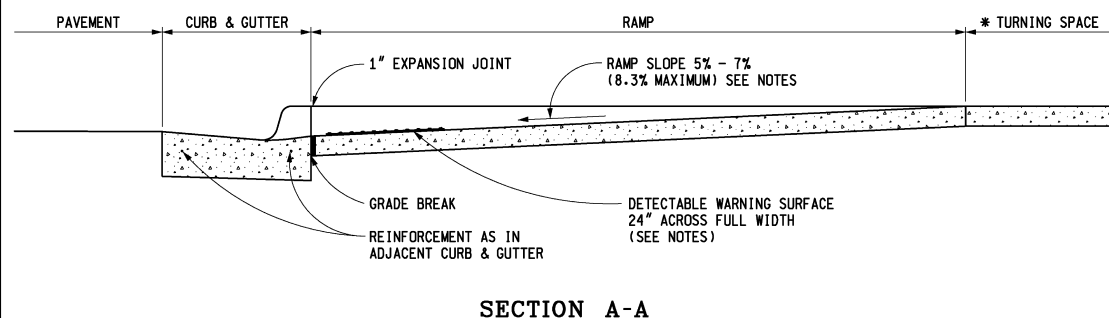


Meridian Land Surveying, Inc.	
Drawn by: R.A.V.	Field: D.S., B.S.
Designed by: R.A.V.	Checked by: R.A.V.
Date: 01/22/25	Date Revised: 02/25/25
CLIENT: MARENGO HOTELS, LLC	
CLIENT TAX ID: 53-024-709-0	
JOB No. 2025009	

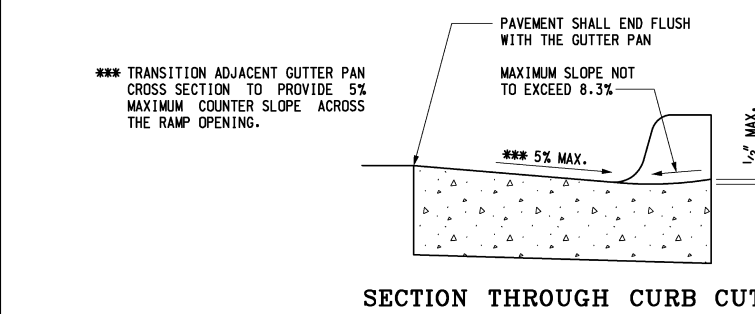
PRELIMINARY SITE PLAN
HOME 2 SUITES BY HILTON
MARENGO HOTELS, LLC
PROJECT LOCATION:
UNIT 5 MARSHALL PROFESSIONAL PARK SITE CONDOMINIUM
210 WINSTON DRIVE, MARSHALL, MI 49068
SECTION 27, T2S-R6W, CITY OF MARSHALL, CALHOUN CO., MI

2025009
SHEET NO.
1 OF 3

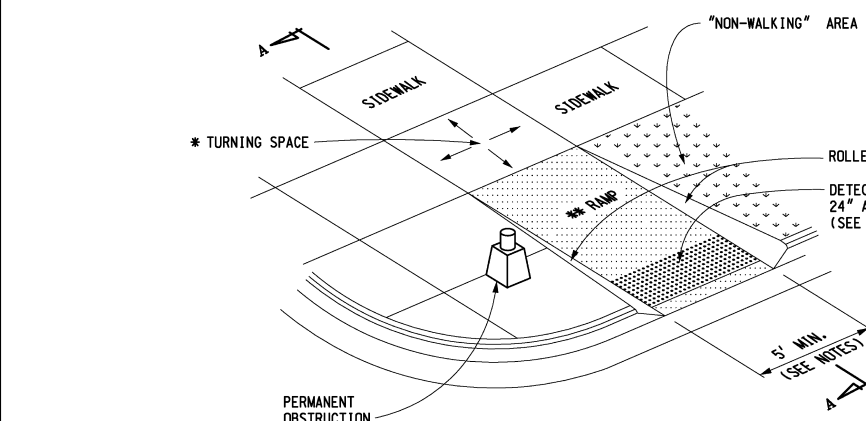
MAXIMUM TURNING SPACE SLOPE IS 2% IN EACH DIRECTION OF TRAVEL. MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.
MAXIMUM RAMP CROSS SLOPE IS 2.0% RUNNING SLOPE 5% - 7% (8.3% MAXIMUM). SEE NOTES.



BARRIER FREE SIDEWALK RAMP DETAIL
SIDEWALK RAMP TYPE P (PARALLEL RAMP)
NO SCALE (SEE LATEST EQUIVALENT MOOT DETAIL)
DO NOT USE IN AREAS WHERE PONDING MAY OCCUR



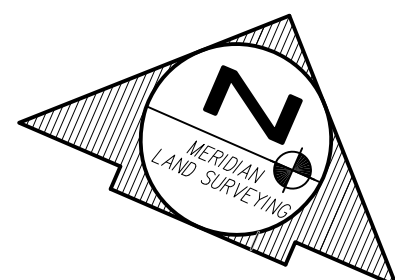
MAXIMUM TURNING SPACE SLOPE IS 2% IN EACH DIRECTION OF TRAVEL. MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.
MAXIMUM RAMP CROSS SLOPE IS 2.0% RUNNING SLOPE 5% - 7% (8.3% MAXIMUM). SEE NOTES.



SIDEWALK RAMP DROP
NO SCALE (SEE LATEST EQUIVALENT MOOT DETAIL)

LEGEND

EXISTING	PROPOSED
ST	STORM SEWER & MANHOLE
SS	SANITARY SEWER & MANHOLE
W	WATERMAIN, WATER & NATURAL GAS VALVE
G	GAS MAIN & VALVE
T	BURIED TELEPHONE (MISS DIG MARKERS = 0)
E	UNDER GROUND ELECTRIC (MISS DIG MARKERS = 0)
OV	OVERHEAD ELECTRIC POLE & OUT WIRE
CB	CATCH BASIN (CIRC & ROUND)
755	CONTOUR LINE
755	GUARD RAIL
755	WELL
755	LIGHT POLE
755	POST
755	SIGN
755	STREET SIGN
755	MAILBOX
755	CONCRETE
755	ASPHALT



GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.

USE FINAL PROPOSED SPOT GRADE ELEVATIONS WITH PENDING CIVIL DESIGN FOR SITE GRADING; USE PROPOSED CONTOURS AND FLOW ARROWS AS A GUIDE TO UNDERSTAND THE OVERALL DRAINAGE CONCEPT FOR THIS SITE PLAN SUBMITTAL.

DESIGN CRITERIA
MINIMUM ASPHALT PAVING SLOPE 1.0%
MINIMUM CONCRETE PAVING SLOPE 0.5%
MINIMUM GRASS SWALE SLOPE 0.5%
MINIMUM CONCRETE GUTTER FLOW 0.5%
MAXIMUM SLOPE PAVEMENT 5.0%
MAXIMUM RAMP SLOPE 5% (1:20) TO 8.3% (1:12)

SITE NOTES

1. SITE DESIGN SUBJECT TO A FINAL CIVIL DESIGN WITH UTILITY ENGINEERING WITH GRADING & DRAINAGE PLAN DESIGN & SOIL EROSION. THIS PLAN IS NOT FOR CONSTRUCTION. TOPOGRAPHICAL SURVEY PENDING. CONTOURS SHOWN FROM AVAILABLE GIS RECORDS.
2. PLAN SUBJECT TO ALL LOCAL AND STATE APPROVALS.

WATERMAIN NOTE
CONNECT TO EXISTING WATERMAIN AND PROVIDE 8" FIRE SUPPRESSION LINE & DOMESTIC SERVICE WITH SPILT AT BUILDING PER CITY REQUIREMENTS. METER SIZES TBD.

OPEN CUT CONNECTIONS, REPAVE CUL-DE-SAC AS REQUIRED BY CITY

SANITARY SEWER NOTE
CONNECT TO EX SHALLOW LEAD WITH SAMPLING MH & PROVIDE 6" SANITARY SEWER LEAD PER CITY REQUIREMENTS WITH LIFT STATION GRINDER PUMP FOR HOTEL USE ONLY. PROVIDE INTERIOR BREAKFAST SINK GREASE TRAP AS REQUIRED BY CODE. FINAL DEPTH DESIGN PENDING CIVIL PLANS.

SLOPE GRADE TO MEET GRADE ALONG PROPERTY LINE MAX 1:3 SLOPE



SITE PLAN USE ONLY NOT FOR CONSTRUCTION

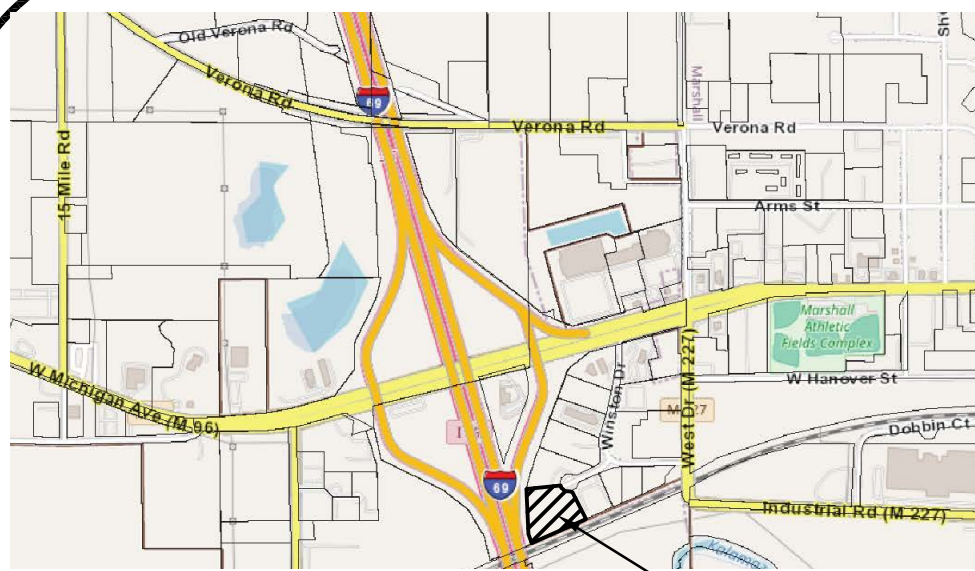
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CITY OF FLINT * MICHIGAN * 48502

REVISIONS		
No.	Description	By
1	PER CITY REVIEW & INCLUDE ALTA SURVEY	RJV

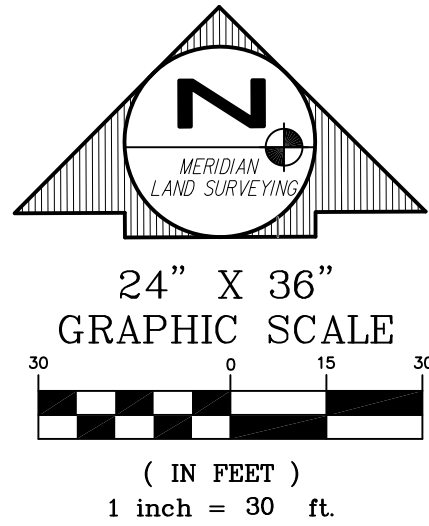
Meridian Land Surveying, Inc.	
Drawn by: R.J.V.	Field: D.S., B.S.
Designed by: R.J.V.	Checked by: R.J.V.
Date: 01/22/25	Date Revised: 02/25/25
CLIENT: MARENGO HOTELS, LLC	
PROJECT LOCATION: UNIT 5 MARSHALL PROFESSIONAL PARK SITE CONDOMINIUM 210 WINSTON DRIVE, MARSHALL, MI 49068 SECTION 27, T2S-R6W, CITY OF MARSHALL, CALHOUN CO., MI	
JOB No. 2025009	

ENLARGED PRELIMINARY UTILITY & GRADING PLAN
HOME 2 SUITES BY HILTON
MARENGO HOTELS, LLC
PROJECT LOCATION:
UNIT 5 MARSHALL PROFESSIONAL PARK SITE CONDOMINIUM
210 WINSTON DRIVE, MARSHALL, MI 49068
SECTION 27, T2S-R6W, CITY OF MARSHALL, CALHOUN CO., MI

2025009
SHEET NO.
2 of 3



VICINITY MAP
NO SCALE



LEGEND (AS APPLICABLE)

- FOUND IRON (R) RECORDED
○ SET IRON (M) MEASURED
□ FOUND MONUMENT (C) CALCULATED
■ SET MONUMENT SECTION CORNER
- EXISTING
— ST STORM SEWER & MANHOLE
— W WATERMAIN, HYDRANT & GATE VALVE
— G GAS MAIN & VALVE
— T BURIED TELEPHONE (MISS DIG MARKERS = (T))
— E UNDER GROUND ELECTRIC (MISS DIG MARKERS = (E))
— C OVERHEAD ELECTRIC, POLE & GUY WIRE
— □ CATCH BASIN (GIRTS & FOUND)
— --- CONTOUR LINE
— --- FENCE
— --- GUARD RAIL
— ○ LIGHT POLE
— POST
— SIGN
— STREET SIGN
— MAILBOX
— CONCRETE
— ASPH

FLOODPLAIN NOTE

SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION ZONE "X". AREA OF MINIMAL FLOOD HAZARD, BY FEMA, ON FLOOD INSURANCE RATE MAP NO. 26025C0238C, WITH A DATE OF IDENTIFICATION OF EFFECTIVE 4/4/2011, FOR COMMUNITY NUMBER 260053 (CITY OF MARSHALL), IN CALHOUN COUNTY, STATE OF MICHIGAN, WHICH IS THE CURRENT AVAILABLE FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.

PROVIDED TITLE COMMITMENT NO. 10300024
DATED 1/15/25, BY DEVON TITLE, A STEWART COMPANY
LEGAL DESCRIPTION SCHEDULE 'C'

Land situated in the City of Marshall, County of Calhoun, State of Michigan described as follows:

Unit 5, MARSHALL PROFESSIONAL PARK, a Condominium, according to the Master Deed recorded in Liber 2570, Page 141, Calhoun County Records, and designated as Calhoun County Condominium Subdivision Plan No. 50, together with rights in general common elements and limited common elements as set forth in the above described Master Deed and Amendments thereto and as disclosed by Act 59 of the Public Acts of 1978, as amended.

NOTE, BEARINGS ARE REFERENCED TO: MARSHALL PROFESSIONAL PARK SITE CONDOMINIUM

PROVIDED TITLE COMMITMENT NO. 10300024
DATED 1/15/25, BY DEVON TITLE, A STEWART COMPANY
EXCERPT - SCHEDULE 'B', PART II EXCEPTIONS

SURVEYOR NOTES
ITEM # 'ITALICS' IF APPLICABLE (TYPICAL)

16. Subject to the rights of the co-owners of Marshall Professional Park in general common elements and limited common elements and all of the terms, conditions, regulations, restrictions, easements and other matters as set forth in the Master Deed recorded in Liber 2570, Page 141, Calhoun County Records, and any subsequent amendments thereto, and as disclosed by Act 59 of the Public Acts of 1978, as amended, and any enforcement of Section 67 of the Condominium Act. #16- 15' WIDE EASEMENT (AT ROAD) & NO WIDTH OVERHEAD WIRES ESM'T NOTED FOR SUBJECT PARCEL
17. Any and all terms and conditions, regulations, restrictions and easements and other matters set forth in the Master Deed for said Condominium and any amendments thereto.
18. Terms, conditions and provisions contained in Grant of Easements recorded in Liber 1803, Page 979 of Calhoun County Records. #18- EASEMENT IS NOT LOCATED ON OR ADJACENT TO SUBJECT PARCEL
19. Terms, conditions and provisions contained in Notice of Compliance with Restrictions and Conditions and Release of Right of Reversion recorded in Liber 1885, Page 553 and in Liber 1886, Page 361 of Calhoun County Records. #19- NOTHING TO PLOT
20. Terms, conditions and provisions contained in Easement Deed by Court Order in Settlement of Landowner Action recorded in Liber 3836, Page 666 of Calhoun County Records. #20- 20' WIDE COMMUNICATIONS EASEMENT ADJACENT ROUTE NOT DESCRIBED

TABLE 'A' NOTES

ITEM 11: Note to the client, insurer, and lender - With regard to Table A, item 11, information from the sources checked will be combined with observed evidence of utilities pursuant to Section 5.E.iv. to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response, in which case the surveyor shall note on the plat or map how this affected the surveyor's assessment of the location of the utilities. Where additional or more detailed information is required, the client is advised that excavation may be necessary.

NOTE, UTILITY LOCATIONS SHOWN ONLY FROM OBSERVED EVIDENCE AND FROM PLANS PROVIDED BY CENTURY LINK, ATT, CONSUMERS ENERGY & CITY OF MARSHALL.

ITEM 16: NO EVIDENCE OF RECENT EARTH MOVING OR OTHER CONSTRUCTION

ITEM 17: NO OBSERVATION OF RECENT CHANGES IN RIGHT OF WAY OR REPAIRS WITHIN.

ITEM 20: OFFSITE SANITARY SEWER, WATERMAIN & STORM SEWER/DRAINAGE.

ALTA/NSPS LAND TITLE SURVEY CERTIFICATION

TO: MARENGO HOTELS, LLC, A MICHIGAN LIMITED LIABILITY COMPANY;; DEVON TITLE, A STEWART COMPANY, Commitment No. 10300024; and to each of their respective successors and/or assigns;

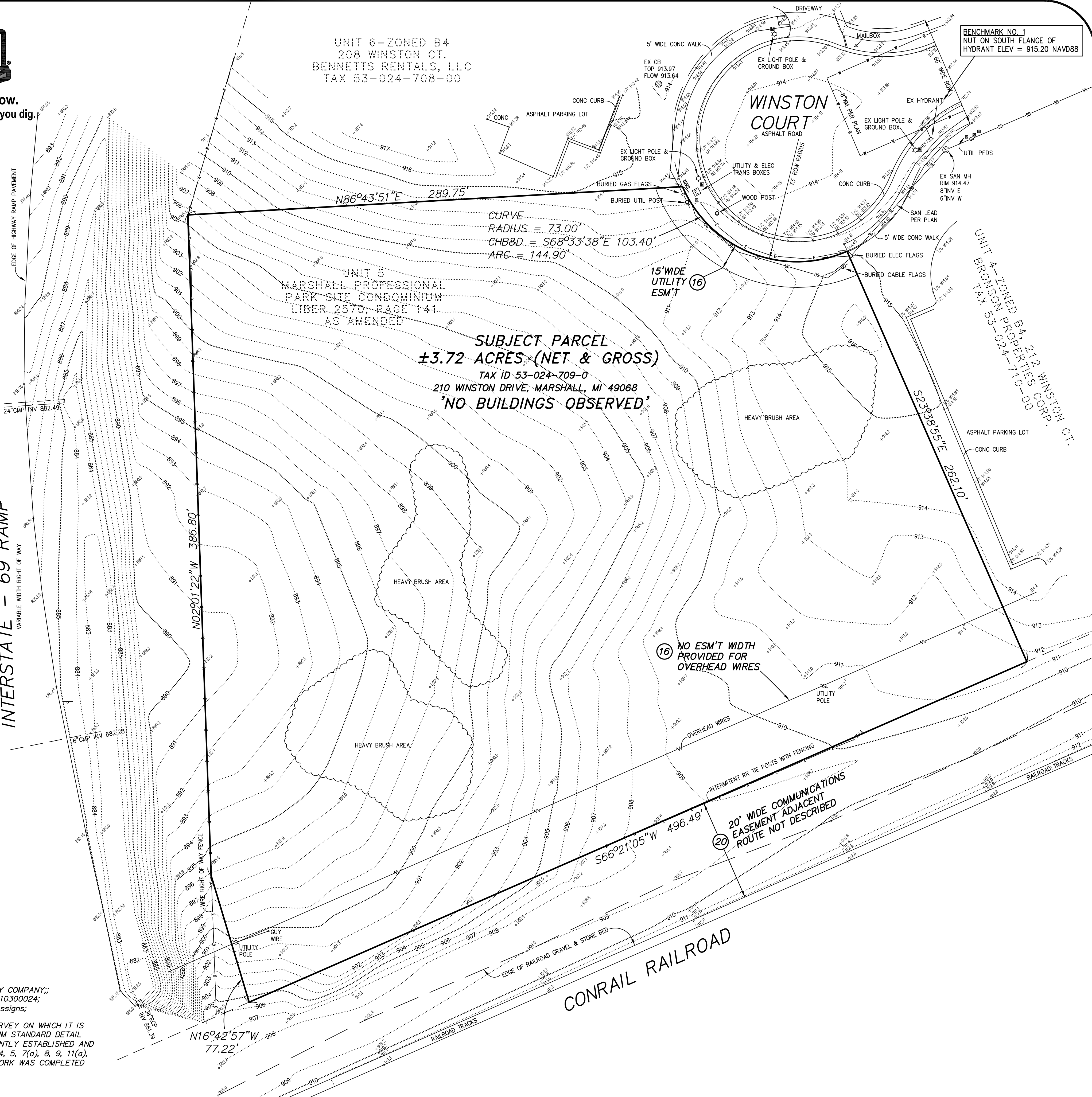
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 7(a), 8, 9, 11(a), 13, 16, 17, AND 20, OF TABLE 'A' THEREOF. THE FIELD WORK WAS COMPLETED ON FEBRUARY 6, 2025.

DATE: 2-25-25

SIGNED:

SITE PLAN USE ONLY
Richard J. VanDever, PS
MI REGISTRATION NO. 4001050455

INTERSTATE - 69 RAMP
VARIABLE WIDTH RIGHT OF WAY



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REVISIONS

No.	Description	Date	By

Meridian Land Surveying, Inc.

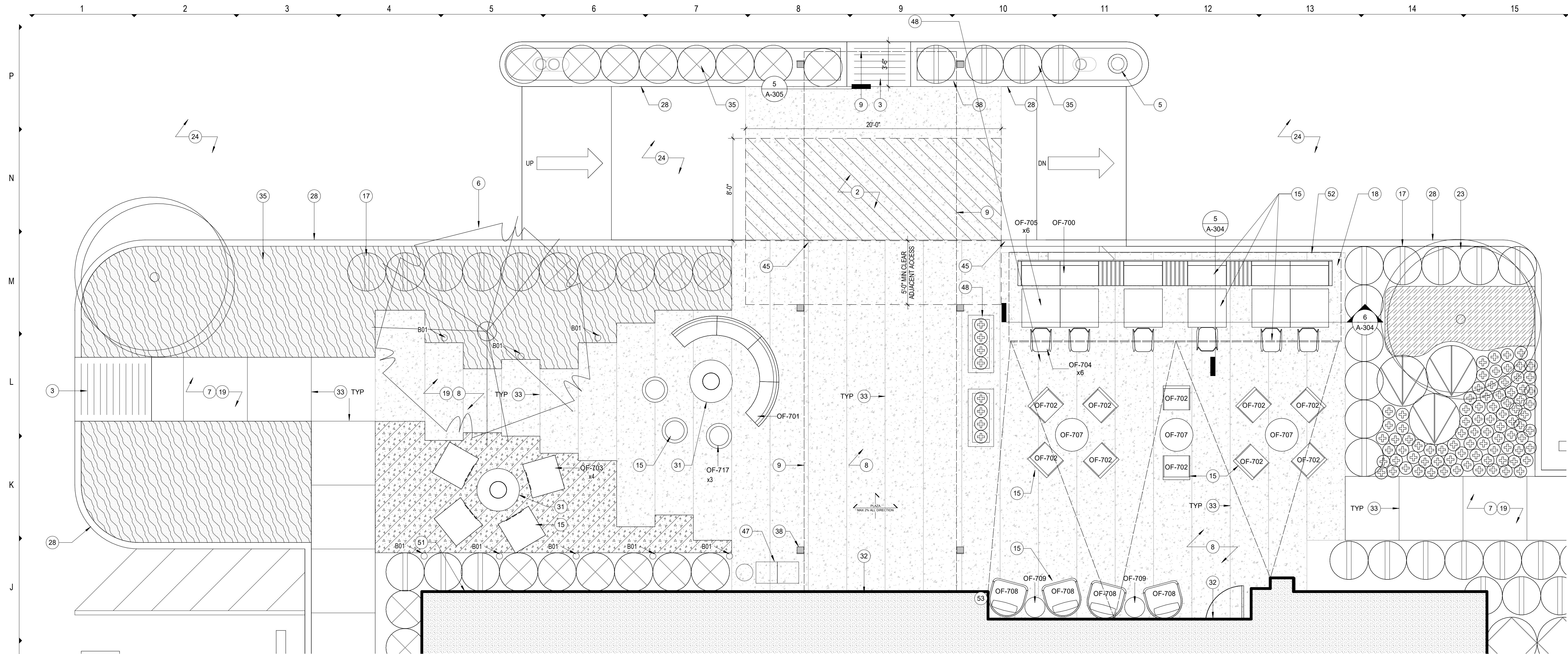
Drawn by: R.J.V. Field: D.S., B.S.
Designed by: R.J.V. Checked by: R.J.V.
Date: 02/25/25 Date Revised:
CLIENT: MARENGO HOTELS, LLC
SITE TAX ID: 53-024-709-0
JOB No. 2025009

ALTA/NSPS LAND TITLE SURVEY
210 WINSTON DRIVE
TAX ID 53-024-709-0

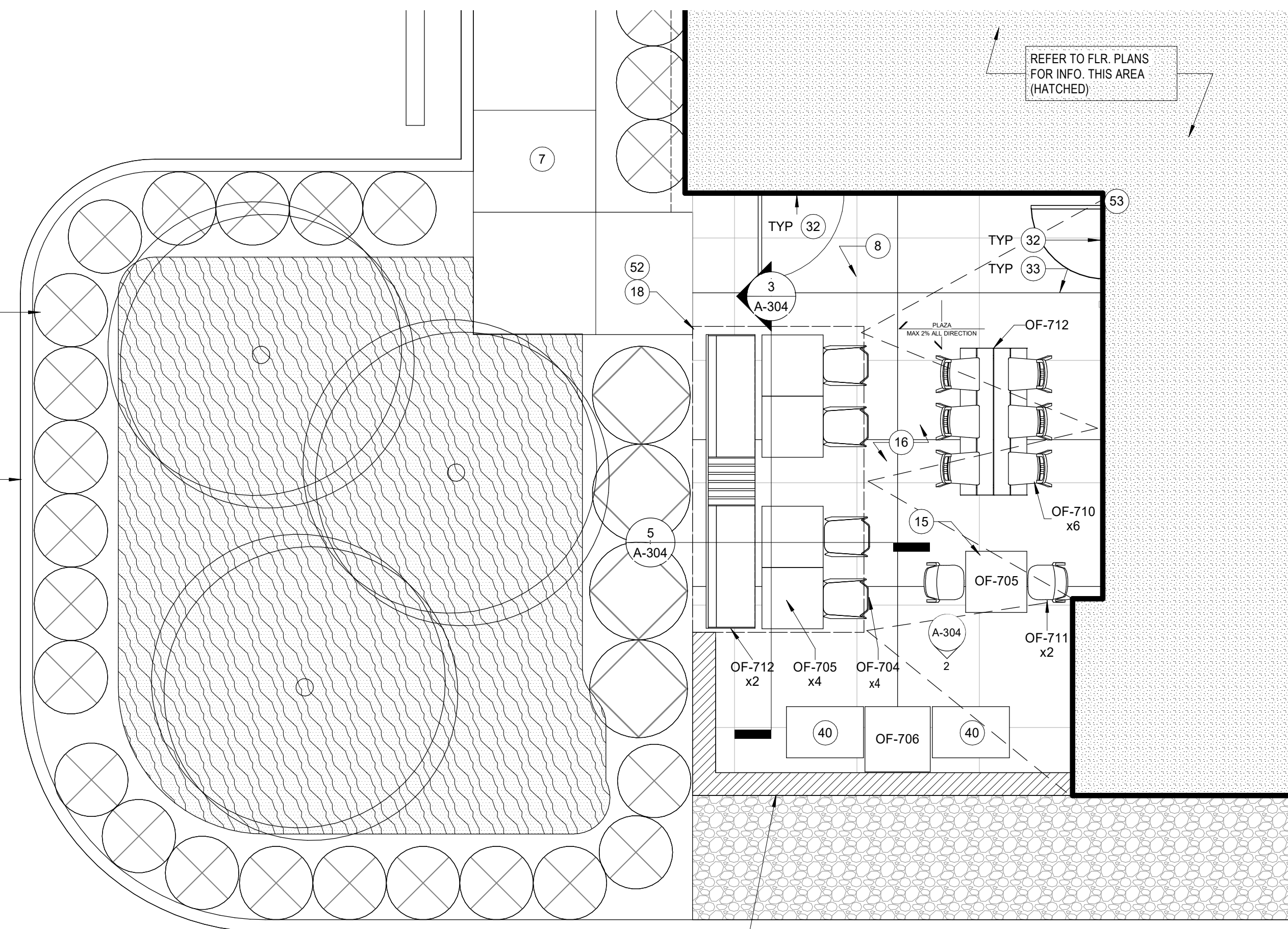
UNIT 5 MARSHALL PROFESSIONAL PARK SITE CONDOMINIUM
PROJECT LOCATION:
210 WINSTON DRIVE, MARSHALL, MI 49068
SECTION 27, T2S-R6W, CITY OF MARSHALL, CALHOUN CO., MI

2025009

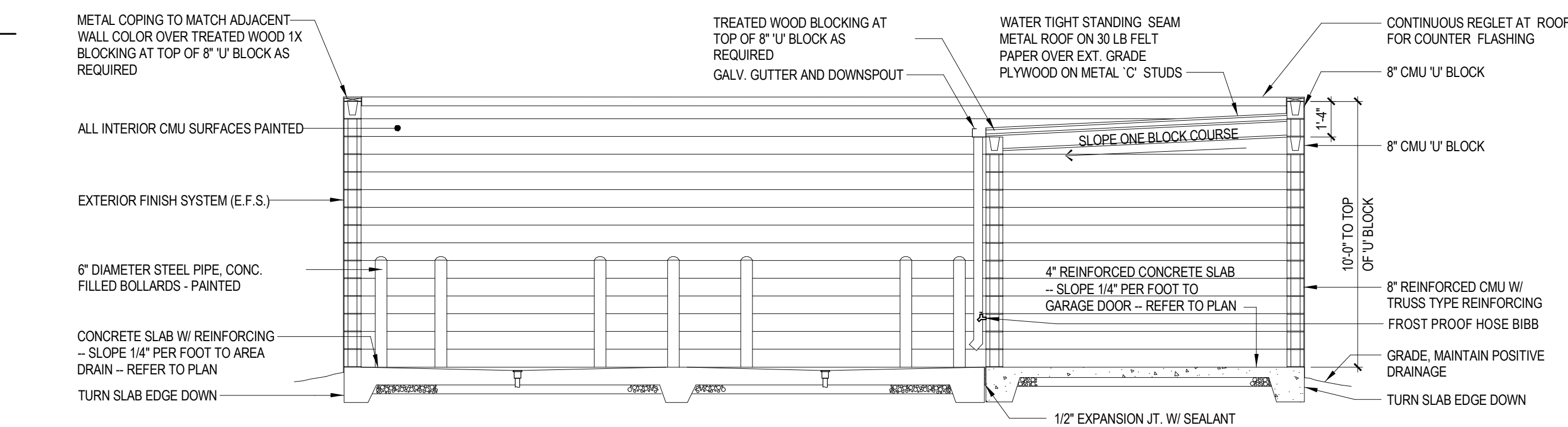
SHEET NO.
3 OF 3



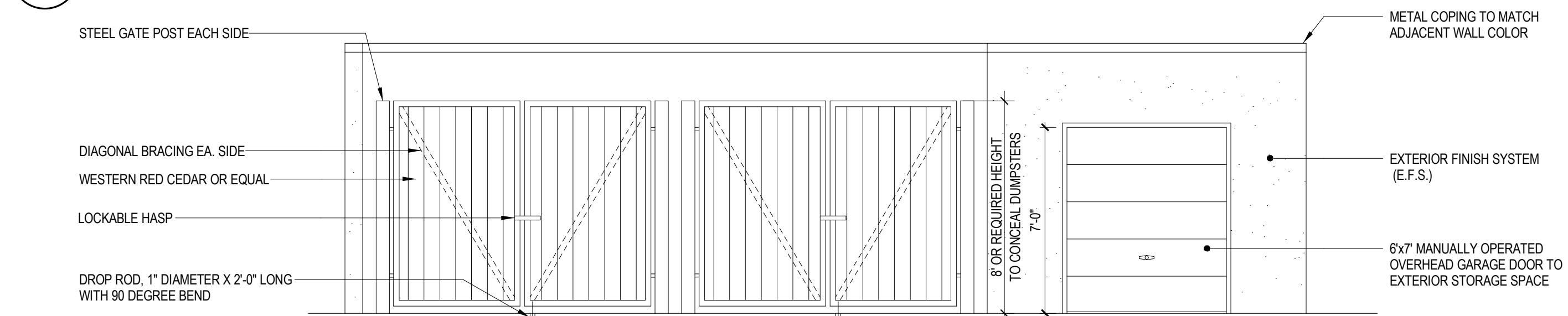
1 ENTRANCE/DROP OFF CANOPY & OUTDOOR LOUNGE PLAN
1/4" = 1'-0"



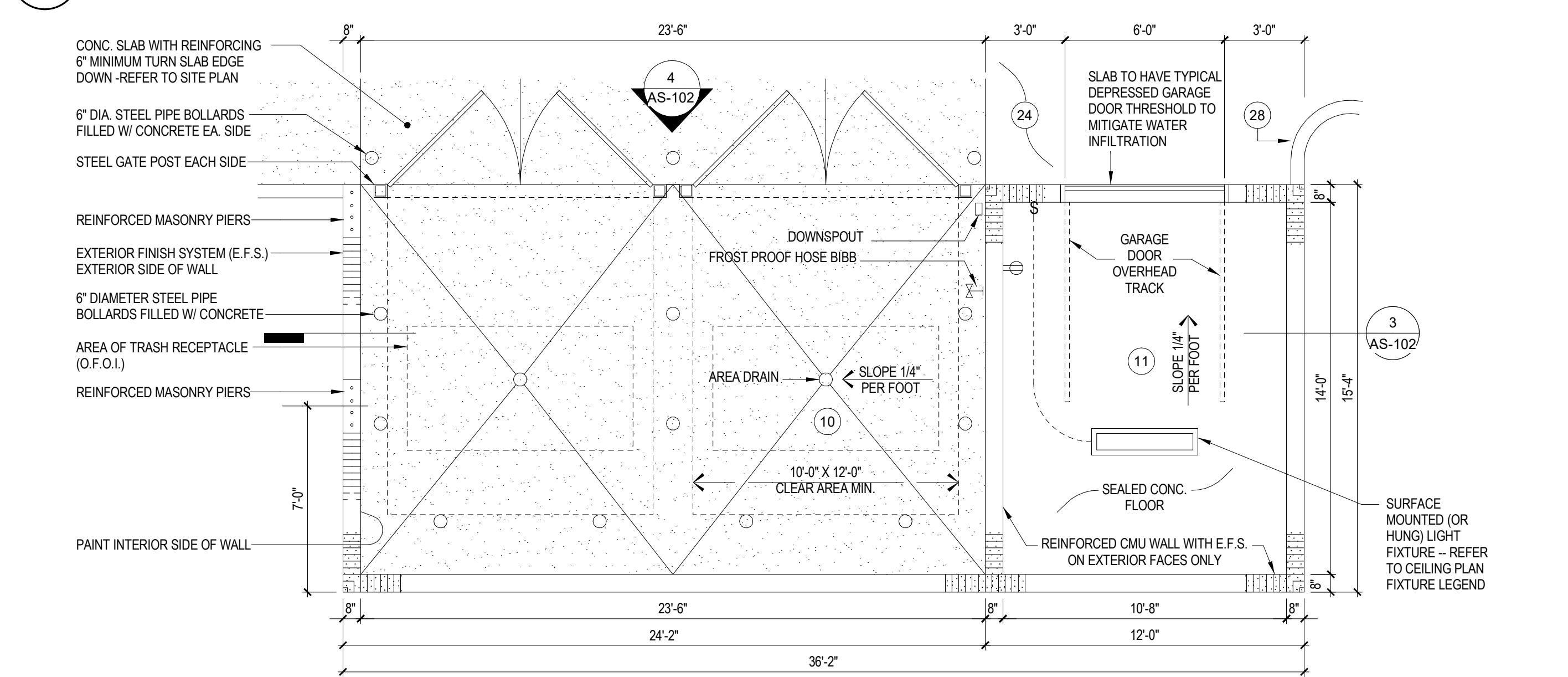
2 BACK PATIO PLAN
1/4" = 1'-0"



3 STORAGE & TRASH ENCLOSURE SECTION
1/4" = 1'-0"



4 STORAGE & TRASH ENCLOSURE ELEVATION
1/4" = 1'-0"



5 STORAGE & TRASH ENCLOSURE PLAN
1/4" = 1'-0"

GENERAL NOTES - SITE PLAN

- BLDG. LIMITATIONS, AREA REQUIREMENTS, & SETBACKS ARE TO CONFORM TO APPLICABLE CODES AS DETERMINED BY LOCAL JURISDICTION.
- PROVIDE FIRE ACCESS LANE AS REQUIRED BY APPLICABLE CODES AS DETERMINED BY LOCAL JURISDICTION.
- PROVIDE APPROPRIATE NUMBER OF CURB CUTS AND DRIVEWAY ACCESS WIDTHS TO SITE AS REQUIRED BY APPLICABLE CODES AS DETERMINED BY LOCAL JURISDICTION.
- TYP. PARKING SPACES SHALL BE REQUIRED BY APPLICABLE CODES AS DETERMINED BY LOCAL JURISDICTION. 9' x 18' MIN. COORDINATE LIGHTING LOCATIONS WITH LANDSCAPE PLANTINGS - PROVIDE PHOTOMETRIC ANALYSIS AS REQUIRED BY APPLICABLE CODES.
- REFER TO BRANDS STANDARDS FOR ADDITIONAL INFORMATION AND PRECISE SIGNAGE REQUIREMENTS.
- IRRIGATE ALL LANDSCAPED AREAS WITH AUTOMATIC UNDERGROUND SPRINKLER SYSTEM EXCEPT THOSE IMMEDIATELY ADJACENT TO EXTERIOR WALL OF THE HOTEL.
- ALL AREAS NOT WITHIN PLANTING BEDS TO RECEIVE SOO OR OTHER APPROVED GROUND COVER.
- ALL EQUIPMENT MUST BE SCREENED WITH LANDSCAPING OR OTHER MEANS.
- ALL SITE DIMENSIONS ARE MINIMUM REQUIREMENTS. COMPLY WITH APPLICABLE CODES AS DETERMINED BY LOCAL JURISDICTION.
- ALL SITE DIMENSIONS ARE MINIMUM REQUIREMENTS. COMPLY WITH APPLICABLE CODES AS DETERMINED BY LOCAL JURISDICTION.
- PROVIDE HOSE BIBS AROUND MAIN BUILDING PERIMETER AND AT DUMPSTER ENCLOSURE.
- REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQUIREMENTS.
- PROVIDE AN ACCESSIBLE MEANS OF TRAVEL TO SITE PROPERTY LINE THAT MEETS ALL ACCESSIBILITY REQUIREMENTS.
- CATCH BASINS ARE TO BE PLACED SO AS NOT TO INTERFERE WITH DESIGNATED ACCESSIBLE ROUTES, THEIR CLEARANCES & MAX. SLOPES.
- PARKING LOT STRIPES MUST BE WHITE, EXCEPT WHERE OTHER COLORS ARE REQUIRED FOR FIRE LANES & NO PARKING ZONES.
- AVOID DEAD-END PARKING.

KEYED NOTES - SITE PLAN

- MONUMENT SIGN LOCATION
- ACCESSIBLE PASSENGER DROP OFF AREA W/ ADJACENT CLEAR ACCESS AISLE - DROP OFF AND ACCESS AISLE SHALL BE AT THE SAME LEVEL & SHALL HAVE A SLOPE NOT TO EXCEED 1:48 (1:64 RECOMMENDED). DRIVE AISLES SHALL RAMP UP TO LEVEL OF WALK AT DROP-OFF AREA - REFER TO MATERIAL LEGEND FOR SPECIFIC PAVING OF THIS AREA. REFER TO THE HADG FOR MORE INFORMATION REGARDING ACCESSIBLE PASSENGER LOADING ZONES.
- ACCESSIBLE CURB RAMP TO MEET ALL ACCESSIBILITY REQUIREMENTS. MAXIMUM SLOPE OF RUN 1:12 (1:14 RECOMMENDED). MAXIMUM CROSS SLOPE OF 1:48 (1:64 RECOMMENDED). REFER TO THE HADG FOR FURTHER INFORMATION.
- ACCESSIBLE PARKING SPACES, SIGNAGE, LOGOS, WHEEL STOPS AND ACCESS AISLES MUST MEET ALL ACCESSIBILITY REQUIREMENTS - PROVIDE SPACES IN SIZE, QUANTITY AND LOCATIONS REVIEWED BY ACCESSIBILITY AND BY APPLICABLE CODES AS DETERMINED BY LOCAL JURISDICTION. PROVIDE A MAXIMUM SLOPE IN EITHER DIRECTION OF 1:48 (1:64 RECOMMENDED). REFER TO HADG FOR FURTHER INFORMATION.
- OPTIONAL FLAGPOLE WITH IN-GROUND UPLIGHT
- SPECIMEN TREE
- PAVED WALKWAY - SLOPE AWAY FROM BLDG. (MAX 2% CROSS SLOPE) - SILICA-BASED AGGREGATE
- DECORATIVE NON-SLIP PAVING
- LINE OF CANOPY ROOF ABOVE
- REINFORCED CONCRETE PAD
- EXTERIOR GARDEN STORAGE AREA
- NET RELIEF STAND
- PROPERTY LINE
- CURB CUT & DRIVEWAY ACCESS - SIZE & LOCATE CURB CUTS & DRIVE AISLES PER LOCAL REQUIREMENTS - MAINTAIN APPROPRIATE SIGHT LINES
- OUTDOOR LOUNGE - REFER TO FF&E SPECS FOR LOOSE FURNISHINGS
- POOL PATIO - REFER TO FF&E SPECS FOR LOOSE FURNISHINGS
- ACCENT PLANTINGS - SPECIES DETERMINED BY LOCAL CLIMATE CONDITIONS - REFER TO LANDSCAPE DESIGN INTENT PLAN FOR LANDSCAPING GUIDELINES
- TRELLIS ABOVE - SEE DETAILS SHEET A-305
- ACCESSIBLE WALKWAY FROM ACCESSIBLE PARKING TO BUILDING ENTRANCE. PROVIDE A RUNNING SLOPE OF MAXIMUM 1:20 AND A CROSS SLOPE OF MAXIMUM 1:48 (1:64 RECOMMENDED). REFER TO HADG FOR FURTHER INFORMATION. SCORE DECORATIVE CONC.
- BOLLARDS - 48" HIGH 6" DIA. CONC. FILLED STL.
- PROPOSED TRANSFORMER & CONCRETE PAD LOCATION - ADJUST LOCATION AS REQUIRED TO MEET LOCAL CODES & UTILITY ACCESS
- PARKING LOT STRIPING MUST BE WHITE, EXCEPT WHERE OTHER COLORS ARE REQUIRED BY LOCAL CODES FOR FIRE LANES, ACCESSIBLE PARKING, NO PARKING ZONES, ETC.
- TREES - SPECIES DETERMINED BY LOCAL CLIMATE COND. TREES SHALL NOT INTERFERE W/ PARKING OR PEDESTRIAN ACTIVITY. REFER TO LANDSCAPE DESIGN INTENT PLAN FOR LANDSCAPING GUIDELINES
- ASPHALT OR CONC. PAVING SHALL COMPLY W/ LOCAL REQUIREMENTS - PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. - COORDINATE SITE DRAINAGE & DETENTION W/ CIVIL ENGINEER
- PARTIAL HEIGHT WALL
- ACCESSIBLE WALKWAY - RUNNING SLOPE OF MAXIMUM 1:20 AND CROSS SLOPE OF MAXIMUM 1:48 (1:64 RECOMMENDED). REFER TO HADG FOR FURTHER INFORMATION. SCORE DECORATIVE CONC.
- CONTINUOUS CONCRETE CURB - TYP.
- CONDENSING UNIT LOCATION - SCREENED FROM VIEW
- ACCESSIBLE PATH AWAY FROM BUILDING
- EXTERIOR FIRE PIT WITH MANUAL EMERGENCY REMOTE SHUT-OFF VALVE. SECURE IN PLACE TO RESIST MOVEMENT. FEED WITH UNDERGROUND LINE FROM BUILDING GAS SERVICE. PROVIDE APPROPRIATELY SIZED SAFETY SCREEN
- EXPANSION JOINT
- CONTROL JOINT
- LANDSCAPE AREA - REFER TO LANDSCAPE SHEETS FOR PLANTING PLAN
- REFER TO FLOOR PLANS FOR HATCHED AREA
- PRIMED AND PAINTED TUBE STEEL CANOPY COLUMNS
- ACCESSIBLE ROUTE TO PUBLIC RIGHT OF WAY (IF REQUIRED). MAX. RUNNING SLOPE OF 1:20 AND MAX. CROSS SLOPE OF 1:48 (1:64 RECOMMENDED). ALL PAVED SURFACES, CURB RAMPS AND TRANSITIONS ALONG PATH TO MEET ACCESSIBILITY REQ'S
- EXTERIOR GAS GRILL. GRILLS REQUIRE REMOTE EMERGENCY SHUT OFF.
- PARKING LOT & DRIVEWAY LIGHTING (P-1) - SHOWN FOR DESIGN INTENT
- FLUSH CURB ALONG ENTIRE LENGTH OF ACCESSIBLE DROP OFF
- TRASH, RECYCLING, AND ASH BIN
- 24" X 54" FRC PLANTERS
- OPTIONAL POOL
- EV CHARGING STATION. PROVIDE CONCRETE FOOTING AND ELECTRICAL
- EMERGENCY GAS SHUT OFF
- PROVIDE POWER FOR PLUG IN STRIP LIGHT AT TRELLIS
- PROVIDE POWER FOR PLUG IN STRING LIGHTS

LEGEND - SITE PLAN

- ASPHALT PAVING
- PAVED WALKWAY
- PAVING #1: CONCRETE
- PAVING #2: COLORED CONCRETE WITH EXPOSED AGGREGATE OR SAND FINISH
- PARKING AND DRIVE STRIPING
- STONE COBBLE MULCH - SEE LANDSCAPE
- GROUND COVER - SEE LANDSCAPE
- PROPERTY LINE
- STREET LIGHT (P-1)
- IN-GROUND UPLIGHT (P-3)
- FLAG POLE



NORTH AMERICA PROTOTYPE

EACH OWNER IS TO VERIFY WITH THE LOCAL CODE ENFORCEMENT AGENCY FOR ACCESSIBILITY OR BARRIER-FREE REQUIREMENTS. THE OWNER OF THE PROJECT CONTROLS THE ULTIMATE DESIGN AND CONSTRUCTION AND IS URGED TO SEEK APPROPRIATE COUNSEL TO ENSURE SUCH COMPLIANCE.

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ISSUE INFORMATION

VERSION 3.0: AUG. 2022

REVISIONS

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PROJECT INFORMATION

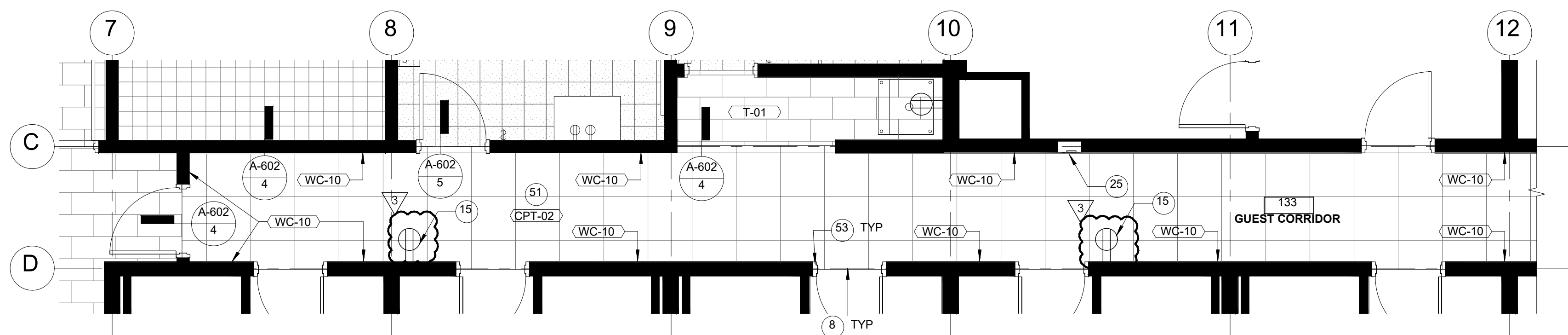
PROTOTYPE
PACKAGE

AUGUST 2022

SHEET INFORMATION

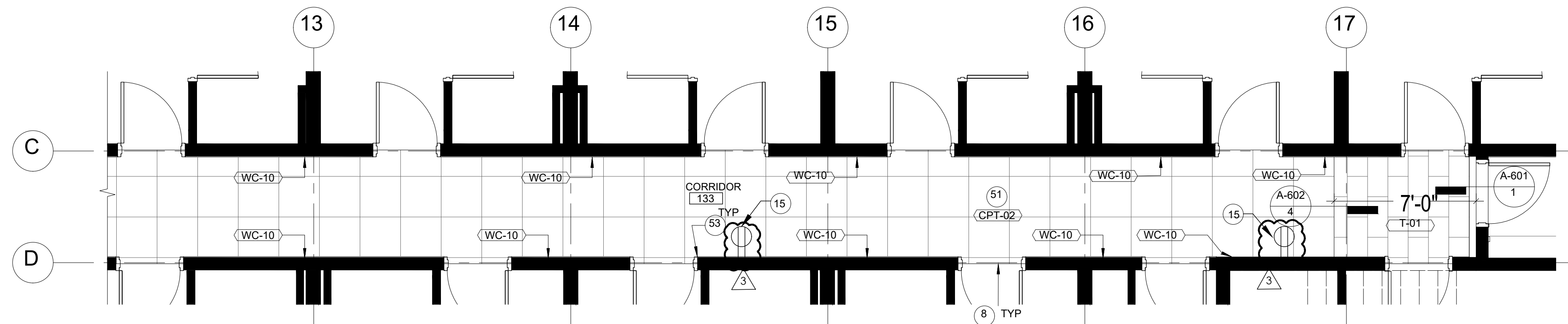
AREA DEVELOPMENT
ENLARGED PLANS &
DETAILS

AS-102



FINISH CODE LEGEND

PT	PAINT	MIR	MIRROR
PL	PLASTIC LAMINATE	G	GLASS
ST	STONE	QT	QUARRY TILE
SS	SOLID SURFACE	B	WALL BASE
CONC	CONCRETE	RF	RESILIENT FLOORING
CPT	CARPET	WC	WALLCOVERING
T	TILE	FILM	GLASS FILM



1 FIRST FLOOR CORRIDOR FINISH AND POWER PLAN

A101 SCALE: 1/4" = 1'-0"

GENERAL NOTES - FLOOR PLAN

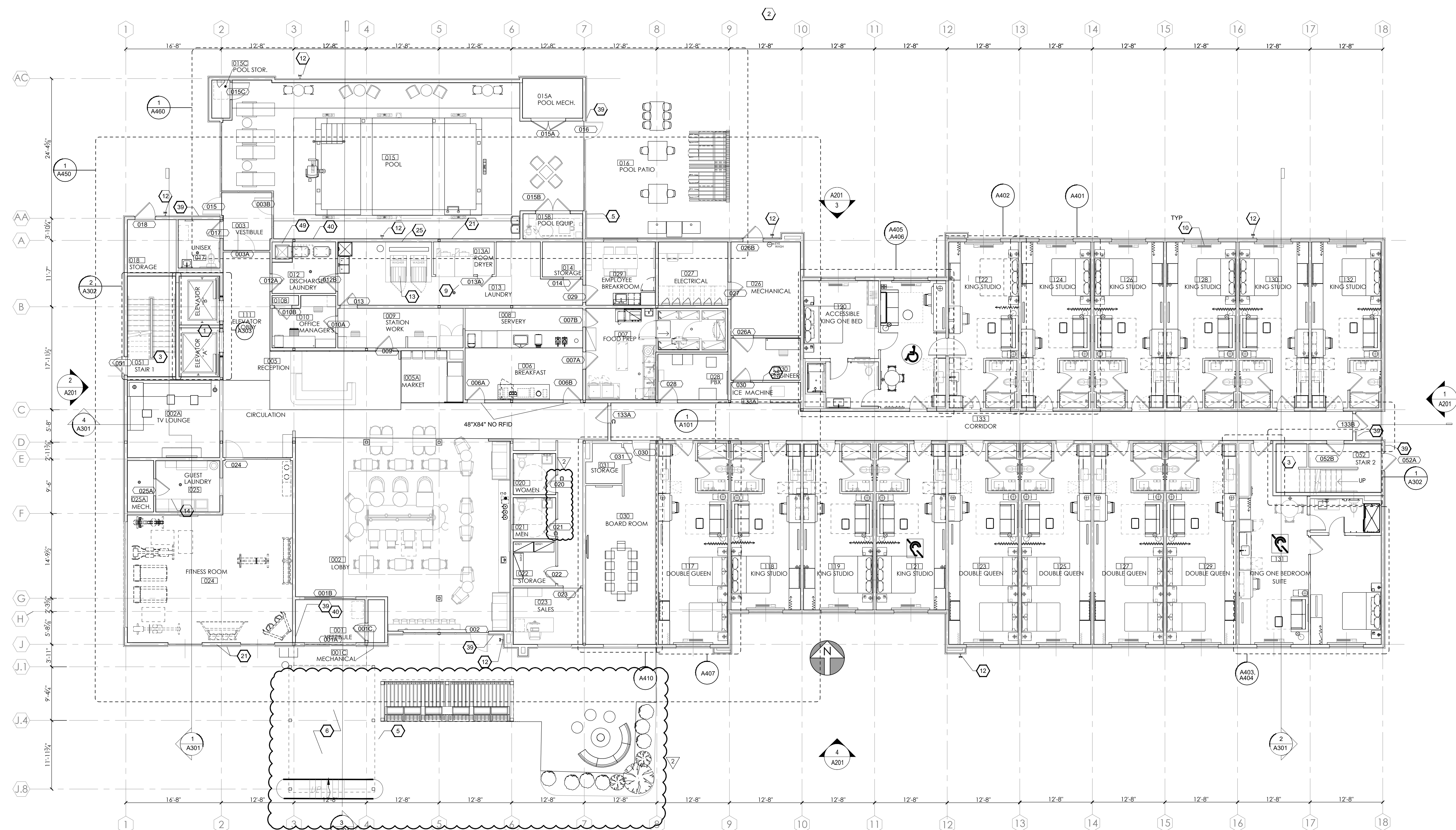
- REFER TO ENLARGED GUEST ROOM PLANS FOR DOOR TAGS & TYPES.
- REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQ'S FOR PASSENGER ELEVATORS, ELEVATOR LOBBIES & CORRIDORS.
- REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQ'S FOR STORAGE AREAS.
- REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQ'S FOR MECHANICAL, ELECTRICAL, & EQUIPMENT ROOMS.
- FIRE EXTINGUISHERS, SMOKE DETECTORS & OTHER EMERGENCY DEVICES TO BE LOCATED PER LOCAL CODE. FIRE EXTINGUISHER LOCATIONS WITHIN THE PUBLIC SPACE SHALL BE CONTAINED WITHIN FULLY RECESSED CABINETS.
- REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQ'S FOR ROOFING MATERIAL.
- REFER TO STANDARDS FOR FIXTURE & EQUIPMENT REQ'S.
- REFER TO HADG FOR FURTHER ADDITIONAL REQ'S FOR PUBLIC SPACES & EQUIPMENT.
- FIRE ALARM SYSTEM SHALL HAVE PERMANENTLY INSTALLED AUDIBLE & VISIBLE ALARMS COMPLYING WITH NFPA 72 (1999 OR 2022 ADDITION) & AS REQ'D BY LOCAL AUTHORITIES. ALARMS MUST BE LOCATED IN PUBLIC & COMMON USE AREAS & GUEST ROOMS DESIGNATED AS GUEST ROOMS WITH COMMUNICATIONS FEATURES AT A MINIMUM. WHERE EMPLOYEE AREAS HAVE AUDIBLE ALARMS, THE WIRING SHALL BE DESIGNED SO VISIBLE ALARMS CAN BE INTEGRATED INTO THE SYSTEM, UNLESS GREATER STANDARDS ARE REQ'D BY LOCAL AUTHORITIES.

KEYED NOTES - FLOOR PLAN

- THIS ELEVATOR CAR SHALL PROVIDE EMERGENCY ACCESS TO ALL FLOORS AND BE LARGE ENOUGH TO ACCOMMODATE AN AMBULANCE STRETCHER.
- OVERALL BUILDING DIMENSIONS BASED ON WOOD FRAME CONSTRUCTION. OVERALL DIMENSION WILL VARY BASED ON FINAL BUILDING CONSTRUCTION.
- EGRESS STAIR IN CONCRETE MASONRY STAIR ENCLOSURE.
- ALTERNATING TREAD STAIR FROM FOURTH FLOOR STAIR LANDING TO ROOF.
- LINE OF ROOF/CANOPY ABOVE.
- VEHICULAR DROP OFF - REFER TO SITE PLAN AND DETAIL.
- CARRY CARPET PATTERN INTO DOOR TO TRANSITION STRIP AS INDICATED - REFER TO SHEET A-601 FOR TRANSITION DETAIL.
- FLOOR DRAIN.
- PTAC UNIT.
- HOSE BIBB - FROST FREE WHERE REQUIRED. TAMPER RESISTANT, RECESSED.
- HOTEL LAUNDRY EQUIPMENT - REFER TO ENLARGED PLAN.
- GUEST LAUNDRY EQUIPMENT - REFER TO ENLARGED PLAN.
- PROVIDE CONVENIENCE OUTLETS IN CORRIDORS FOR HOUSEKEEPING EQUIPMENT AT MINIMUM EVERY 50'.
- ACCESSIBLE ICE MACHINE WITH REQUIRED ACCESSIBLE APPROACH AREA. PROVIDE FLOOR DRAIN CENTERED UNDER ICE MACHINE AND PROVIDE POSITIVE SLOPE TOWARDS DRAIN WITHOUT AFFECTING ACCESSIBLE REQUIREMENTS. INSULATE DRAIN PIPES. REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL AND HADG FOR ADDITIONAL REQUIREMENTS FOR ICE MACHINE AREA.
- ROOF OF POOL BELOW.
- CANOPY/TRELLIS BELOW.
- DRYER VENT LOUVER - REFER TO ELEVATIONS.
- WIRE SHELVING SYSTEM - REFER TO FF&E FLOORS AND BE LARGE ENOUGH TO ACCOMMODATE AN AMBULANCE STRETCHER.
- FIRE EXTINGUISHER (CABINET IN PUBLIC AREAS): INSTALLED SO THAT NO OPERABLE PART IS HIGHER THAN 48" A.F.F. CABINETS TO BE FULLY RECESSED.
- KEYCARD READER ENTRANCE HARDWARE, MOUNTED SO THAT TOP OF READER IS A MAXIMUM OF 48" ABOVE GRADE OR FINISH FLOOR.
- PUSH BUTTON INTERCOM OR HOUSE PHONE (OPTIONAL VIDEO MONITORING). MOUNT SO TOP OF DEVICE IS MAXIMUM OF 48" ABOVE GRADE. PROVIDE CLEAR FLOOR SPACE AS REQUIRED BY ACCESSIBILITY AT DEVICE. LAUNDRY CHUTE LOCATION CONTAINED WITHIN 2-HOUR RATED SHAFT WITH RATED DOOR MONITORING. MOUNT SO TOP OF DEVICE IS MAXIMUM OF 48" ABOVE GRADE. PROVIDE CLEAR FLOOR SPACE AS REQUIRED BY ACCESSIBILITY AT DEVICE.
- CONNECTING DOOR AT LEVEL 2 ONLY. REFER TO PRODUCT SPECIFICATION FOR CARPET PATTERN.
- HYDRATION STATION.
- SEE 5/A-456 FOR DOOR TRIM AND FINISHES.

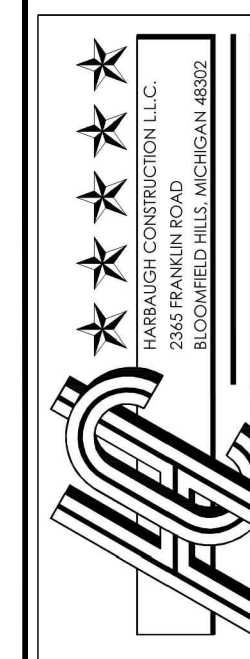
LEGEND - FLOOR PLAN

- CARPET TILE
- FLOOR TILE
- QUARRY TILE
- FINISH TAG
- FF&E TAG
- EQUIPMENT TAG
- MAGNETIC DOOR HOLD OPENER - SEE ACCESSIBILITY SHEET FOR ALL LOCATIONS



A101 OVERALL FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



Rev.	By	Date	Issued For
1	J.S.	08/20/2022	NO
2	J.S.	08/20/2022	NO
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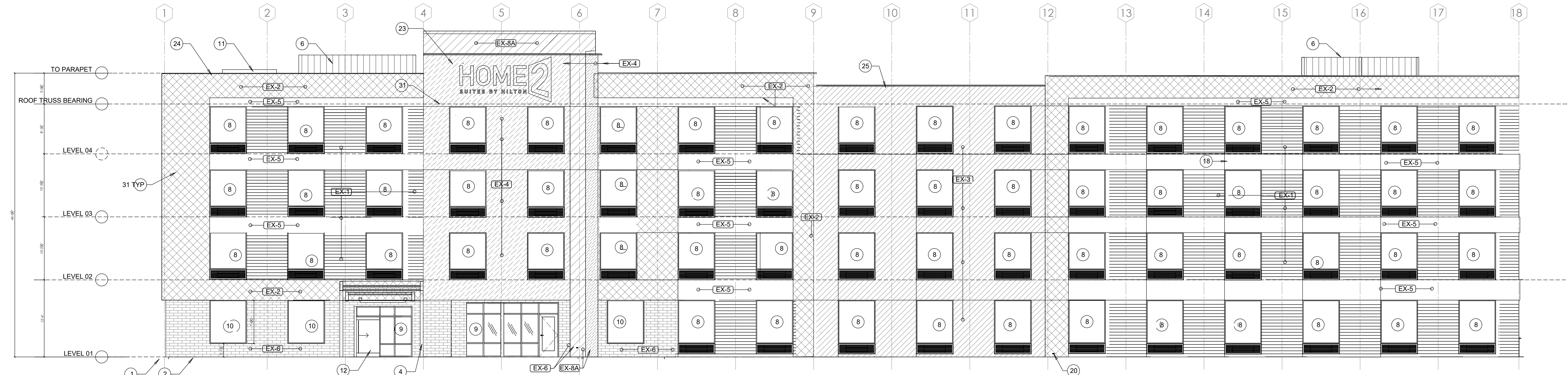
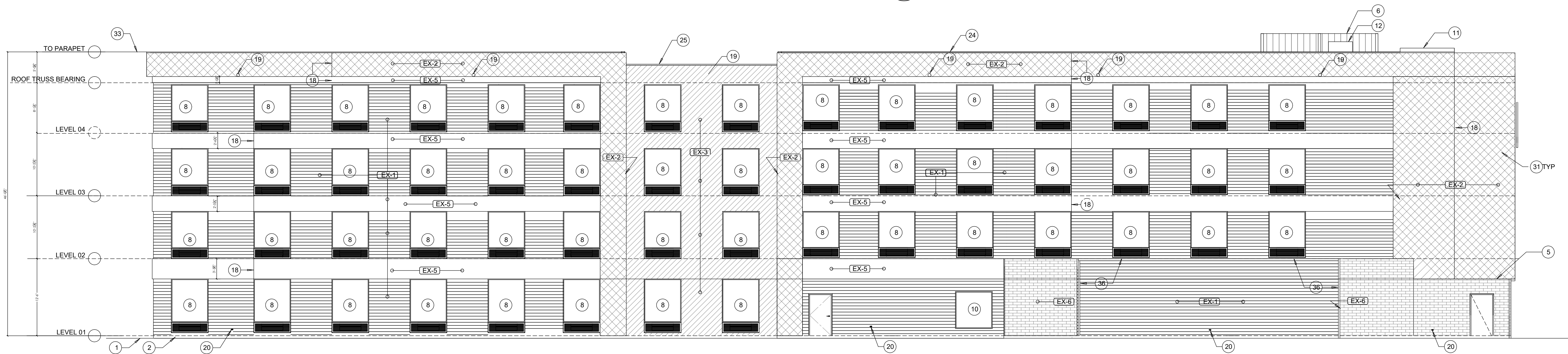
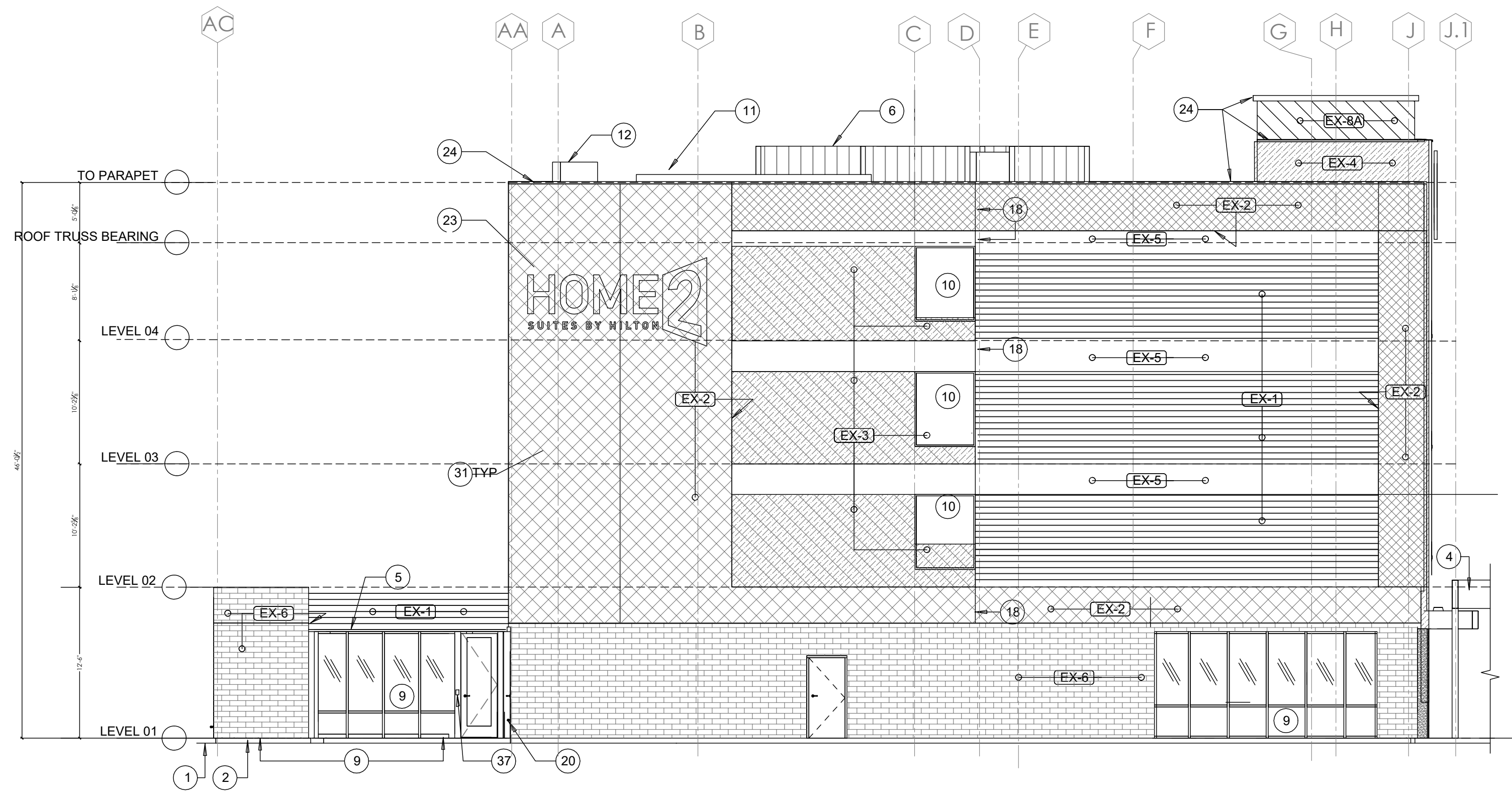
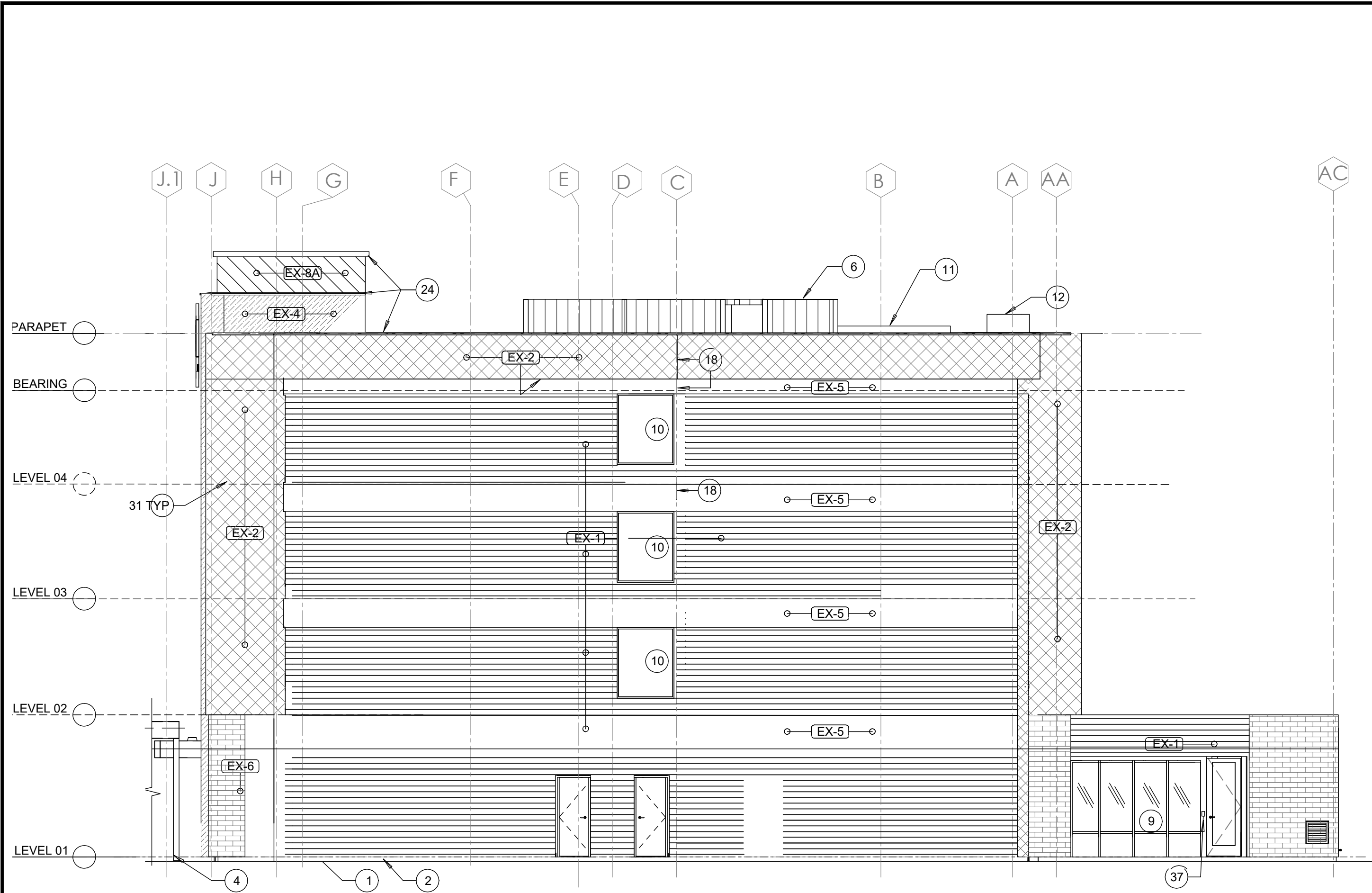
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6	J.S.	08/20/2022	NO



GENERAL NOTES - EXTERIOR ELEVATION

A. REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL GUIDE FOR ADDITIONAL INFORMATION REGARDING EXTERIOR MATERIALS, CONSTRUCTION REQUIREMENTS AND SIGNAGE REQUIREMENTS.

B. GROUT COLOR TO MATCH EXTERIOR TILE OR MASONRY

C. BUILDING HEIGHT DIMENSIONS ARE BASED ON WOOD FRAME CONSTRUCTION. THESE DIMENSIONS WILL VARY BASED ON FINAL BUILDING CONSTRUCTION. INTERIOR CEILING HEIGHTS ARE CRITICAL TO MAINTAIN AS MINIMUMS.

ARCHITECTURAL ELEMENTS

- EX-1 CORE: body
Background for layering of all other materials
- EX-2 WRAP: Unified element set proud (12" min) from the CORE
- EX-3 LINK: Connection
Piece to break up large segments of the WRAP
- EX-4 KEEP: foreground element of BEACON
Placed on primary building entry elevation in conjunction with the port cochere and with clear visibility from the frontage road. Extends up beyond the WRAP. Background for primary building sign.
- EX-5 ACCENT BAND: articulation
Horizontal 3D band proud of CORE. Sufficient depth (2" min) to create distinct shadow line. No visible joints.
- EX-6 SUPPORT: base
- EX-7 CANOPY
- EX-8 BEAM: vertical element
Set back in plane from the KEEP, extends to the ground. Composed of three elements:
- EX-8A REVEAL: vertical element extending through the KEEP
- EX-8B BAND: horizontal element capping the reveal

PROTOTYPICAL MATERIALS

SUPPORT
Materiality: Building material authentic and substantial material with clean crisp lines such as tile, cut stone, cast stone, decorative masonry units (cmu) or brick
Color: Light to Medium value, natural inherent in the material
Texture: Sandstone-like, ground face, bush hammered or smooth
Contrast: High textural contrast to WRAP and ACCENT BAND. Medium color contrast to all other elements. High material contrast to all other elements.

CORE
Materiality: Building material with strong directionality and high relief to create shade and shadow such as textured EIFS, stucco, brick wood Siding, cement fiber board or corrugated metal
Color: Medium value, 40-60% value, earth toned, painted or natural depending on material
Texture: Medium to coarse texture
Contrast: High textural contrast to WRAP and ACCENT BAND. Medium to High to WRAP and ACCENT BAND. Low to medium material contrast to WRAP & ACCENT BAND

WRAP
Materiality: Building material with a minimal amount of joints and connections and a smooth finish such as EIFS, stucco or metal panels
Color: Light to medium value, painted
Texture: Smooth or Fine finish
Contrast: Low textural contrast to SUPPORT. Medium to high textural contrast to CORE. Low to High contrast to SUPPORT and ACCENT BAND. Low to High material contrast to CORE

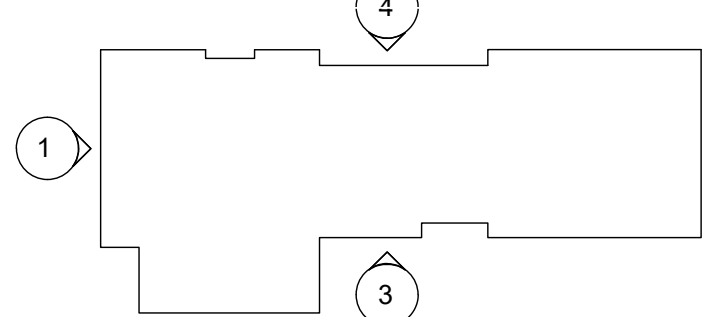
LINK & KEEP
Materiality: Building material with a strong horizontal direction and high relief to create shade and shadow. Smooth finish material: EIFS and stucco. Strong horizontal materials: brick, wood cement fiber board or metal
Color: Medium to Dark value, painted or natural depending on material
Texture: Smooth to Coarse
Contrast: Low to High textural contrast to WRAP and ACCENT BAND. High color contrast to WRAP. Low to High material contrast to WRAP.

ACCENT BAND
Materiality: Building material with a minimum amount of joints and connections and smooth finish: metal, EIFS or Stucco.
Color: Light to Dark value. Color must match or complement window and door frames throughout the design
Texture: Smooth of Fine finish
Contrast: Low textural contrast to WRAP. Medium to High color contrast to WRAP and CORE. Low material contrast to WRAP. Low to High material contrast to CORE.

CANOPY
Materiality: Steel columns and beams with T&G wood plank soffit and insulation for slope and membrane roofing.
Color: Dark value on steel, wood plank to be clear stain, membrane roofing color to match main roof.
Texture: Smooth, painted finish.

KEYED NOTES

- 1 APPROXIMATE LINE OF GRADE
- 2 ABOVE GRADE EXPOSED FOUNDATION WALL
- 4 PAINTED TUBE STEEL CANOPY WITH WOOD FINISHED SOFFIT
- 5 WOOD SLATTED CANOPY WITH STEEL SUPPORT
- 6 MECHANICAL EQUIPMENT SCREEN - REVIEW ALL VIEWS AROUND PROPERTY BEFORE LOCATING ALL ROOF TOP MECHANICAL UNITS. VERIFY ALL EQUIPMENT IS ADEQUATELY SCREENED
- 8 ALUMINUM FIXED WINDOW WITH THERMAL BROKEN FRAME, INSULATED GLAZING WITH INTEGRAL ALUMINUM LOUVER AT PTAC UNITS
- 9 ALUMINUM STOREFRONT SYSTEM WITH THERMAL BROKEN FRAME AND INSULATED GLAZING
- 10 ALUMINUM FIXED WINDOW WITH THERMAL BROKEN FRAME AND INSULATED GLAZING
- 11 ELEVATOR OVERRUN
- 18 FINISH CONTROL JOINT
- 19 OVERFLOW SCUPPER - BASIS OF DESIGN NESCO MFG INC. - MODEL # SCT914R - REFER ALSO TO DETAIL 7/A-303
- 20 TAMPER RESISTANT, RECESSED HOSE BIBB - MOUNT TOP AT +12' A.F.F.
- 23 SIGNAGE - REFER TO EXTERIOR SIGNAGE SPECIFICATIONS
- 24 KYNAR FINISH ALUMINUM COPING SYSTEM - COLOR TO MATCH ADJACENT MATERIAL
- 25 KYNAR FINISH ALUMINUM GRAVEL STOP - COLOR TO MATCH ADJACENT MATERIAL
- 31 EXPANSION JOINT AT FLOOR LINE WITH BACKER ROD AND SEALANT
- 33 BUILDING HEIGHT DIMENSIONS ARE BASED ON WOOD FRAME CONSTRUCTION. THESE DIMENSIONS WILL VARY BASED ON FINAL BUILDING CONSTRUCTION. INTERIOR CEILING HEIGHT DIMENSIONS ARE CRITICAL TO MAINTAIN AS MINIMUMS.
- 36 ALUMINUM GUTTER AND DS. COLOR TO MATCH ADJ. MATERIAL
- 37 ACCESSIBLE KEY CARD READER WIRED TO ELECTRIC STRIKE IN DOOR - TOP OF READER AT 48" MAX. HEIGHT
- 38 POOL PERIMETER FENCE AS REQUIRED BY CODE WITH 3'-0" GATE
- 39 PRECAST COPING



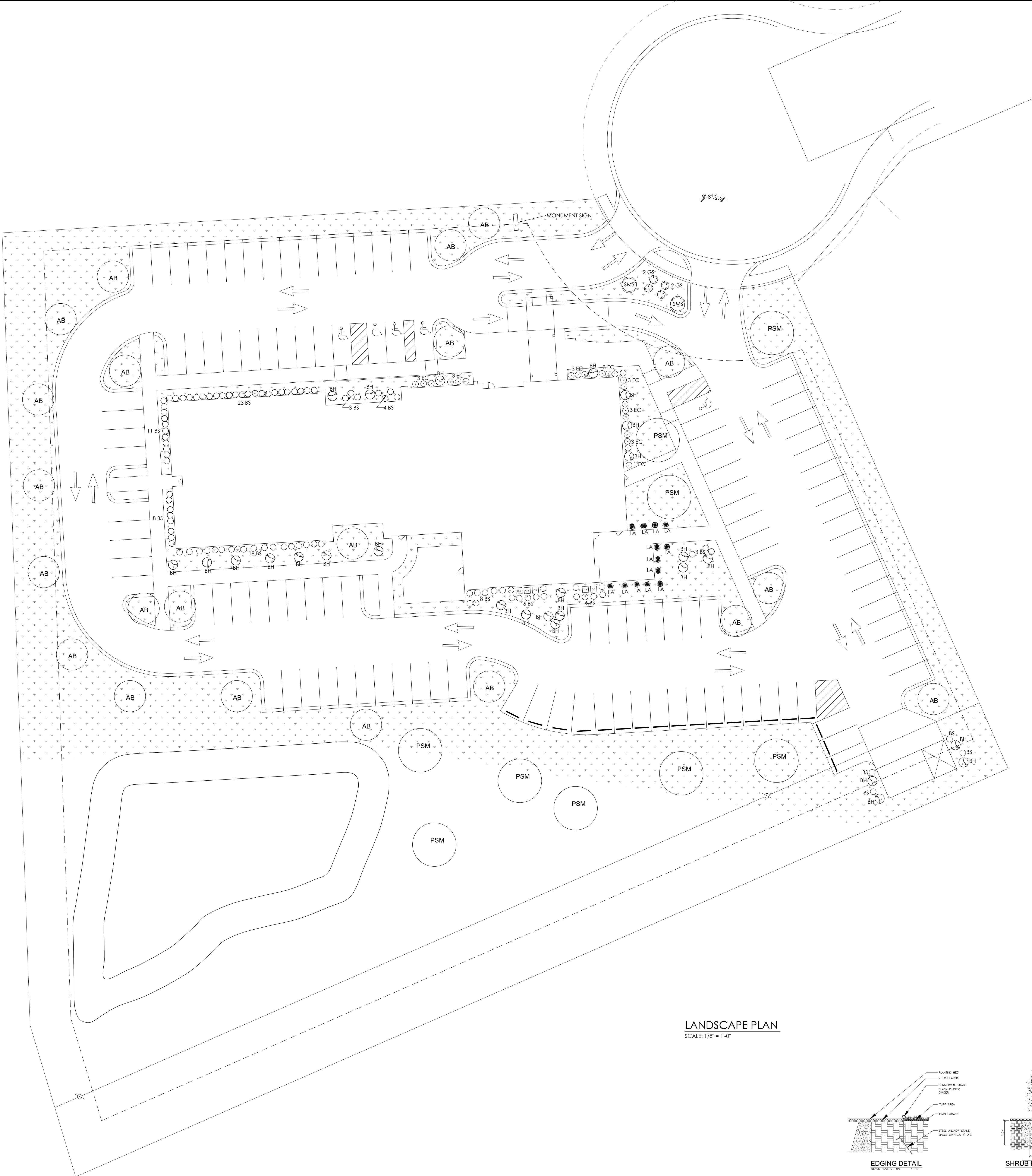
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Designed By	Drawn By	Checked By	Approved By

EXTERIOR BUILDING ELEVATIONS

HARBAUGH CONSTRUCTION

Client	Project
MARENGO HOTELS, LLC	HOME2 BY HILTON - MARSHALL MICHIGAN
File Name	
Rev.	Scale AS NOTED
Project Number	2111
Sheet	A201

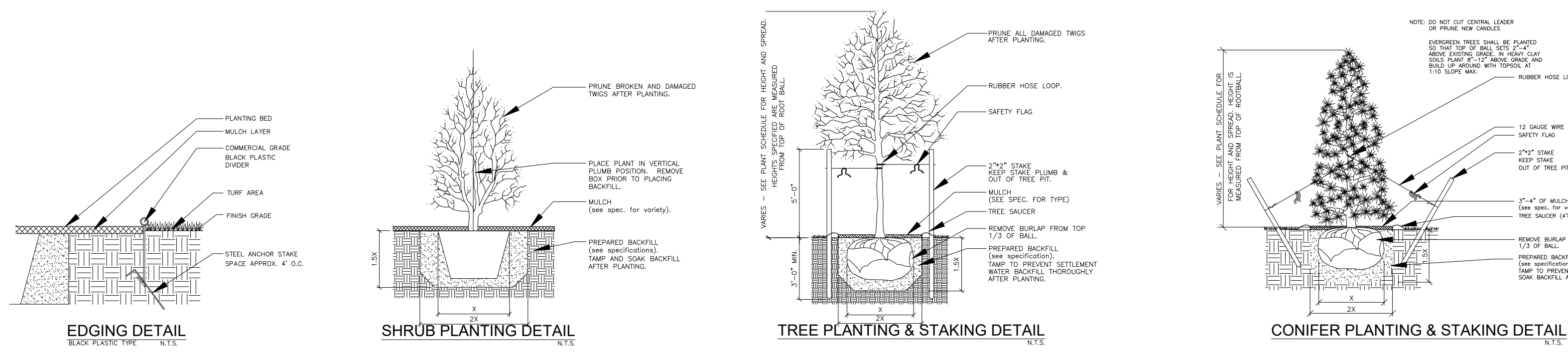


9	3-INCH CALIPER	ACER RUBRUM "FRANKSRED" PACIFIC SUNSET MAPLE 45-FEET - 50-FEET	PSM
20	2-INCH CALIPER	ACER RUBRUM AUTUMN BLAZE MAPLE 50-FEET	AB
94	1-GALLON	BUXUS SEMPERVIRENS BOXWOOD 5-FEET - 15-FEET HIGH	BS
22	1-GALLON	EVERGREEN COLUMNAR 6-FEET - 8-FEET HIGH	EC
4	5-GALLON	SPIREA X BUMAIDA "GOLDFLAME" (GOLDFLAME SPIREA) 3-FEET HIGH	GS
13	1-GALLON	HYDRANGEAS HYDRANGEA MACROPHYLLA (LINDSEY ANN) 7-FEET HIGH	LA
2	5-GALLON	SPIREA SNOWMOUND SNOWMOUND SPIREA 2-FEET HIGH MINIMUM	SMS
27	3-GALLON	ILEX BLUE HOLLY 6-FEET TO 8-FEET HIGH	BH

- KEYNOTES:**
- MONUMENT SIGN LOCATION (11'8 3/4 X 6'4 1/2) WITH MAXIMUM HEIGHT OF 25'
 - ACCESSIBLE PASSENGER DROP OFF AREA W/ ADJACENT CLEAR ACCESS AISLE - DROP OFF & ACCESS AISLE SHALL BE @ THE SAME LEVEL & SHALL HAVE A SLOPE NOT TO EXCEED 1:48 (1.64 RECOMMENDED). DRIVE AISLES SHALL RAMP UP TO LEVEL OF WALK AT DROP-OFF AREA - REFER TO MATERIAL LEGEND FOR SPECIFIC PAVING OF THIS AREA. REFER TO THE HADG FOR MORE INFORMATION REGARDING ACCESSIBLE PASSENGER LOADING ZONES.
 - ACCESSIBLE CURB RAMP TO MEET ALL ACCESSIBILITY REQUIREMENTS. MAXIMUM SLOPE OF RUN 1:12 (1:14 RECOMMENDED), MAXIMUM CROSS SLOPE OF 1:48 (1:64 RECOMMENDED), REFER TO THE HADG FOR FURTHER INFORMATION.
 - ACCESSIBLE PARKING SPACES, SIGNAGE, LOGOS, WHEEL STOPS & ACCESS AISLES MUST MEET ALL ACCESSIBILITY REQUIREMENTS - PROVIDE SPACES IN SIZE, QUANTITY & LOCATIONS REQ'D BY ACCESSIBILITY AND BY APPLICABLE CODES AS DETERMINED BY LOCAL JURISDICTION. PROVIDE A MAXIMUM SLOPE IN EITHER DIRECTION OF 1:48 (1.64 RECOMMENDED), REFER TO HADG FOR FURTHER INFORMATION.
 - EXTERIOR GARDEN STORAGE AREA
 - PROPERTY LINE
 - CURB CUT & DRIVEWAY ACCESS - SIZE & LOCATE CURB CUTS & DRIVE AISLES PER LOCAL REQUIREMENTS - MAINTAIN APPROPRIATE SIGHT LINES
 - PARKING LOT & DRIVEWAY LIGHTING (P-1)
 - TRASH, RECYCLING, AND ASH BINS
 - ACCESSIBLE ROUTE FROM ACCESSIBLE PARKING TO BUILDING ENTRANCE. PROVIDE A RUNNING SLOPE OF MAXIMUM 1:20 AND A CROSS SLOPE OF MAXIMUM 1:48 (1.64 RECOMMENDED), REFER TO HADG FOR FURTHER INFORMATION.
 - PAINTED PARKING STRIPE ON PAVEMENT SURFACE, TYP.
 - TREES - SPECIES DETERMINED BY LOCAL CLIMATE COND. - TREES SHALL NOT INTERFERE W/ PARKING OR PEDESTRIAN ACTIVITY-REFER TO LANDSCAPE DESIGN INTENT PLAN FOR LANDSCAPING GUIDELINES
 - ASPHALT OR CONC. PAVING SHALL COMPLY W/ LOCAL REQUIREMENTS - PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. -- COORDINATE SITE DRAINAGE & DETENTION W/ CIVIL ENGINEER
 - CONTINUOUS CONCRETE CURB - TYP.
 - CONDENSING UNIT LOCATION-SCREENED FROM VIEW
 - FREEZE-PROOF HOSE BIBBLE
 - FLOOR DRAIN

- PLANTING NOTES**
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH AUTOMATIC SPRINKLER SYSTEM. LANDSCAPE CONTRACTOR TO PROVIDE ALL PLANT AND POTTING MATERIAL FOR ALL FLOWER POTS AND PLANTERS.
 - ANNUAL BEDS SHALL BE LOCATED AT THE FRONT ENTRY, AT THE MONUMENT SIGN(S), AND NEAR THE PATIO SEATING. BUDGET PERMITTING, POTS MAY BE PLACED AROUND THE POOL AREAS WITH ANNUALS. POTS SHALL INCLUDE PLANT MATERIAL.
 - IVY AND SIMILAR GROUNDCOVER MAY BE PLANTED FROM FLATS. ALL OTHER GROUNDCOVERS, PERENNIALS, MASS-PLANTED LOW SHRUBS SHALL BE 4" POT, QUART OR 1 GAL. AS IS APPROPRIATE FOR THE SPECIES.
 - EDGING: 6" COMMERCIAL GRADE BLACK PLASTIC EDGING SHALL BE USED TO SEPARATE ALL PLANTING BEDS FROM ALL TURF AREAS. WHERE PLANTING BEDS ARE LOCATED NEXT TO SIDEWALKS, EDGING SHALL BE PLACED ALONG THE PAVED SURFACE TO PREVENT WASHOUT OF MULCH (EXCEPTION: IF GRAVEL MULCHES ARE USED SUCH AS IN THE SOUTHWEST SINCE THESE ARE NOT TYPICALLY TOP-DRESSED ON AN ANNUAL BASIS).

- GENERAL NOTES**
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL PRIVATE AND PUBLIC UTILITY LOCATIONS PRIOR TO COMMENCING LANDSCAPE OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL UTILITY LOCATIONS THROUGHOUT THE DURATION OF LANDSCAPE CONSTRUCTION.
 - THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DRAINAGE OR UNSUITABLE SOIL CONDITIONS THAT MAY EFFECT THE LANDSCAPE INSTALLATION.
 - THE LANDSCAPE CONTRACTOR SHALL VISIT THE SITE DURING BID PREPARATION AND IDENTIFY ANY DISCREPANCIES BETWEEN THE DOCUMENTS AND THE SITE.
 - THE LANDSCAPE CONTRACTOR SHALL PROTECT THE EXISTING PAVEMENTS ADJACENT TO THE LANDSCAPE IMPROVEMENTS. ANY DAMAGE TO THE PAVEMENTS SHALL BE REPAIRED AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR.
 - ALL MATERIAL IDENTIFIED AS DEMOLISHED SHALL BE DEPOSED OF OFF-SITE.
 - DO NOT STORE ANY CONSTRUCTION MATERIAL OR EXCESS SOILS WITHIN THE DRIPLINE OF TREES TO BE PROTECTED.
 - THE LANDSCAPE CONTRACTOR SHALL WARRANTY ALL TREES, SHRUBS, PERENNIALS, GROUND COVERS, AND ORNAMENTAL GRASSES FOR A PERIOD OF ONE YEAR.
 - PLANT MATERIAL SHALL BE HEALTHY, FREE OF DISEASE AND INSECTS, SIZES OF PLANTS SHALL MEET OR EXCEED THE SIZES DENOTED IN THE PLANT LIST.
 - PLANT SUBSTITUTIONS WILL ONLY BE ALLOWED WITH THE PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT.
 - MULCH PLANTING BEDS WITH 3" LAYER OF SHREDDED HARDWOOD BARK, NATURAL BROWN IN COLOR.



Client

MARENGO HOTELS, LLC

Project

HOMER2 BY HILTON - MARSHALL, MICHIGAN

Time

LANEDSCAPING PLAN

Project

HARBAUGH CONSTRUCTION

Rev.

Scale

AS NOTED

Project Number

2111

Sheet

L001

Client

MARENGO HOTELS, LLC

Project

HOMER2 BY HILTON - MARSHALL, MICHIGAN

Time

LANEDSCAPING PLAN

Project

HARBAUGH CONSTRUCTION

Rev.

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Sheet

L001

Luminaire Schedule					
Symbol	Qty	Label	LLF	Description	
	8	CNP	0.900	LCR8309FSE010MW (3000LM)	Lum. Watts 33.9
	12	S1	0.900	PRV-XL-PA3A-730-U-T4W	Lum. Lumens 3221
					172
					22153

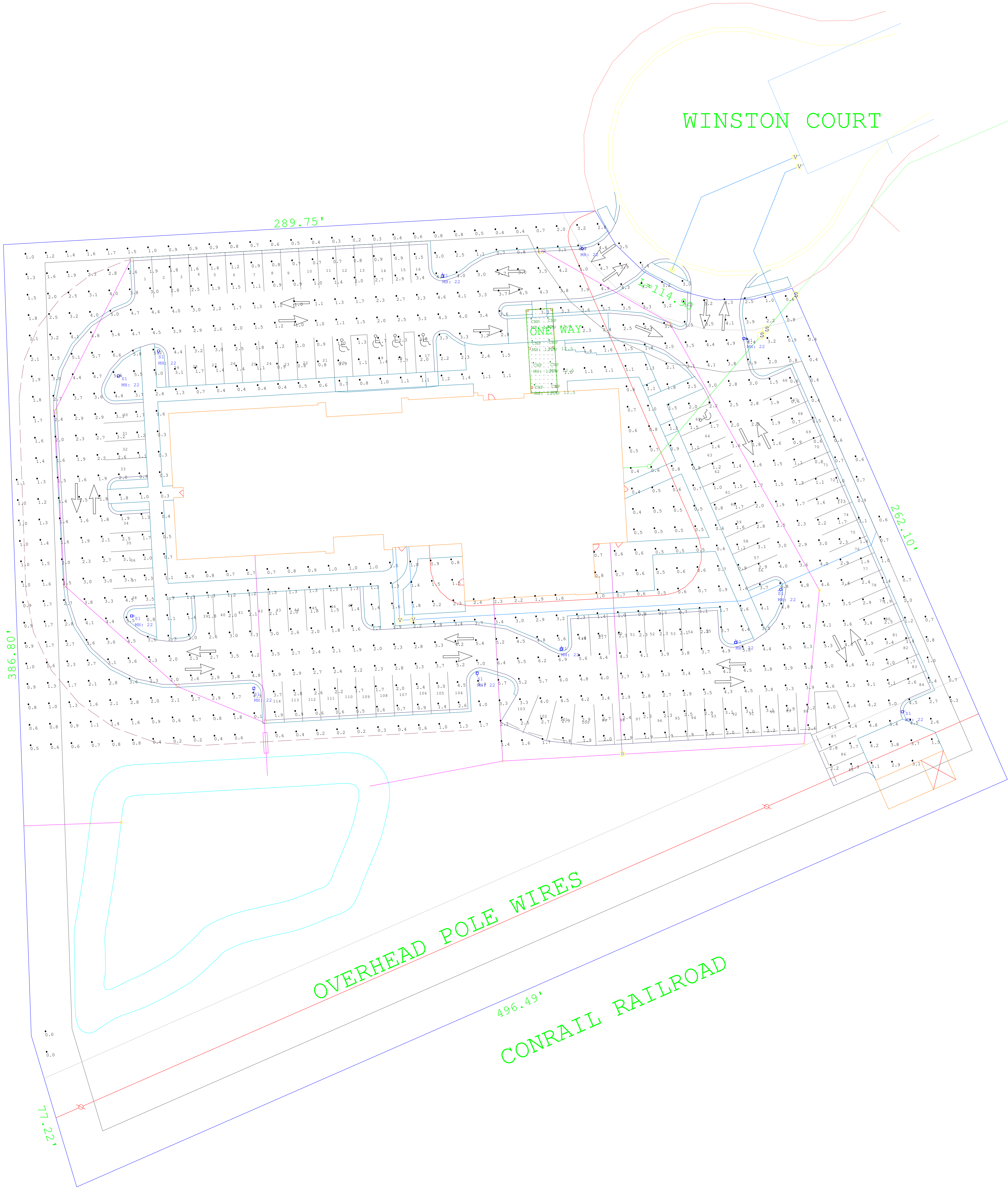
Calculation Summary

Label	Units	Avg	Max	Min	Max/Min	Avg/Min
CANOPY ENTRANCE_Workplane	Fc	26.36	31.3	15.5	2.02	1.70
Parking areas	Fc	2.26	7.0	0.0	N.A.	N.A.

NOTE

- THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF LAYOUT TO EXISTING/FUTURE FIELD CONDITIONS AND ALL MANDATORY BUILDING AND LIFE SAFETY CODES AND COMPLIANCE.
- LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURED LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMP/LEDS, AND OTHER VARIABLE FIELD CONDITIONS.
- MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.
- CLARUS DOES NOT ACT AS THE ELECTRICAL, CIVIL, OR STRUCTURAL ENGINEER AND DOES NOT DETERMINE BASE REQUIREMENTS AND APPLICABLE CODE COMPLIANCE. CLARUS IS NOT LIABLE FOR ANY CODE COMPLIANCE DISCREPANCY.
- THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SAFETY AND SAFETY. THE ENGINEER AND/OR ARCHITECT OF RECORD IS RESPONSIBLE TO REVIEW FOR CODE COMPLIANCE INCLUDING AND NOT LIMITED TO: NFPA 70 LIFE SAFETY CODE, MICHIGAN ENERGY CODE, MICHIGAN BUILDING CODE AND/OR IECC CODE, AND LIGHTING QUALITY COMPLIANCE.

INTERSTATE - 69 RAMP



Project	Catalog #	Type
Prepared by	Notes	Date



HALO

LCR8

8-Inch Round All-Purpose LED Retrofit Module

Typical Applications
Residential • Multi-family • Mixed-Use

Interactive Menu

- Order Information page 2
- Product Specifications page 2
- Photometric Data page 3
- Energy & Performance Data page 3
- Product Warranty
- Dimming Guide

Product Certification



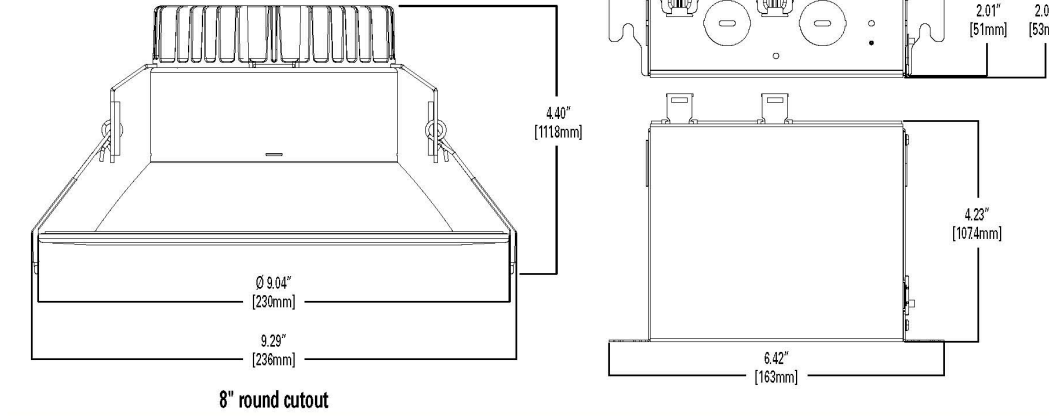
Product Features

Top Product Features

- Select from 5 CCTs via switch; 2700K, 3000K, 3500K, 4000K, 5000K CCT; 90 CRI
- Up to 8000 Lumens non-IC marked spacing; up to 5000 Lumens IC
- Direct mount - does not require recessed housing or junction box
- Dimmable down to 5%, 0-10V
- Wet location listed for showers and protected ceilings

Dimensional and Mounting Details

8000 lumen



COOPER Lighting Solutions

PSS1804SEN page 1
March 14, 2024 (14.03.24)

Project	Catalog #	Type
Prepared by	Notes	Date



Lumark

Prevail Discrete LED

Area / Site Luminaire

Product Features



Product Certifications



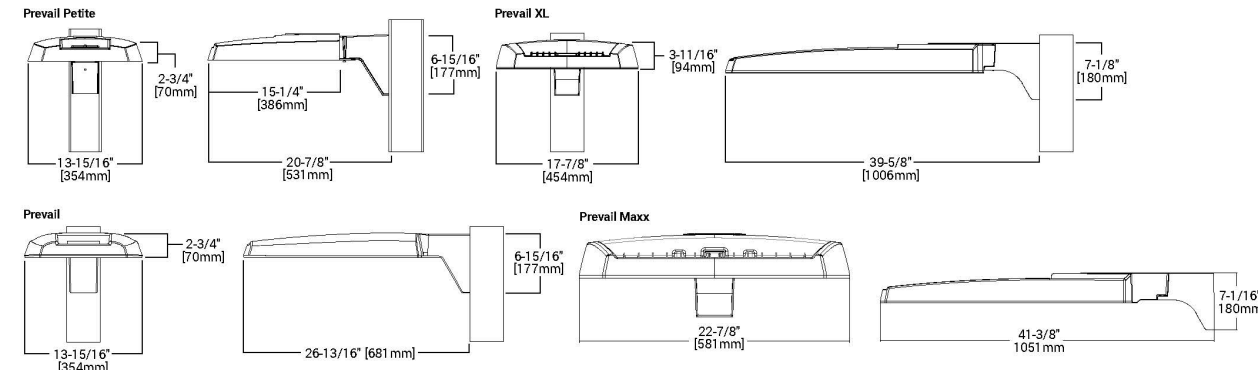
Connected Systems

- WaveLinx PRO Wireless
- WaveLinx LITE Wireless

Quick Facts

- Direct-mounted discrete light engine for improved optical uniformity and visual comfort
- Lumen packages range from 4,300 - 68,000 nominal lumens (30W - 550W)
- Replaces 70W up to 1,000W HID equivalents
- Efficacies up to 157 lumens per watt
- Standard universal quick mount arm with universal drill pattern

Dimensional Details



NOTES:
1. See <https://www.cooperlighting.com> for more details to confirm qualification. Not all product variations are DLC qualified.
2. See Certified for 3500K CCT and warmer only.

COOPER Lighting Solutions

PSS000005EN page 1
January 5, 2024 (14.01.24)

PROJECT TITLE
HOME 2 SUITES
MARSHALL, MICHIGAN

SHEET TITLE
PARKING LOT PHOTMETRIC LAYOUT
20' POLES ON 2' PEDESTALS

DATE
1/20/2025

REVISION NO.

1
SHEET NO.

L201

ALL-PHASE
ELECTRIC SUPPLY CO.

30775 Barrington Street
Madison Heights, MI 48071
Marc Drouillard (366)419-7563

CLARUS
LIGHTING + CONTROLS