

# ZONING BOARD OF APPEALS AGENDA

## Regular Meeting

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January 16, 2025 at 7:00 PM



- 1) **CALL TO ORDER**
- 2) **ROLL CALL**
- 3) **PLEDGE OF ALLEGIANCE**
- 4) **APPROVAL OF AGENDA** - Items can be added or deleted from the Agenda by City Council action.
- 5) **APPROVAL OF MINUTES** - Items can be added or deleted from the Agenda by board action.
  - A. Approve December 19, 2024, Meeting Minutes
- 6) **PUBLIC COMMENT ON AGENDA ITEMS** Persons addressing the board are required to give their name and address for the record when called upon by the Chair. Members of the public shall be limited to speaking for a maximum of five (5) minutes. Comments should address AGENDA ITEM topics. Public Hearing items should be addressed during the PUBLIC HEARING portion of the meeting agenda. Non-Agenda items should be addressed during the PUBLIC COMMENT-NON-AGENDA ITEMS portion of the meeting agenda.
- 7) **OLD BUSINESS**
- 8) **REPORTS AND RECOMMENDATIONS/NEW BUSINESS**
  - A. Appeal #25.01 211 + 213 E Michigan Avenue - Use Variance: First Floor Residential
  - B. Appeal #25.02 112 N Eagle St- Dimensional Variance
- 9) **PUBLIC COMMENT ON NON-AGENDA ITEMS** Persons addressing the board are required to give their name and address for the record when called upon by the Chair. Members of the public shall be limited to speaking for a maximum of five (5) minutes. Comments should address NON-AGENDA ITEM topics. Public Hearing items should be addressed during the PUBLIC HEARING portion of the meeting agenda. Agenda items should be addressed during the PUBLIC COMMENT-AGENDA ITEMS portion of the meeting agenda.
- 10) **BOARD REPORTS**
- 11) **ADJOURNMENT**

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## ZONING BOARD OF APPEALS MINUTES

December 19, 2024  
Regular Meeting - 7:00 PM

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1) **CALL TO ORDER**

IN A REGULAR SESSION held on Thursday, December 19, 2024 at 7:00 PM in the Council Chambers of City Hall, 323 West Michigan Ave, Marshall, MI 49068, the Marshall Zoning Board of Appeals was called to order by Chair Fisher-Short.

2) **ROLL CALL**

Roll was called:

Present: Chair Fisher-Short, Byrne (arrived at 7:06PM), Hill, Karns

Also Present: Director of Community Development Strange and Deputy Clerk Cary

Absent: Stewart, alternate Wolfersberger

3) **PLEDGE OF ALLEGIANCE**

4) **APPROVAL OF AGENDA** - Items can be added or deleted from the Agenda by City Council action.

**Moved** by Karns, supported by Hill to amend the agenda on a voice vote: **Motion carried.**

**Moved** by Karns, supported by Hill to approve the amended agenda to add Section B. 2025 Meeting Dates under Item 9. Reports and Recommendation/New Business on a voice vote: **Motion carried.**

5) **APPROVAL OF MINUTES** - Items can be added or deleted from the Agenda by board action.

A. Approve October 3, 2024 Meeting Minutes

**Moved** by Art Hill, supported by Jeff Karns to Approve of October 3, 2024 Meeting Minutes.

On a voice vote: **Motion carried.**

6) **PUBLIC COMMENT ON AGENDA ITEMS** Persons addressing the board are required to give their name and address for the record when called upon by the Chair. Members of the public shall be limited to speaking for a maximum of five (5) minutes. Comments should address AGENDA ITEM topics. Public Hearing items should be addressed during the PUBLIC HEARING portion of the meeting agenda. Non-Agenda items should be addressed during the PUBLIC COMMENT-NON-AGENDA ITEMS portion of the meeting agenda.

none

7) **PUBLIC HEARINGS & SUBSEQUENT BOARD ACTION**

none

8) **OLD BUSINESS**

none

9) **REPORTS AND RECOMMENDATIONS/NEW BUSINESS**

A. 315 N Madison - Deck

Director of Community Development Strange stated at 315 N Madison a deck was found under construction without a permit. The contractor was notified, and a permit was pulled. However, the deck construction remains within the setback. The residence is zoned as R-3 Traditional Residential, which is the same zoning as the adjacent properties, and has a 25'-0" setback. The stairs are allowed to extend into the setback, but the landing is about 2' too deep and the adjacent platform is 5'-0" too deep. She noted that the adjacent properties are also built in the setback.

The Owners have submitted their Variance Application and associated information. Photos of the existing condition are included. The formal request from the city is that the deck should be modified by reducing the deck depth and landing depth to meet current zoning requirements unless the ZBA is amicable to the request. Permit fee should be doubled.

Richard Huggett stated he is the owner of 315 N Madison. He stated that the letter is signed by his neighbors. His neighbors have been really receptive to the new deck. When he pulled the permit, he knows that the deck does not go out any further than his neighbors. His deck kept in line with the aesthetics of the porches in the neighborhood.

Ryan Valentine spoke about the deck. The new porch provides more a function for the homeowners and their family. The new porch is larger and safer than the previous porch. The previous porch didn't have any rails, and the steps were a little dilapidated that would need replacing at some point of time. The current upper level of the porch is larger area to sit or stand. The steps cascade down on each side and in the front, which allows the homeowners more access to their driveway and access to the lower level of the deck. The lower-level deck will be the main gathering area. Safety was a factor in the build, to have steps and a handrail for whoever goes up the stairs. The adjacent properties seem like most if not all of the porches are within that set back by a foot or two. There is even a garage across the street that is well within the set back. Constructing this the setback wasn't even in his radar. After the fact he understands that there is a setback in that area. The design of the porch was not to make it any different than any other neighbor, it's not going to extend out any further. It provides a better feel to the homeowner's house and to the neighborhood. In the springtime the homeowners are planning on staining the porch and doing some landscaping.

Fisher-Short asked what is the square footage of the deck. Just wondering just how much of the deck would have to come off to be complainant.

Mr. Valentine stated that the upper portion is just under two feet within the set back with the width being about ten feet. That is about 20 square feet or so. The lower level is about five feet into the setback. There would be some work to make that within the setback, but it is not impossible. He is more than willing to pay the fine of the permit.

Fisher-Short with looking at the factors with the dimensional variance:

1. Strict compliance with the specified dimensional standard(s) will deprive the applicant of rights commonly enjoyed by other property owners in the same zoning district, create an unnecessary burden on the applicant, or unreasonably prevent the owner from using the property for a permitted purpose.

2. The variance will do substantial justice to the applicant, as well as to other property owners, and a lesser variance than requested will not give substantial relief to the applicant or be consistent with justice to other property owners.

3. The need for the variance is due to unique circumstances peculiar to the land or structures involved that are not applicable to other land or structures in the same district.

4. The problem and resulting need for the variance has not been self-created by the applicant or the applicant's predecessors.

5. The variance will not cause significant adverse impacts to adjacent properties, the neighborhood or the city, and will not create a public nuisance or materially impair public health, safety, comfort, morals or welfare.

Hill thinks the deck blends in very nicely. And is general aesthetically pleasing.

Karns stated when he went to look at the location if felt right in line with everything else.

It didn't feel out of the ordinary for the surrounding neighborhood.

Fisher-Short the fit factor weighs heavily in favor of it but that is the only one that is working in favor of it.

6. The alleged hardship and practical difficulties that will result from a failure to grant the variance include substantially more than mere inconvenience, or an inability to attain a higher financial return.

Fisher-Short the fit factor weighs heavily in favor of it but that is the only one that is working in favor of it.

Karns asked if we received any letter that opposition it.

The city did not receive any letters from the public.

Karns asked in regard to the railings, does eliminate the railing requirement.

Mr. Valentine stated it does not. The height of the upper portion is only thirty inches.

Director of Community Development Strange stated that the rail is not required by code since it is not tall enough.

**Moved** by Art Hill, supported by Jeff Karns to approve the dimensional variance for the deck on 315 N Madison. On a roll call vote:

Ayes: Justin Fisher-Short, Russ Byrne, Art Hill, Jeff Karns

Nays: None

Abstain: None

**Motion carried.**

#### **B. 2025 Meeting Dates**

Karns asked about when terms are ending.

Director of Community Development Strange stated that she will include an assessment of what board members terms will be ending soon at the January meeting. In the meantime, since we know we might be losing some people, if there is anyone that might know of someone to bring on that would be greatly appreciated.

**Moved** by Art Hill, supported by Russ Byrne to approve the presented schedule of meetings for the Zoning Board of Appeals meeting for 2025. On a voice vote: **Motion carried.**

**10) PUBLIC COMMENT ON NON-AGENDA ITEMS** Persons addressing the board are required to give their name and address for the record when called upon by the Chair. Members of the public shall be limited to speaking for a maximum of five (5) minutes. Comments should address NON-AGENDA ITEM topics. Public Hearing items should be addressed during the PUBLIC HEARING portion of the meeting agenda. Agenda items should be addressed during the PUBLIC COMMENT-AGENDA ITEMS portion of the meeting agenda.

none

**11) BOARD REPORTS**

none

**12) ADJOURNMENT**

The meeting was adjourned at 7:21PM

Respectfully submitted by,

Brandie Cary  
Deputy Clerk



## ITEM 8.A

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**TO:** Zoning Board of Appeals  
**FROM:** Marcia Strange, Director of Community Development  
**DATE:** January 16, 2025  
**SUBJECT:** Appeal #25.01 211 + 213 E Michigan Avenue - Use Variance: First Floor Residential

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### FIRST FLOOR RESIDENTIAL

Plans have been submitted for a variance to allow residential on the first floor of 211 and 213 East Michigan Avenue.

1. The current zoning ordinance prohibits the property owner from securing any reasonable economic return or making any reasonable use of the property. Under this standard, the ZBA must find that the property (land, structures and other improvements) is not suitable for uses permitted in the zoning district.

The property will continue to be used for retail on the first floor. But the interest in smaller retail spaces is higher than large retail spaces. These units are currently difficult to market and it is anticipated that the reduction in size of retail space will also serve to maintain occupancy.

2. The landowner's plight is due to unique circumstances peculiar to the property and not to general neighborhood conditions. Circumstances common to the larger neighborhood may reflect the unreasonableness of the zoning itself, which should be addressed through a rezoning or other legislative action.

This project is an opportunity to add ADA (accessible) housing without the expense of adding an elevator (a cost prohibitive need that tanks many downtown residential projects). This building is a good candidate for this project because the depth allows for a good sized retail space to remain after adding 1/3 of the footprint as residential. Corridor width must accommodate rear access for deliveries to the retail space at the front of the building.

Not all buildings in the downtown will be able to accommodate similar requirements as needed to make residential feasible on the first floor.

3. The use variance, if granted, would not alter the essential character of the neighborhood. This standard requires consideration of whether the intent and purpose of the chapter and zoning district will be preserved, and the essential character of the area will be maintained.

The improvements associated with the project will activate an underutilized building in the historic district.

4. The hardship is not the result of the applicant's actions. Under this standard, the ZBA must

determine that the hardship that led to the use variance request was not self-created by the applicant. Purchase of a property with a pre-existing hardship does not constitute a self-created hardship. Financial hardships that would prevent reasonable use of the property shall be considered, but shall not be the only determining factor in granting a use variance.

The Owner and City share a goal of providing additional housing for residents. This proposed project allows for ADA apartments that are easily accessible and increase the overall number of apartments provided.

**RECOMMENDATION:**



City of Marshall
ZONING BOARD OF APPEALS VARIANCE APPLICATION

Telephone
(269) 781-3985

Address:
323 W Michigan Ave, Marshall,
Michigan 49068

Fax
(269) 789-4628

RESIDENTIAL FEE: \$400

COMMERCIAL FEE: \$400

Petitioner Name:

Address:

Phone:

Email:

Property Address for Variance:

Are you the owner? Yes No (Owner is required to sign this form)

Current Zone Current Use

Zoning of abutting parcels Dimensional Variance Use Variance

Required attachments

Plot Plan Attached (According to ordinance, you must include a plot plan of the site, drawn to scale, with a north arrow, all lot lines shown, street right-of-ways, any easements, any structures, setback dimensions, any parking areas, driveways, sidewalks, and any other site improvements)

Reasons for variance (A letter must be submitted with this application addressing how you feel you meet the criteria for a Dimension or Use variance-see back)

\*The ZBA meets on the 3rd Thursday of each month. Application must be received on or before the deadline date for the next scheduled meeting.

I understand that I am expected to attend the ZBA public hearing pertaining to this matter. If I am unable to attend, I will send a representative in my place. I understand that the application fee is non-refundable and does not apply to any future permits. Furthermore, if the variance is granted, I agree to obtain the appropriate permits before commencing work.

Signature of Petitioner: [Handwritten Signature]

Date:

Signature of Owner: [Handwritten Signature]

Date:

Questions concerning these requirements should be directed to the Planning and Zoning Office

Zoning Administrator- 269-781-3985

**DIMENSIONAL VARIANCE**

***Please attach a letter addressing how your situation meets these criteria:***

*The granting of a variance from particular area, setback, frontage, height, bulk, density or other dimensional (non-use) standards of this Ordinance shall require a finding of practical difficulties based upon the following criteria:*

1. Strict Compliance with the specified dimensional standard(s) will deprive the applicant of rights commonly enjoyed by other property owners in the same zoning district, create an unnecessary burden on the applicant, or unreasonably prevent the owner from using the property for a permitted purpose.
2. The variance will do substantial justice to the applicant, as well as to other property owners, and a lesser variance than requested will not give substantial relief to the applicant or be consistent with justice to other property owners.
3. The need for the variance is due to unique circumstances peculiar to the land or structures involved that are not applicable to other land or structures in the same district.
4. The problem and resulting need for the variance has not been self-created by the applicant or the applicant's predecessors.
5. The variance will not cause significant adverse impacts to adjacent properties, the neighborhood or the City and will not create a public nuisance or materially impair public health, safety, comfort, morals or welfare.
6. The alleged hardship and practical difficulties that will result from a failure to grant the variance include substantially more than mere inconvenience, or an inability to attain a higher financial return.

**USE VARIANCE**

***Please attach a letter addressing how your situation meets these criteria:***

*The granting of a variance from the use provisions of this Ordinance shall require a finding of unnecessary hardship, based upon the following criteria:*

1. The current zoning ordinance prohibits the property owner from securing any reasonable economic return or making any reasonable use of the property. Under this standard, the ZBA must find that the property (land, structures and other improvements) is not suitable for uses permitted in the zoning district.
2. The landowner's plight is due to unique circumstances peculiar to the property and not to general neighborhood conditions. Circumstances common to the larger neighborhood may reflect the unreasonableness of the zoning itself, which should be addressed through a rezoning or other legislative action.
3. The use variance, if granted, would not alter the essential character of the neighborhood. This standard requires consideration of whether the intent and purpose of the Ordinance and zoning district will be preserved, and the essential character of the area will be maintained.
4. The hardship is not the result of the applicant's actions. Under this standard, the ZBA must determine that the hardship that led to the use variance request was not self-created by the applicant. Purchase of a property with a pre-existing hardship does not constitute a self-created hardship. Financial hardships that would prevent reasonable use of the property shall be considered, but shall not be the only determining factor in granting a use variance.

Questions concerning these requirements should be directed to [Vicki @ City of Houston](mailto:Vicki@cityofhouston.gov) at: (281) 568-1111

### 2024 Zoning Board of Appeals Submission Deadlines

The Marshall City Zoning Board of Appeals shall meet on the 3<sup>rd</sup> Thursday of the month at 7:00 pm in City Hall Council Chambers at 323 W. Michigan Avenue, Marshall, MI 49068. In the event of no business, the Zoning Board of Appeals will move to their next regularly scheduled meeting.

<b>Submission Deadline</b>	<b>Meeting Date</b>
December 25, 2024	January 18, 2024
January 31, 2024	February 22, 2024
February 28, 2024	March 21, 2024
March 25, 2024	April 18, 2024
April 22, 2024	May 16, 2024
May 29, 2024	June 20, 2024
June 24, 2024	July 18, 2024
July 22, 2024	August 15, 2024
August 26, 2024	September 19, 2024
September 23, 2024	October 17, 2024
October 30, 2024	November 21, 2024
November 27, 2024	December 19, 2024

## Zoning Board of Appeals Variance Application

City of Marshall

Petitioner Name: Brad Noel

Property address for variance: 211 + 213 E Michigan Avenue

The property owner, Brad Noel, recently purchased the property and plans to invest approximately \$3.56 million in a mixed-use project that will add 10 new residential apartments downtown and provide two commercial spaces on the first floor. The owner is working with Revitalize, LLC, Cody Newman from Driven Design, and First Contracting. The owner plans to apply for a MEDC RAP 3.0 grant to provide much needed gap funding for the project.

The variance request is to allow two one-bedroom rear-entry apartments on the first floor. The first floor of the existing building is narrow and deep. Using the back third of the first floor for two residential units allows for an efficient use of the square footage, adds housing, and helps provide a reasonable economic return for the project.

The cost of construction and materials and the competitive nature of the construction industry for the proposed development are high and the income generated by the two first floor apartments are important for the owner to capture a reasonable economic return. If approved, the variance will provide the project with two additional rental units to help economically and allow the owner to meet the minimum parameters of the MEDC RAP application economic indicators.

If approved, the variance will improve the essential character of the neighborhood by fully renovating a functionally obsolete building in the heart of downtown. The renovated structure will bring two attractive commercial spaces to Michigan Avenue while increasing downtown residents. The two first floor rear-entry apartments will be handicap accessible and highly desirable to prospective tenants. In addition, the plans will provide rear-entry access to the commercial spaces for deliveries and business-related activity.

# 211 + 213 E MICHIGAN AVE

211 + 213 E MICHIGAN AVE, MARSHALL, MI

RENDERING - FOR REFERENCE ONLY



EXISTING PHOTOS - FOR REFERENCE ONLY



## PROJECT NOTES

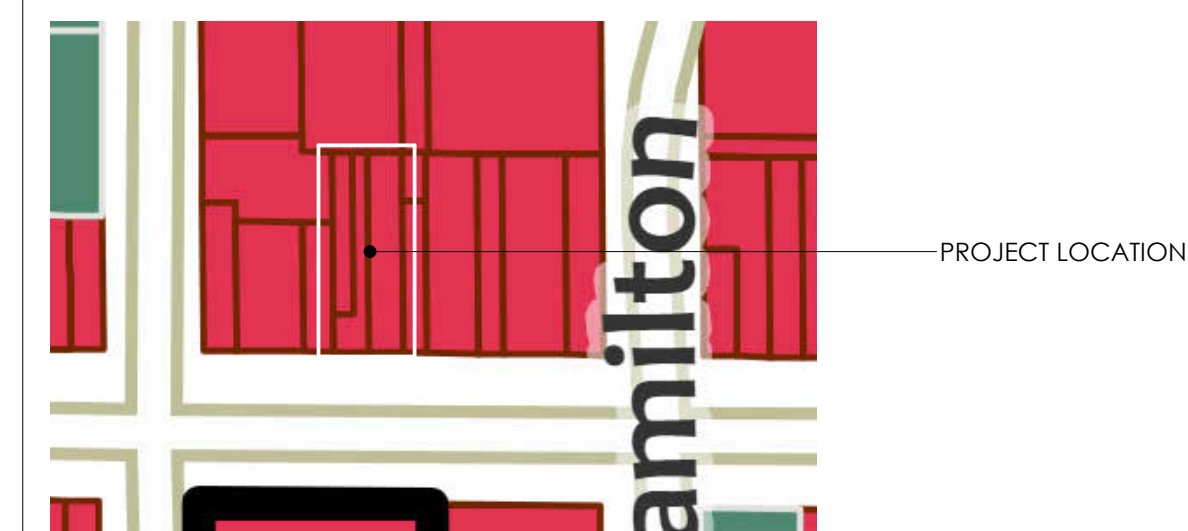
- CONSTRUCTION MUST COMPLY WITH ALL NATIONAL, STATE, AND LOCAL BUILDING CODES, AS WELL AS ALL LOCAL ORDINANCES.
- DO NOT SCALE DRAWINGS. NOMINAL DIMENSIONS ARE SHOWN. REFER TO DETAILS, NOTES, SPECIFICATIONS AND PARTITION KEY FOR INFORMATION. CONTACT ARCHITECT IF ADDITIONAL INFORMATION IS REQUIRED.
- EXISTING BUILDING AND SITE INFORMATION WAS OBTAINED FROM THE OWNER AND ADDITIONAL FIELD MEASUREMENTS BY THE ARCHITECT. THE CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS PRIOR TO COMMENCEMENT OF WORK. DRAWINGS MAY CONTAIN DISCREPANCIES DUE TO CONCEALED CONDITIONS, INACCURACIES IN THE ORIGINAL DRAWINGS, INACCESSIBLE LOCATIONS, UNRECORDED BUILDING ALTERATIONS AND OTHER CONFLICTING INFORMATION. INFORMATION OUTSIDE OF CONTRACT AREA IS RELATIVE AND FOR REFERENCE ONLY. ALWAYS VERIFY FIELD CONDITIONS BEFORE COMMENCING WORK. NOTIFY ARCHITECT IF FIELD CONDITIONS CONFLICT SUBSTANTIALLY WITH PROPOSED WORK.
- INSTRUCTIONS FOR BUILDING CONSTRUCTION MAY BE LOCATED IN ANY PART OF THE CONSTRUCTION DRAWINGS. FAILURE OF THE GENERAL CONTRACTOR OR HIS SUB CONTRACTORS AND SUPPLIERS TO SEE INFORMATION IN ANY PART OF THE CONTRACT DOCUMENTS WILL NOT BE A VALID REASON FOR ISSUING A CHANGE ORDER.
- ALL HOLES CREATED FROM ABANDONED DUCT, CONDUIT, ELEC. DEVICES, ETC., WHICH ARE IN VIEW AND ARE NOT SCHEDULED TO BE BOARDED OVER, OR ON A WALL TO BE DEMOLISHED, ARE TO BE FILLED AND PATCHED TO MATCH EXISTING.
- PATCH AND REPAIR ALL EXISTING WALL SURFACES ADJACENT TO NEW WORK AS REQUIRED TO ACHIEVE AN UNINTERRUPTED SURFACE APPEARANCE. PATCH AND REPAIR ALL FLOORING FOR EXISTING BUILDINGS TO ACHIEVE A CONTINUOUS, SMOOTH, AND FLUSH FLOOR SURFACE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING REQUIRED TO EXECUTE WORK. THE CONTRACTOR SHALL COORDINATE ALL TEMPORARY CONSTRUCTION WITH THE ARCHITECT AND OWNER TO ASSURE A MINIMUM AMOUNT OF INTERRUPTION WITH THE OWNER'S ACTIVITIES.
- IF THE PROJECT IS A REMODEL, THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL SURFACES NOT BEING REMODELED IN THE PROJECT AND IN THE PATH OF THE CONTRACTORS TRAVEL, SETUP AND/OR PROJECT MATERIAL STORAGE. THE CONTRACTOR MUST RETURN THE AREAS DISTURBED AS REQUIRED FOR ACCESS TO ITS PRE-EXISTING CONDITION.
- THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL BE RESPONSIBLE TO OBTAIN AND PAY FOR ALL LOCAL/REQUIRED PERMITS AND INSPECTIONS.
- ALL SAFETY ISSUES RELATED TO CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR AND MUST COMPLY WITH ALL STATE, LOCAL, ENVIRONMENTAL AND LABOR LAWS DURING THE CONSTRUCTION OF THIS PROJECT.
- ALL WORK TO BE GUARANTEED A MINIMUM OF ONE YEAR FROM THE DATE OF OWNER ACCEPTANCE OF WORK, EXCEPT WHERE MANUFACTURER'S GUARANTEE IS LONGER.
- IF DISCREPANCIES OCCUR BETWEEN DRAWINGS AND FIELD CONDITIONS CONTACT THE ARCHITECT TO VERIFY HOW TO PROCEED BEFORE DOING SO.
- SEE T001 FOR ADDITIONAL PROJECT NOTES, MOUNTING HEIGHTS, AND SYMBOLS
- 3D VIEWS AND RENDERINGS ON THIS PAGE AND THROUGHOUT THE SET ARE FOR REFERENCE ONLY. VERIFY ALL CONSTRUCTION DETAILS THROUGHOUT THE ENTIRE SET OF DOCUMENTS
- THE PROJECT SHALL CONFORM TO UNDERWRITERS LABORATORY FIRE RESISTANCE DIRECTORY AND BUILDING MATERIALS DIRECTORY.
- ANY MATERIAL SUBSTITUTIONS TO A LISTED UL DESIGN NUMBER SHALL BE COORDINATED BY THE CONSTRUCTION MANAGER, CONTRACTOR, SUBCONTRACTOR AND/OR MATERIAL SUPPLIER FOR COMPLIANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPROVALS - FOR ANY MATERIALS SUBSTITUTION IN THE REQUIRED UL DESIGN ASSEMBLY - BY THE FIRE MARSHAL AND BUILDING INSPECTOR HAVING JURISDICTION PRIOR TO ACCEPTANCE.
- FOR ANY CHANGE OF UL DESIGN NUMBER, OR ANY CHANGE IN MATERIAL(S) IN A UL DESIGN ASSEMBLY, IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL OTHER RELATED MATERIALS OR ASSEMBLIES AFFECTED BY THE CHANGE OF MATERIAL OR UL DESIGN NUMBER ASSEMBLY.
- PROVIDE COMPLETE UL APPROVED THROUGH-PENETRATION FIRESTOP SYSTEMS AT ALL RATED WALL PENETRATIONS.
- PROVIDE FIRESTOPPING AS REQUIRED AT ALL OPENINGS FOR PLUMBING, CONDUIT, DUCTWORK, ETC. AT FIRE RATED ASSEMBLIES.
- REFER TO THE FLOOR PLANS FOR IDENTIFICATION OF ALL FIRE AND SMOKE-RATED PARTITIONS.

## PROJECT DESCRIPTION

PROPOSED RENOVATION OF EXISTING BUILDING(S).

## ZONING MAP

ZONING - B3 - NEIGHBORHOOD COMMERCIAL



## CONTEXT MAP



## DRAWING LIST

SHEET NUMBER	DRAWING TITLE	9/11/24 - DESIGN DEVELOPMENT
<b>00 GENERAL</b>		
T000	TITLE SHEET	X
T001	RENDERINGS	X
T002	GENERAL MOUNTING HEIGHTS + ABBREVIATIONS	X
T003	PLUMBING MOUNTING HEIGHTS	X
T005	CODE COMPLIANCE	X
T006	AREA PLANS	X
<b>01 CIVIL</b>		
C100	ARCHITECTURAL SITE PLAN	X
<b>03 ARCHITECTURAL</b>		
A000	EXISTING FLOOR PLANS	X
A110	DEMOLITION PLANS	X
A121	NEW FLOOR PLANS	X
A130	ENLARGED PLANS	X
A131	ENLARGED PLANS	X
A132	ENLARGED PLANS	X
A133	ENLARGED PLANS	X
A134	ENLARGED PLANS	X
A140	FINISH SCHEDULE	X
A141	FINISH PLANS	X
A200	REFLECTED CEILING PLANS	X
A210	CEILING DETAILS	X
A220	ROOF PLAN	X
A310	INTERIOR DETAILS	X
A400	DOOR DETAILS	X
A401	DOOR SCHEDULE	X
A410	WINDOW SCHEDULE AND DETAILS	X
A500	EXTERIOR ELEVATIONS	X
<b>04 MEP</b>		
MEP101	MECH, ELEC, PLUMB SPECS/NOTES	X
Grand total: 26		

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**NOT FOR CONSTRUCTION**

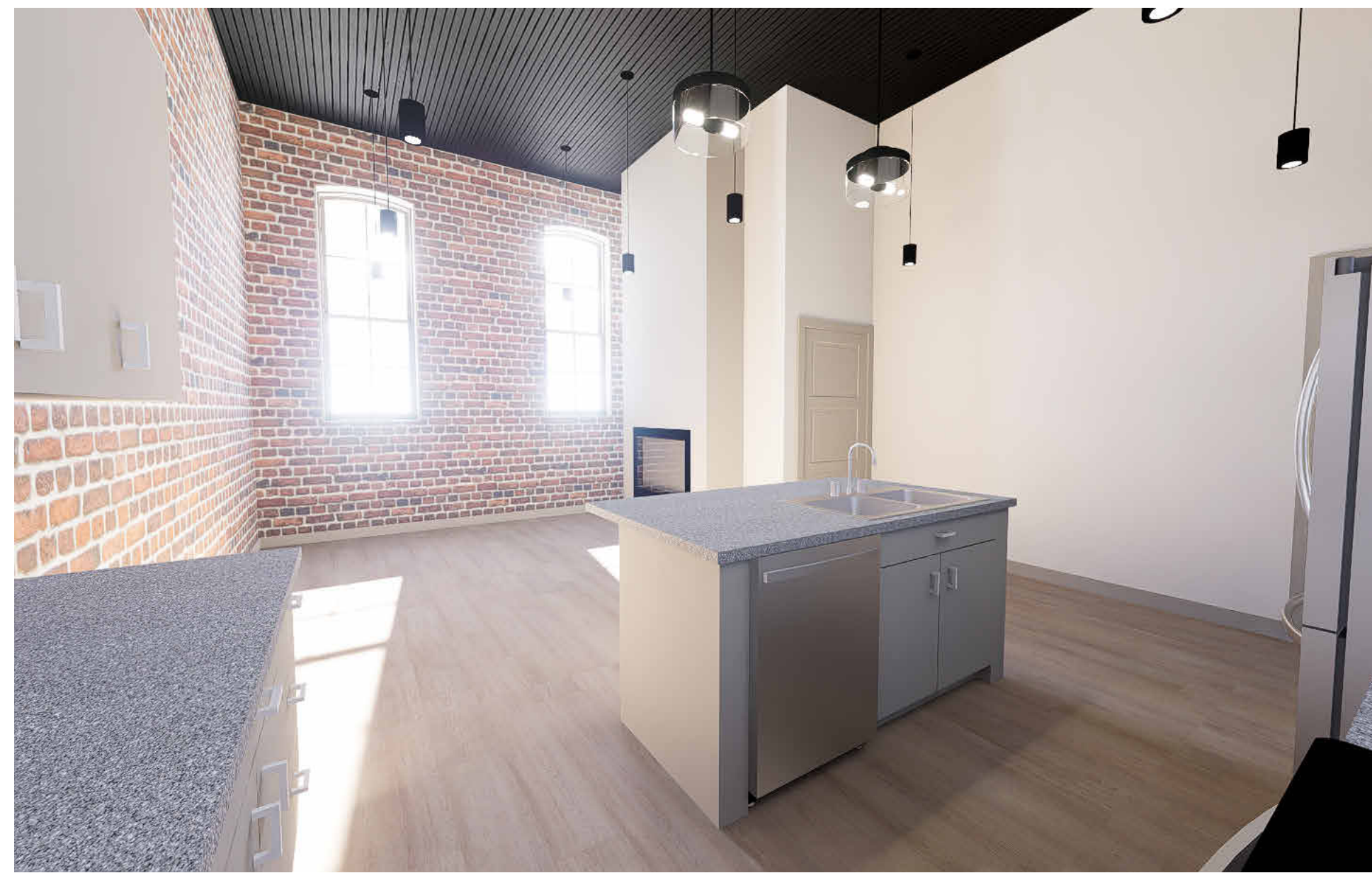
PROJECT NAME  
211 + 213 E MICHIGAN AVE  
PROJECT ADDRESS  
211 + 213 E MICHIGAN AVE, MARSHALL, MI

ISSUE  
DESIGN DEVELOPMENT

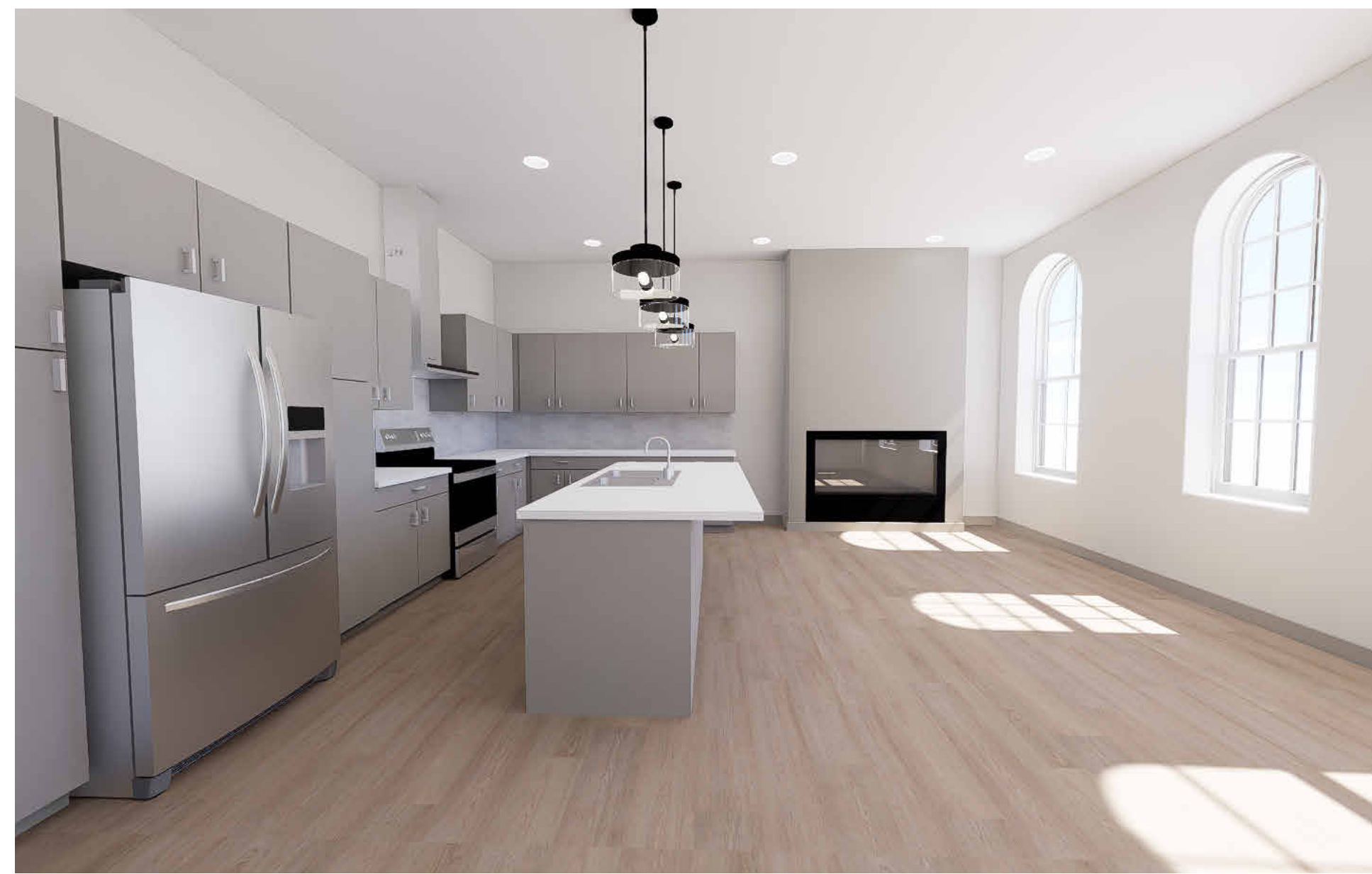
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DATE 12/16/2024 3:10:21 PM  
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STAMP

PROJECT NUMBER  
2024.125

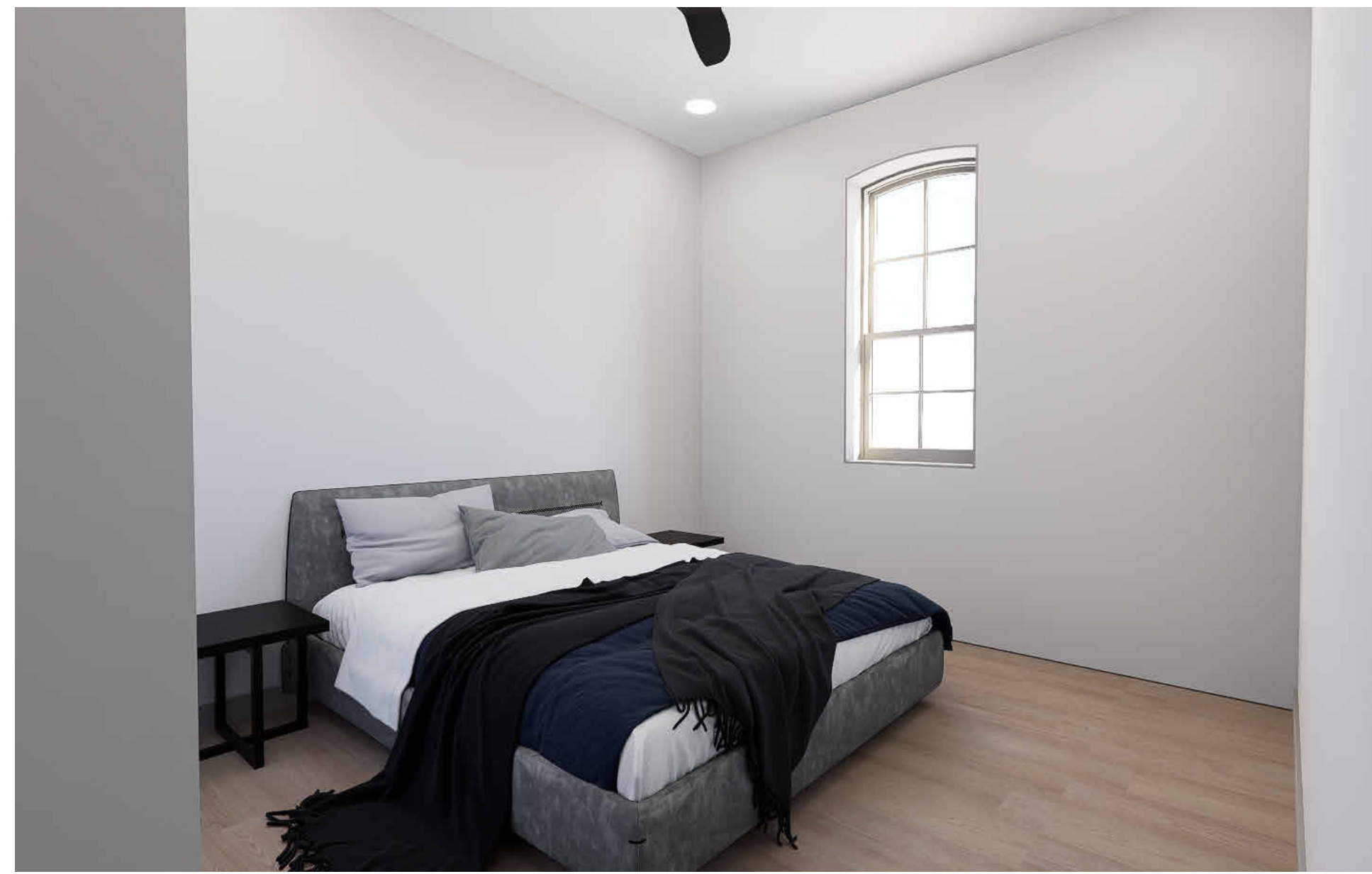
TITLE SHEET  
**T000**



RENDERINGS - FOR REFERENCE ONLY



RENDERINGS - FOR REFERENCE ONLY



RENDERINGS - FOR REFERENCE ONLY

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PROJECT NAME  
 211 + 213 E MICHIGAN AVE  
 PROJECT ADDRESS  
 211 + 213 E MICHIGAN AVE, MARSHALL, MI

ISSUE  
 DESIGN DEVELOPMENT

DRAWN BY CMN  
 DATE 12/16/2024 3:10:22 PM  
 SCALE  
 STAMP

PROJECT NUMBER  
 2024.125

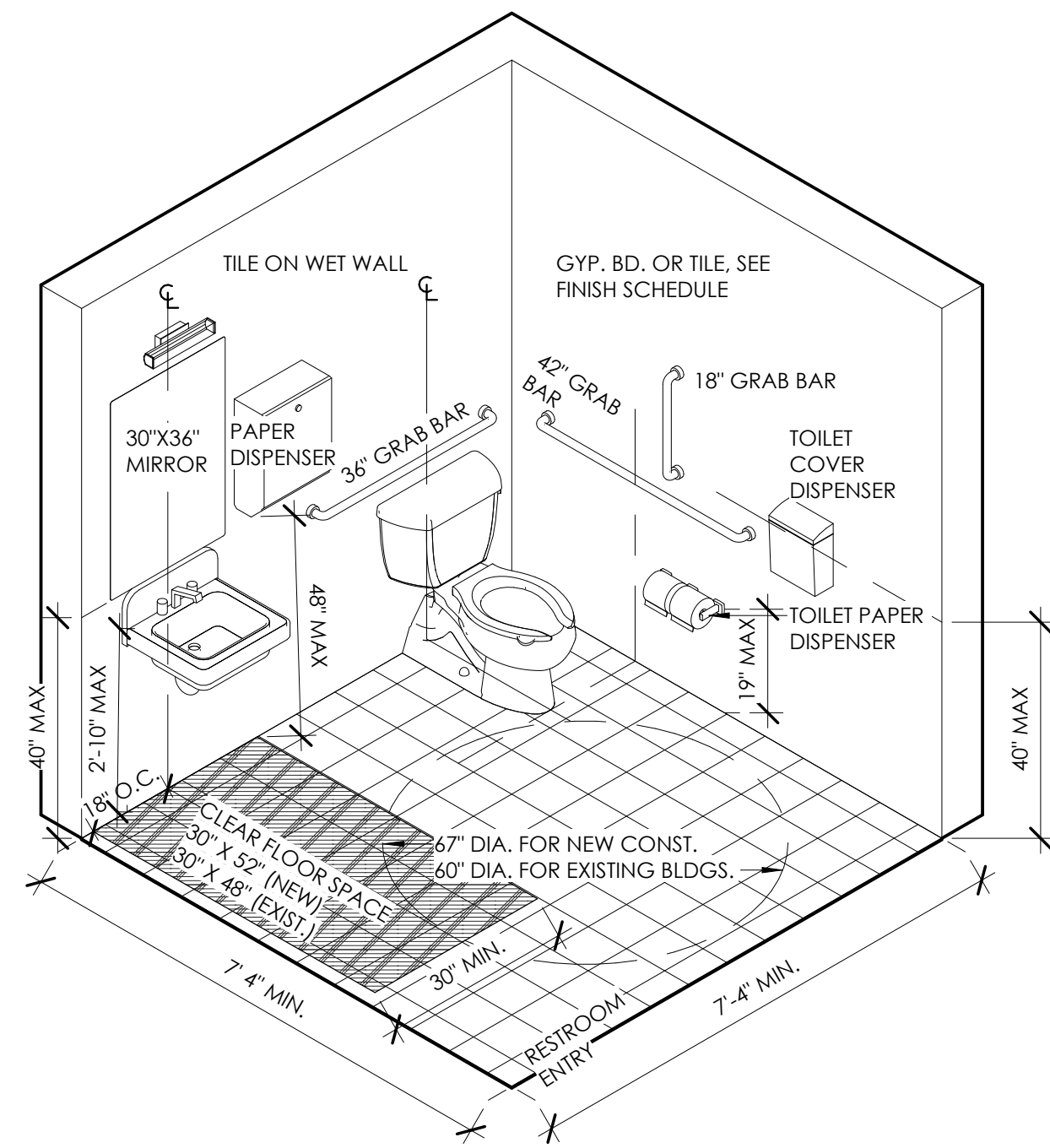
RENDERINGS

**T001**

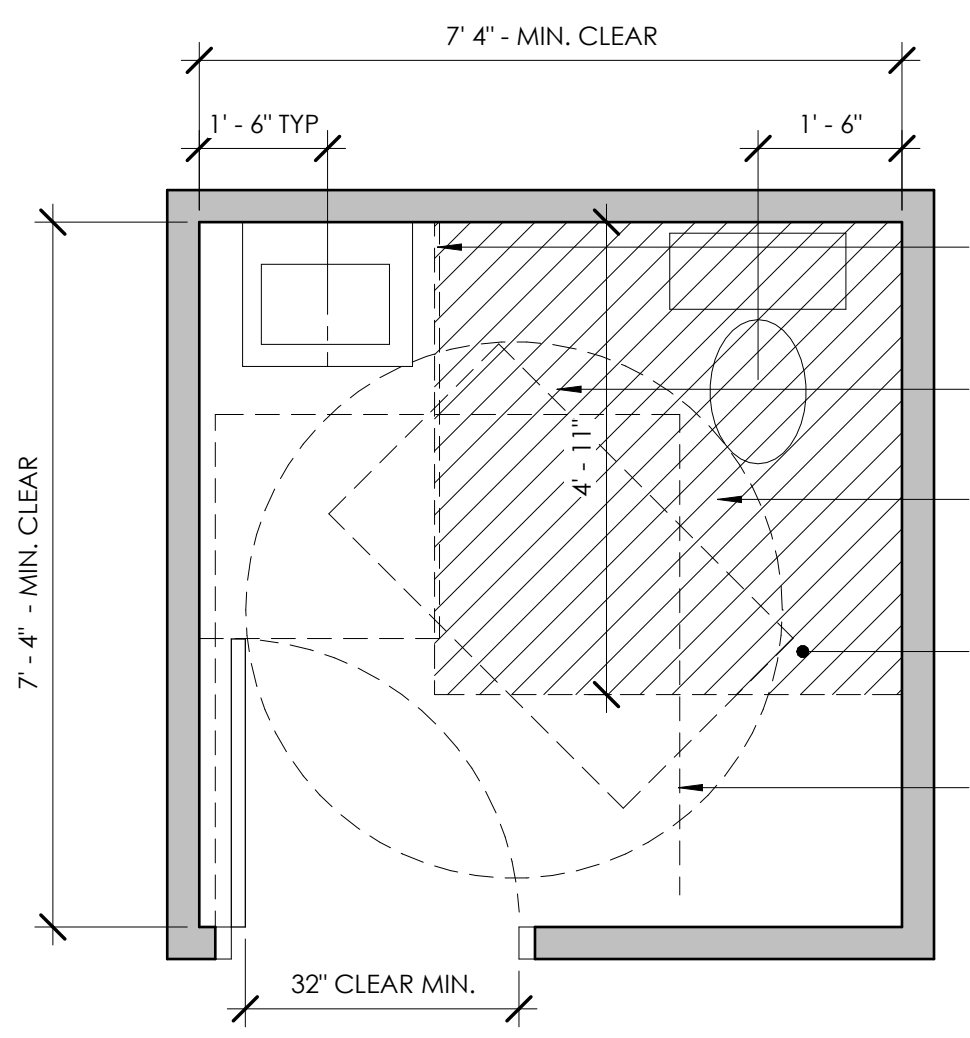


\*NOTE: PROVIDE BLOCKING AS REQUIRED FOR ALL GRAB BARS AND FIXTURE MOUNTING PER MANUFACTURER'S RECOMMENDATION

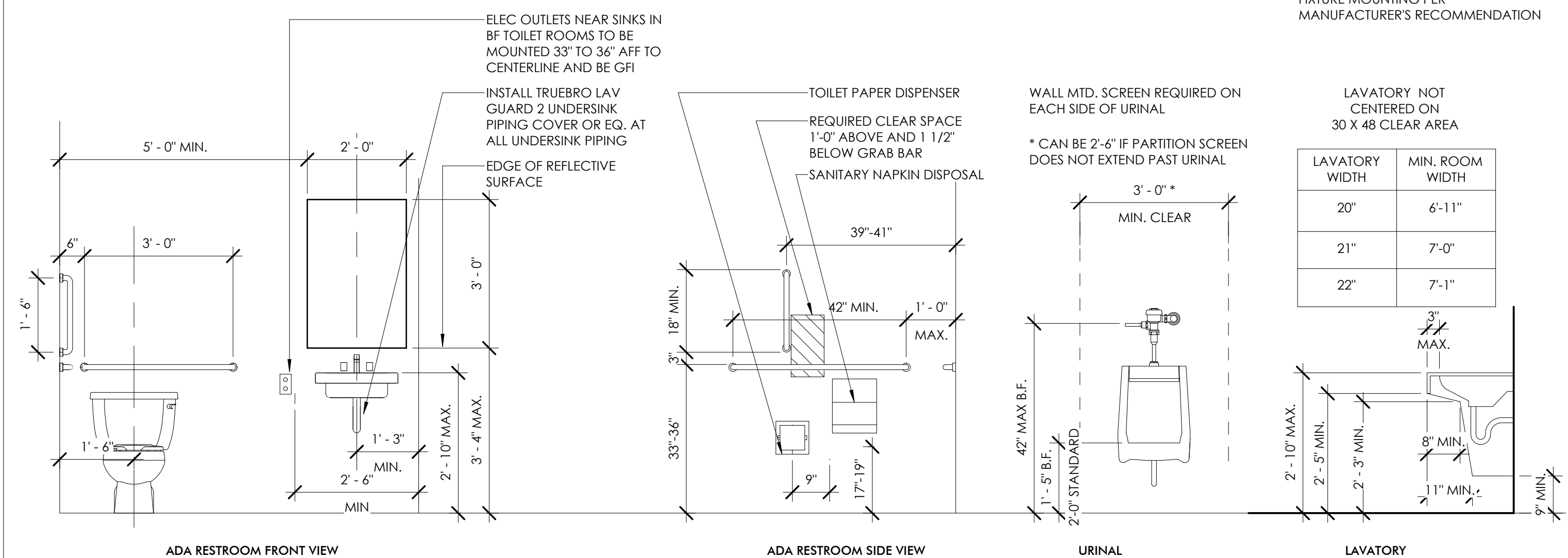
LAVATORY WIDTH	MIN. ROOM WIDTH
20"	6'-11"
21"	7'-0"
22"	7'-1"



**ADA RESTROOM AXON - NTS**



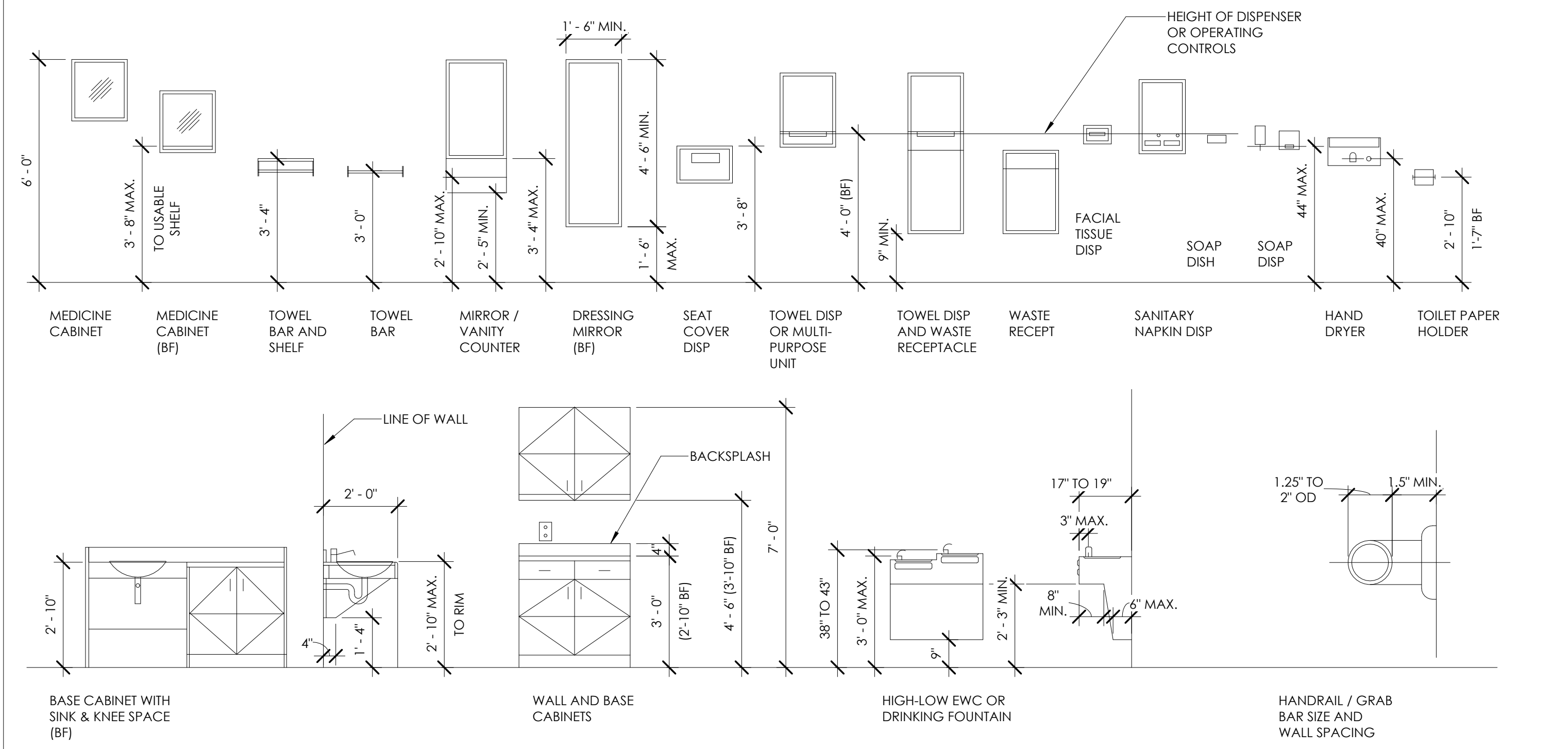
**ADA RESTROOM PLAN - NTS**



**RESTROOM DETAILS - NTS**

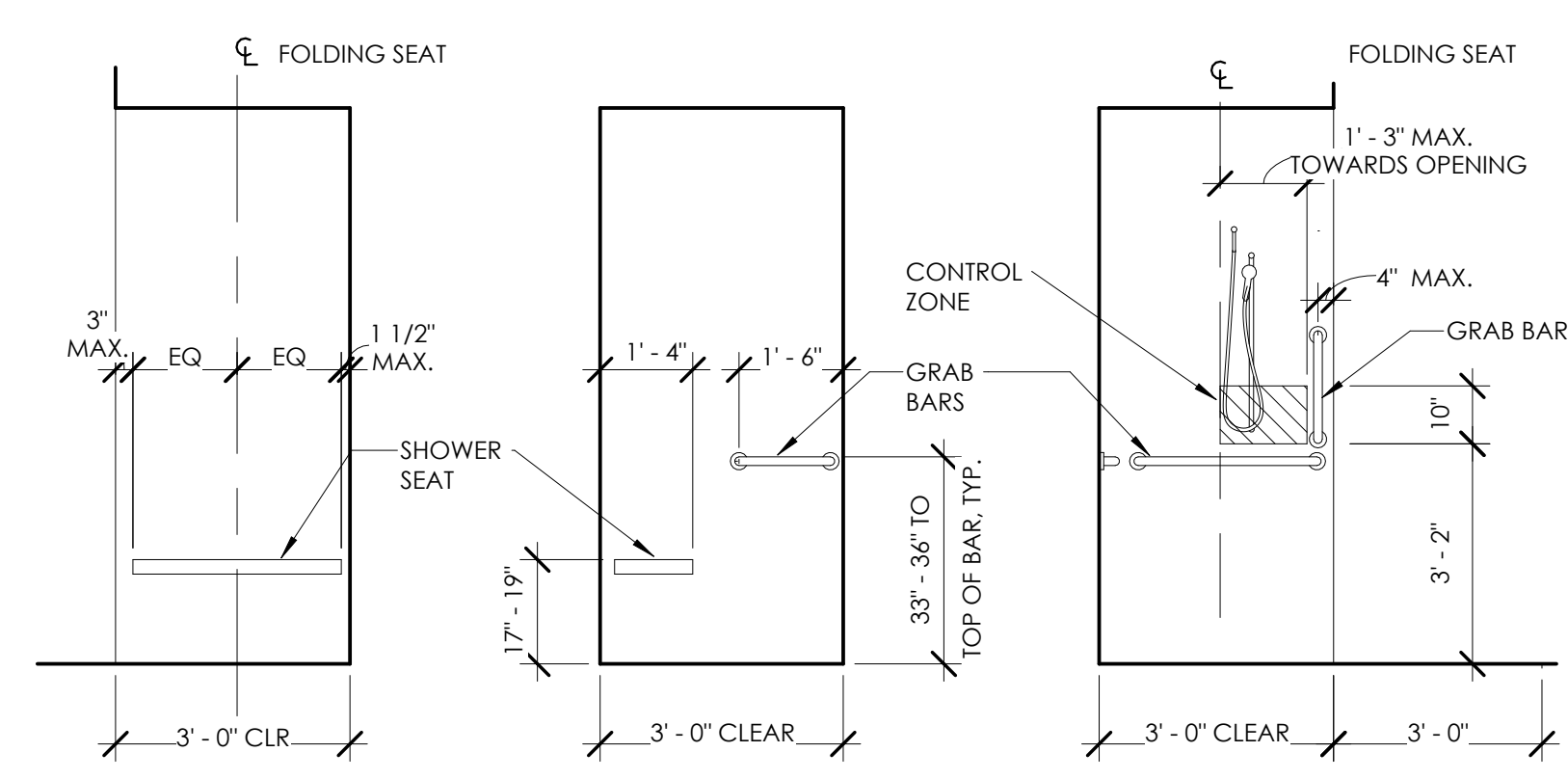
ACCESSORIES SCHEDULE				
TYPE MARK	DESCRIPTION	MANUFACTURER	MODEL	COMMENTS
BC-1	BABY CHANGING TABLE	BOBRICK - KOALAKARE	KB310-SSWM	
GB-1	18" VERTICAL GRAB BAR	BRADLEY CORP.	812-001-18	
GB-2	36" GRAB BAR	BRADLEY CORP.	812-001-36	
GB-3	42" GRAB BAR	BRADLEY CORP.	812-001-42	
MI-1	MIRROR	BOBRICK	B-1556	
MI-2	MIRROR	BOBRICK	B-169	LED LIGHT INCLUDED IN MIRROR
MI-3	MIRROR	PRECISION FRAMEWORKS	241W	FRAMED MIRROR (RESIDENTIAL)
PTD-1	PAPERTOWEL DISPENSER	BOBRICK	B-3979	COMBO WITH ROLL PAPER TOWEL
PTD-2	PAPERTOWEL DISPENSER	BOBRICK	3944-152	SINGLE WITH C-FOLD PAPER TOWEL
SD-1	SOAP DISPENSER	TORK	466000	
SND-1	SANITARY NAPKIN DISPOSAL	BOBRICK	B-254	
TPD-1	TOILET PAPER DISPENSER	BOBRICK	B-2840	

**ADDITIONAL RESTROOM MOUNTING HEIGHTS**

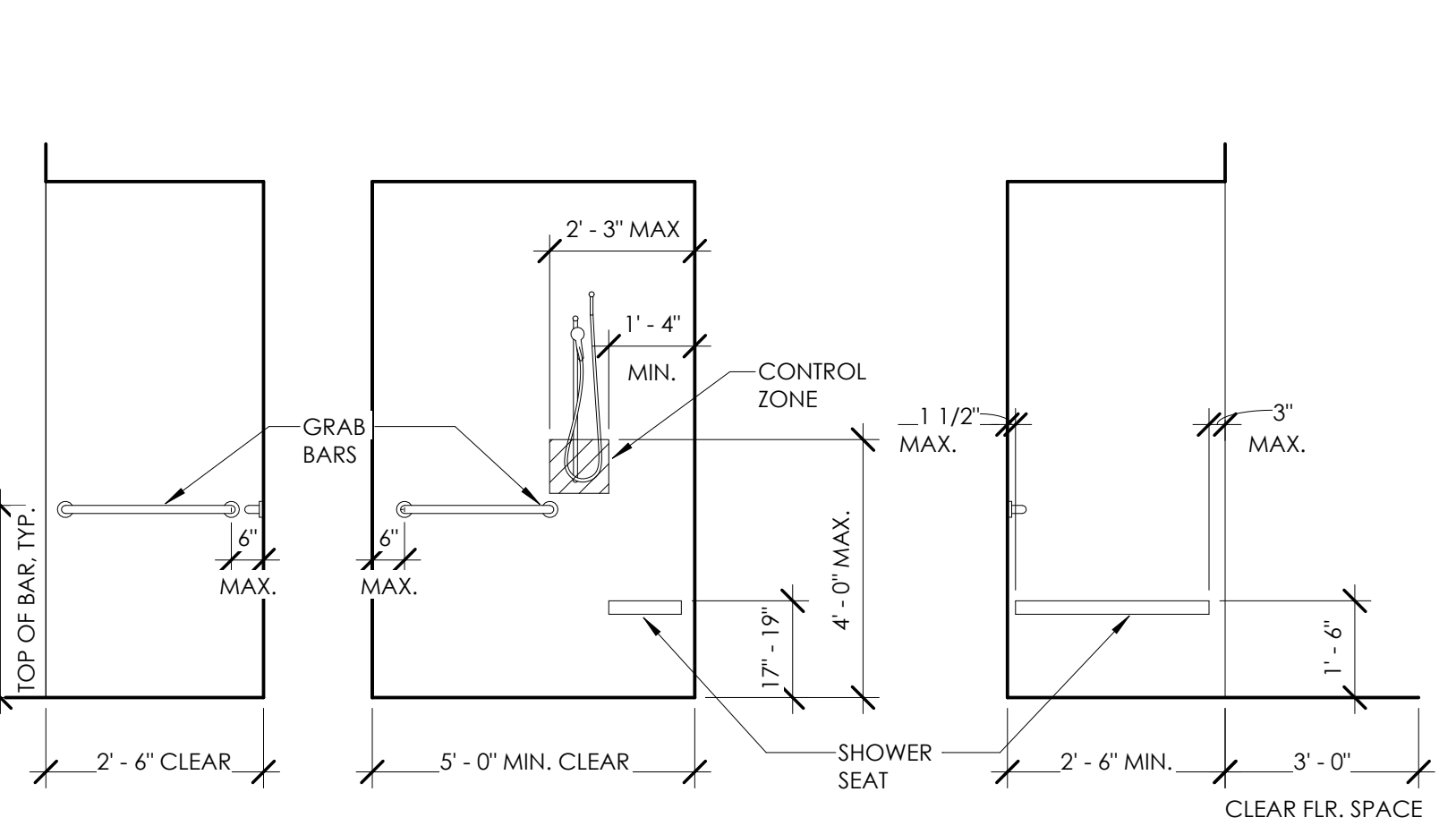


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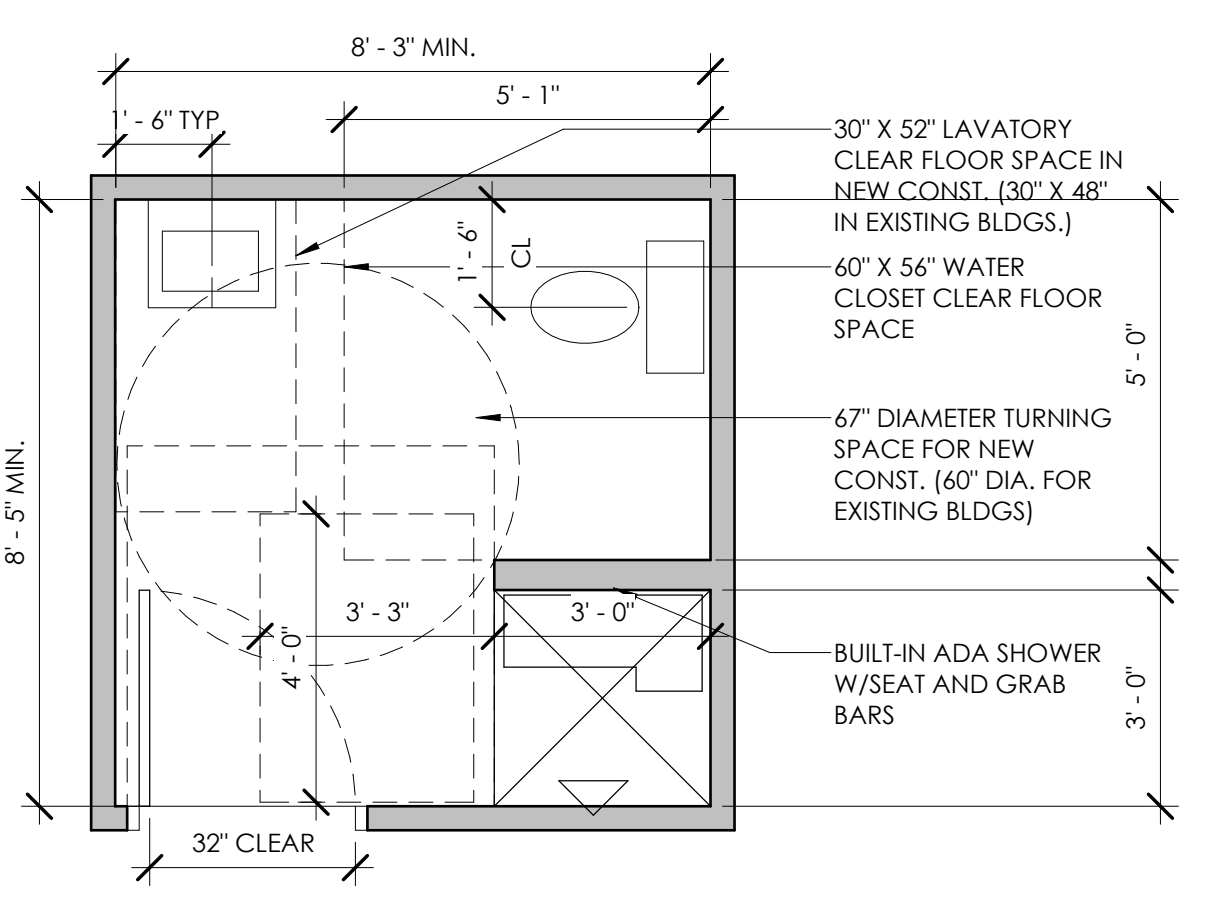
**SHOWER DETAILS**



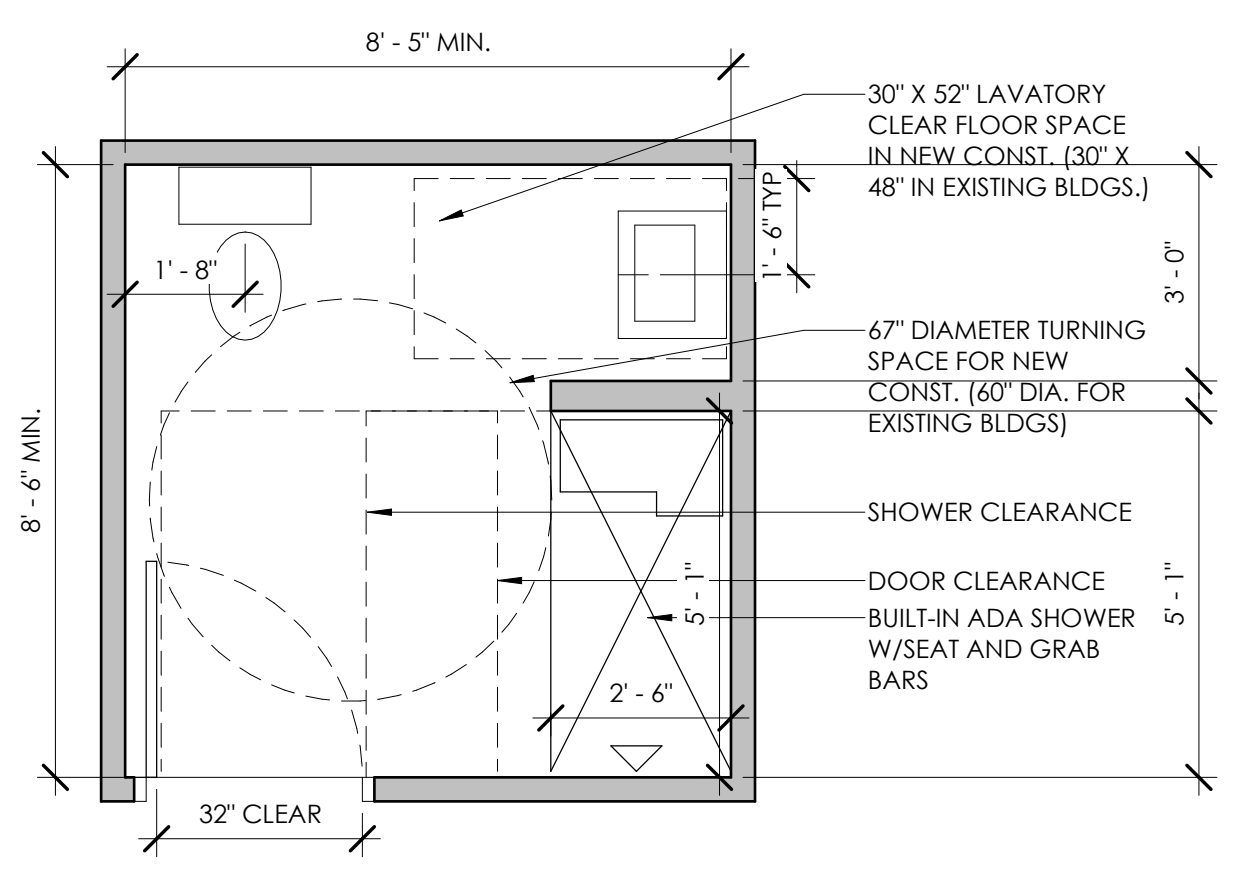
**TRANSFER SHOWER WITH SEAT DETAIL**



**ADA ROLL-IN SHOWER WITH SEAT DETAIL**



**ADA TRANSFER SHOWER PLAN - NTS**



**ADA ROLL-IN SHOWER PLAN - NTS**

PROJECT NAME  
 211 + 213 E MICHIGAN AVE  
 PROJECT ADDRESS  
 211 + 213 E MICHIGAN AVE, MARSHALL, MI

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PLUMBING MOUNTING HEIGHTS

**T003**

- ENSURE EXIT SIGNS ARE MOUNTED ABOVE THE DOORS AND VISIBLE FROM 75 FEET AWAY. ALL EGRESS LIGHTING IS TO POINT DOWN TO ILLUMINATE THE EGRESS PATH OF TRAVEL.
- ALL FIRE EXTINGUISHERS ARE TO BE ABC EXTINGUISHERS, UNLESS NOTED OTHERWISE. ALL EXTINGUISHERS ARE TO BE TAGGED WITH THE CURRENT YEAR'S INSPECTION ON IT. ANNUAL INSPECTIONS ARE TO OCCUR FOR ALL FIRE EXTINGUISHERS.
- PROVIDE ADA RESTROOM SIGNS AT ALL RESTROOMS, CORRESPONDING TO THE CORRECT SEX.
- SEE 1002 FOR MOUNTING HEIGHTS AND LOCATIONS
- SEE 1003 FOR ADDITIONAL CODE COMPLIANCE INFORMATION
- FURNITURE AND EQUIPMENT SHOWN ON COMPLIANCE DRAWINGS ARE FOR REFERENCE ONLY

**CHAPTER 4: SPECIAL DETAILED REQUIREMENTS BASED ON USE AND OCCUPANCY**

SECTION 420.2 WALLS SEPARATING DWELLING UNITS SHALL BE CONSTRUCTED AS FIRE PARTITIONS IN ACCORDANCE WITH SECTION 708

SECTION 420.3 FLOOR ASSEMBLIES SEPARATING DWELLING UNITS IN THE SAME BUILDING AND SEPARATING DWELLING UNITS FROM OTHER OCCUPANCIES SHALL BE CONSTRUCTED AS HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 711

SECTION 420.5 GROUP R OCCUPANCIES SHALL BE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.2.8. QUICK RESPONSE OR RESIDENTIAL AUTOMATIC SPRINKLER SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 903.3.2

SECTION 420.6 FIRE ALARM SYSTEMS AND SMOKE ALARMS SHALL BE PROVIDED IN GROUP R-2 OCCUPANCIES IN ACCORDANCE WITH SECTION 907.2.9 SINGLE OR MULTIPLE STATION SMOKE ALARMS SHALL BE PROVIDED IN GROUPS R-2 IN ACCORDANCE WITH SECTION 907.2.11.

**CHAPTER 7: FIRE AND SMOKE PROTECTION**

SECTION 708.3 EXCEPTION 1: CORRIDOR WALLS PERMITTED TO HAVE A 1/2 HOUR FIRE RESISTANCE RATING BY TABLE 1020.1.

SECTION 711.2.3 THE SUPPORTING CONSTRUCTION SHALL BE PROTECTED TO AFFORD THE REQUIRED FIRE RESISTANCE RATING OF THE HORIZONTAL ASSEMBLY SUPPORTED. EXCEPTION: IN TYPE III-B BUILDINGS THE CONSTRUCTION SUPPORTING HORIZONTAL ASSEMBLIES AT THE SEPARATIONS OF THE DWELLING UNITS IS NOT REQUIRED TO BE FIRE RESISTANCE RATED.

SECTION 711.2.4.1 WHERE THE HORIZONTAL ASSEMBLY SEPARATED MIXED OCCUPANCIES, THE ASSEMBLY SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN THAT REQUIRED BY SECTION 508.4. HALF HOUR FIRE RESISTANCE IS REQUIRED IN TYPE III-B BUILDINGS CORRIDORS

SECTION 713.13.4 SHAFT ENCLOSURES SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN ONE HOUR WHERE CONNECTING THREE STORIES OR LESS

SECTION 713.14.1 EXCEPTION 4: ENCLOSED ELEVATOR LOBBIES ARE NOT REQUIRED WHERE THE BUILDING IS PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.2.

TABLE 716.5 OPENINGS IN ONE HOUR FIRE BARRIERS FOR SHAFTS, EXIT ACCESS STAIRWAYS, AND INTERIOR EXIT STAIRWAYS ARE TO HAVE ONE HOUR FIRE DOORS

**CHAPTER 11: ACCESSIBILITY**

SECTION 1107.6.2.2.1 IN GROUP R-2 OCCUPANCIES CONTAINING MORE THAN 20 DWELLING UNITS, AT LEAST 2 PERCENT BUT NOT LESS THAN ONE OF THE UNITS SHALL BE A TYPE A UNIT. THIS PROJECT CONTAINS 7 DWELLING UNITS, AND THEREFORE IS NOT REQUIRED TO HAVE ANY TYPE A UNITS.

SECTION 1107.6.2.2.2 WHERE THERE ARE FOUR OR MORE DWELLING UNITS INTENDED TO BE OCCUPIED AS A RESIDENCE IN A SINGLE STRUCTURE, EVERY DWELLING UNIT INTENDED TO BE OCCUPIED AS A RESIDENCE SHALL BE A TYPE B UNIT. NOTE THAT THE 2015 MICHIGAN REHABILITATION CODE 1204.1 STATES THAT TYPE B UNITS ARE NOT REQUIRED IN HISTORICAL BUILDINGS.

**CHAPTER 12: INTERIOR ENVIRONMENT**

SECTION 1207.2 WALLS, PARTITIONS, AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS FROM EACH OTHER OR FROM PUBLIC OR SERVICE AREAS SHALL HAVE A SOUND TRANSMISSION CLASS OF NOT LESS THAN 50 FOR AIR-BORNE NOISE WHEN TESTED IN ACCORDANCE WITH ASTM E90. **PROVIDED STC = 50.**

SECTION 1208.2 OCCUPIABLE SPACES, HABITABLE SPACES, AND CORRIDORS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7'-6". BATHROOMS, TOILET ROOMS, KITCHENS, STORAGE ROOMS, AND LAUNDRY ROOMS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7'-0".  
EXCEPTION 4: CORRIDORS CONTAINED WITHIN A DWELLING UNIT OR SLEEPING UNIT IN A GROUP R OCCUPANCY SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7'-0".

**CODE COMPLIANCE GENERAL NOTES**

**CODE COMPLIANCE**

TOPIC	SECTION	ALLOWED/REQUIRED	ACTUAL
APPLICABLE CODES			
2015 INTERNATIONAL FIRE CODE			
2015 MICHIGAN BUILDING CODE			
2015 MICHIGAN REHABILITATION CODE	503	LEVEL 3 ALTERATION	WORK AREA EXCEEDS 50% OF TOTAL BUILDING AREA
2021 MICHIGAN MECHANICAL CODE			
2021 MICHIGAN PLUMBING CODE			
2023 MICHIGAN ELECTRICAL CODE			
ANSI/ASHRAE 90.1-2013			
ICC/ANSI 117.1-2009			
NFPA 13 [2013] + NFPA 72 [2013]			
ZONING			
ZONING	CITY OF MARSHALL		B3 - NEIGHBORHOOD COMMERCIAL
1 - SCOPE AND ADMIN			
DEFERRED SUBMITTALS	107.3.4.1		THERE ARE NO DEFERRED SUBMITTALS FOR THIS PROJECT
DESIGN PROFESSIONAL IN CHARGE	107.3.4		CODY NEWMAN IS TO BE THE DESIGN PROFESSIONAL IN CHARGE
SPECIAL INSPECTIONS	110		THERE ARE NO SPECIAL INSPECTIONS FOR THIS PROJECT
5 - GENERAL BUILDING HEIGHTS AND AREAS			
ALLOWABLE BUILDING HEIGHT	TABLE 504.3	55 FEET	42 FEET
BASE STORIES ALLOWED	TABLE 504.4	3 STORIES	3 STORIES
REQUIRED SEPARATION OF OCCUPANCIES	TABLE 508.4	NO SEPARATION REQUIREMENT	NO SEPARATION REQUIREMENT
TABULAR AREA	TABLE 506.2	19,000 SF	12,191 SF
6 - TYPE OF CONSTRUCTION			
TYPE OF CONSTRUCTION	TABLE 601		III-B
7 - FIRE AND SMOKE PROTECTION			
			SMOKE AND CARBON MONOXIDE DETECTORS REQUIRED IN UNITS
9 - FIRE PROTECTION SYSTEMS			
AUTOMATIC SPRINKLER SYSTEM	903.2.1.3	LESS THAN 12,000 SF, NOT REQUIRED	REQUIRED
FIRE ALARM AND DETECTION SYSTEMS	907	REQUIRED	PROVIDED
27 - ELECTRICAL			
EMERGENCY LIGHTING	1008.1	WILL COMPLY	ON COMPLIANCE DRAWINGS
EMERGENCY POWER	1008.3.2, 1008.3.3	WILL COMPLY	ON COMPLIANCE DRAWINGS
EXIT SIGNS	101.1.1	WILL COMPLY	ON COMPLIANCE DRAWINGS



**ARCHITECTURE/INTERIOR DESIGN**  
Driven Design Studio PLLC  
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Battle Creek, MI 49017  
(269) 753-8040  
cody@drivendesignstudio.com

**OWNER**  
Brad Noel  
211/213 E Michigan Ave  
Marshall, MI  
bradnoel00@gmail.com

3 - BUILDING AREA BY USE		
OCCUPANCY TYPE	PERCENTAGE OF PROJECT	AREA
FIRST FLOOR		
BUSINESS	17%	1991 SF
RESIDENTIAL	14%	1680 SF
	31%	3671 SF
SECOND FLOOR		
RESIDENTIAL	34%	4049 SF
	34%	4049 SF
THIRD FLOOR		
RESIDENTIAL	34%	4049 SF
	34%	4049 SF
Grand Total	100%	11770 SF

10 - OCCUPANCY		
OCCUPANCY TYPE	AREA	OCCUPANCY
BUSINESS		
(none)	259 SF	0
BUSINESS	1731 SF	18
RESIDENTIAL		
(none)	1680 SF	0
RESIDENTIAL	8099 SF	42
	11770 SF	60

10 - MEANS OF EGRESS					
TOTAL OCCUPANCY	DOOR EGRESS WIDTH 1005.3.2	EXIT ACCESS TRAVEL DISTANCE TABLE 1017.2	NUMBER OF EXITS TABLE 1006.3.1	STAIR EGRESS WIDTH 1005.3.1	
83	REQUIRED 36"	PROVIDED 228"	ALLOWED 200 FEET	PROVIDED 56 FEET	2 EXITS
					5 EXITS
					44"
					44"

28 - PLUMBING										
TABLE 403.1 PLUMBING CLASS	OCCUPANCY	WATER CLOSETS			LAVATORIES			DRINKING FOUNTAINS		
		REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED			
B	41	1 MALE	1 FEMALE	1 UNISEX	1 MALE	1 FEMALE	1 UNISEX	1 REQUIRED	1 PROVIDED	
R-2 APART. UNITS	8	8 UNISEX	8 UNISEX	8 UNISEX	8 UNISEX	8 UNISEX	8 UNISEX	0 REQUIRED	NONE	

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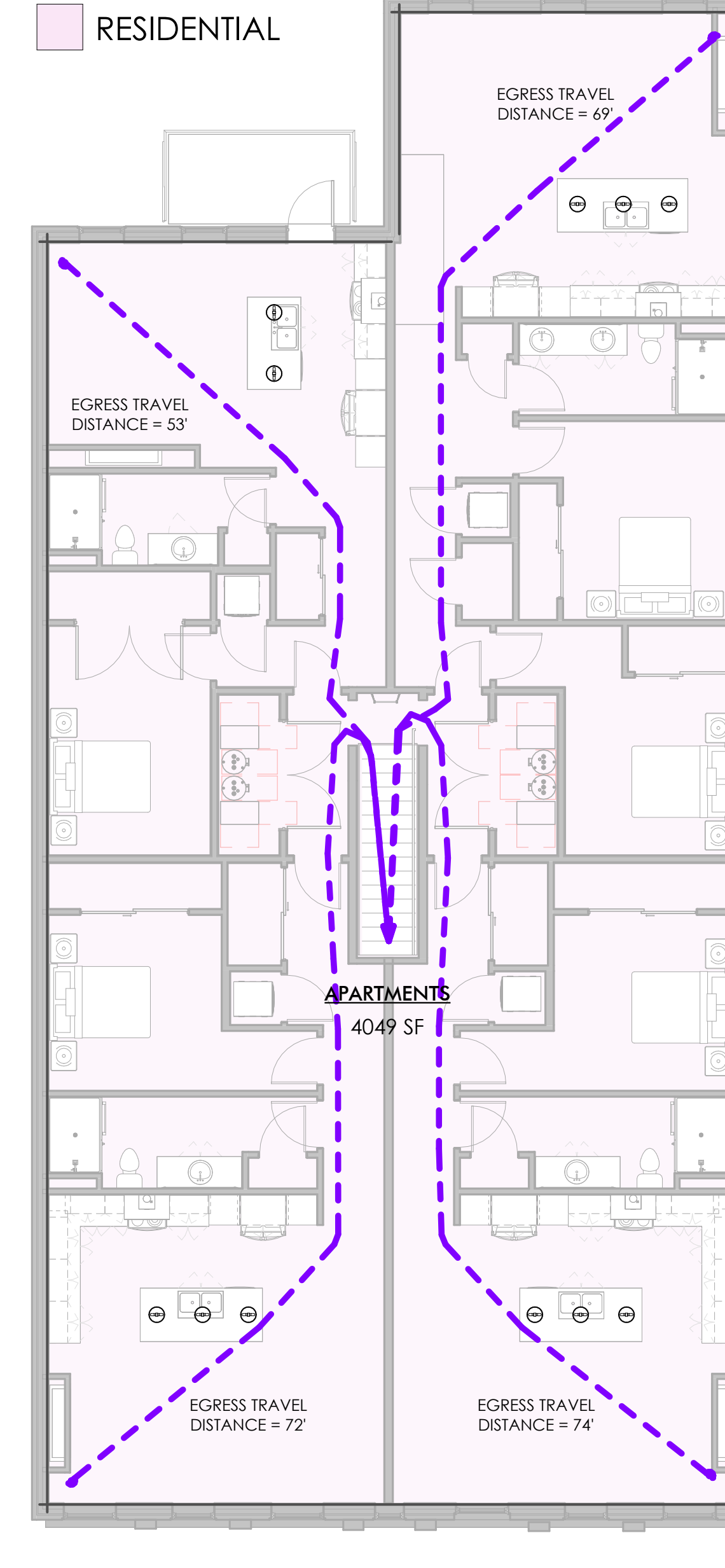
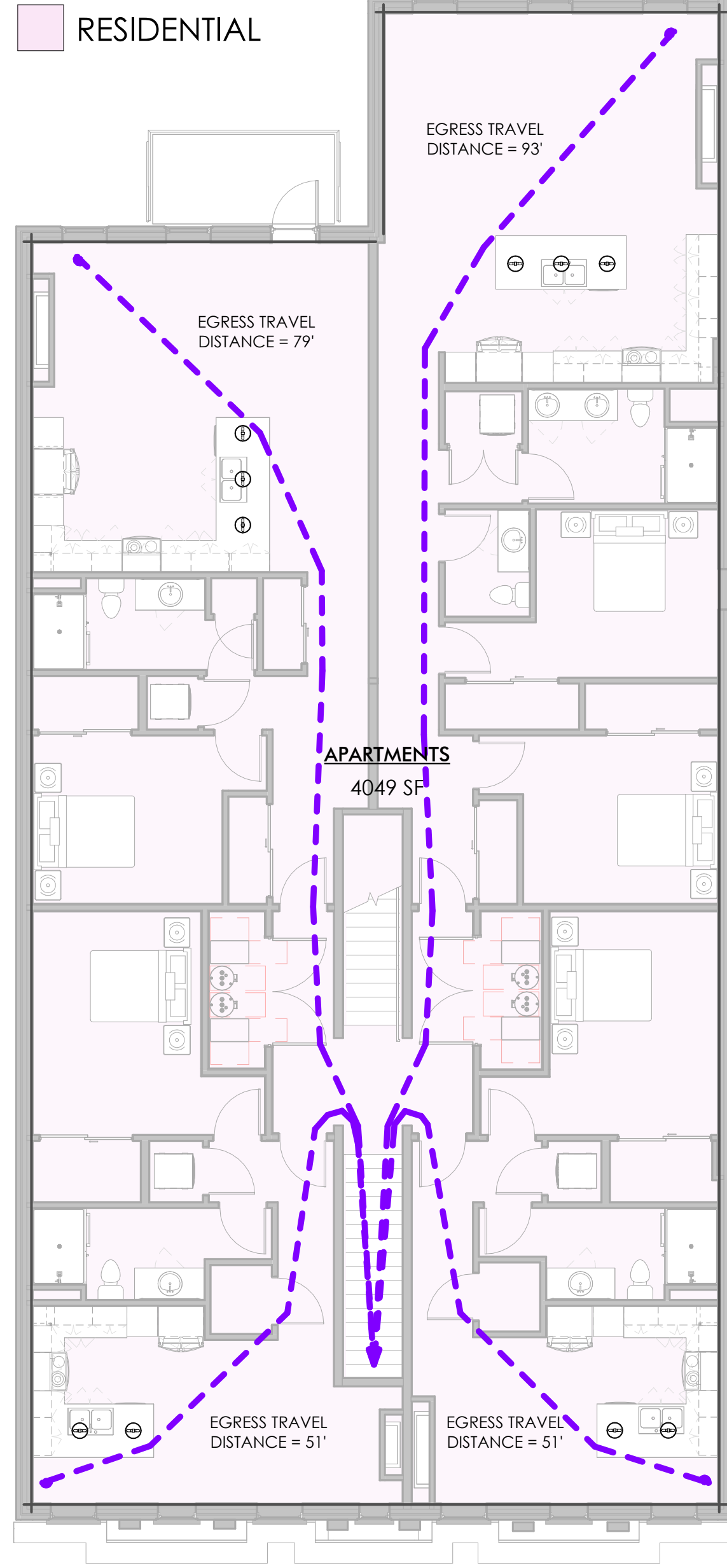
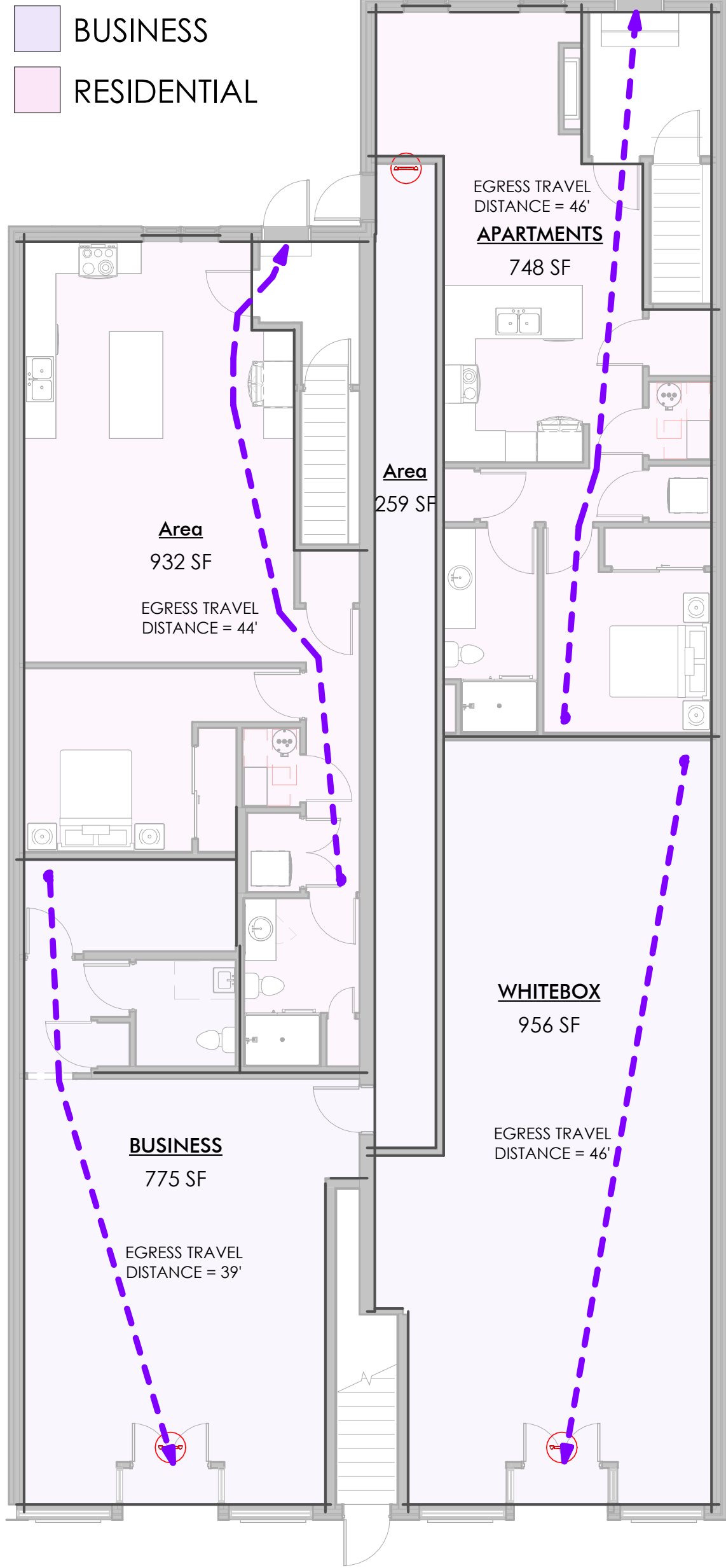
**PROJECT NAME**  
211 + 213 E MICHIGAN AVE  
**PROJECT ADDRESS**  
211 + 213 E MICHIGAN AVE, MARSHALL, MI

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**CODE COMPLIANCE**  
**T005**



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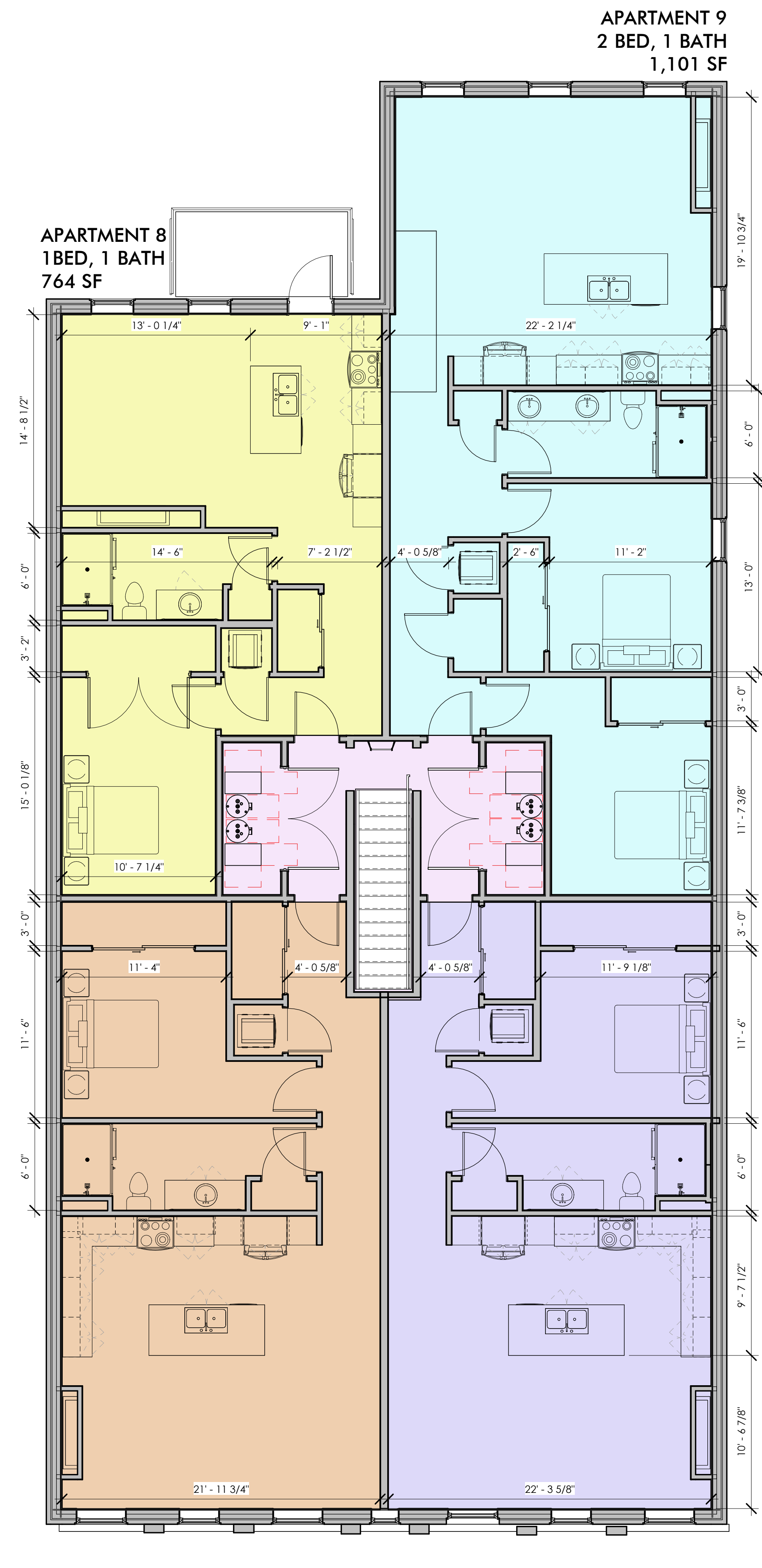
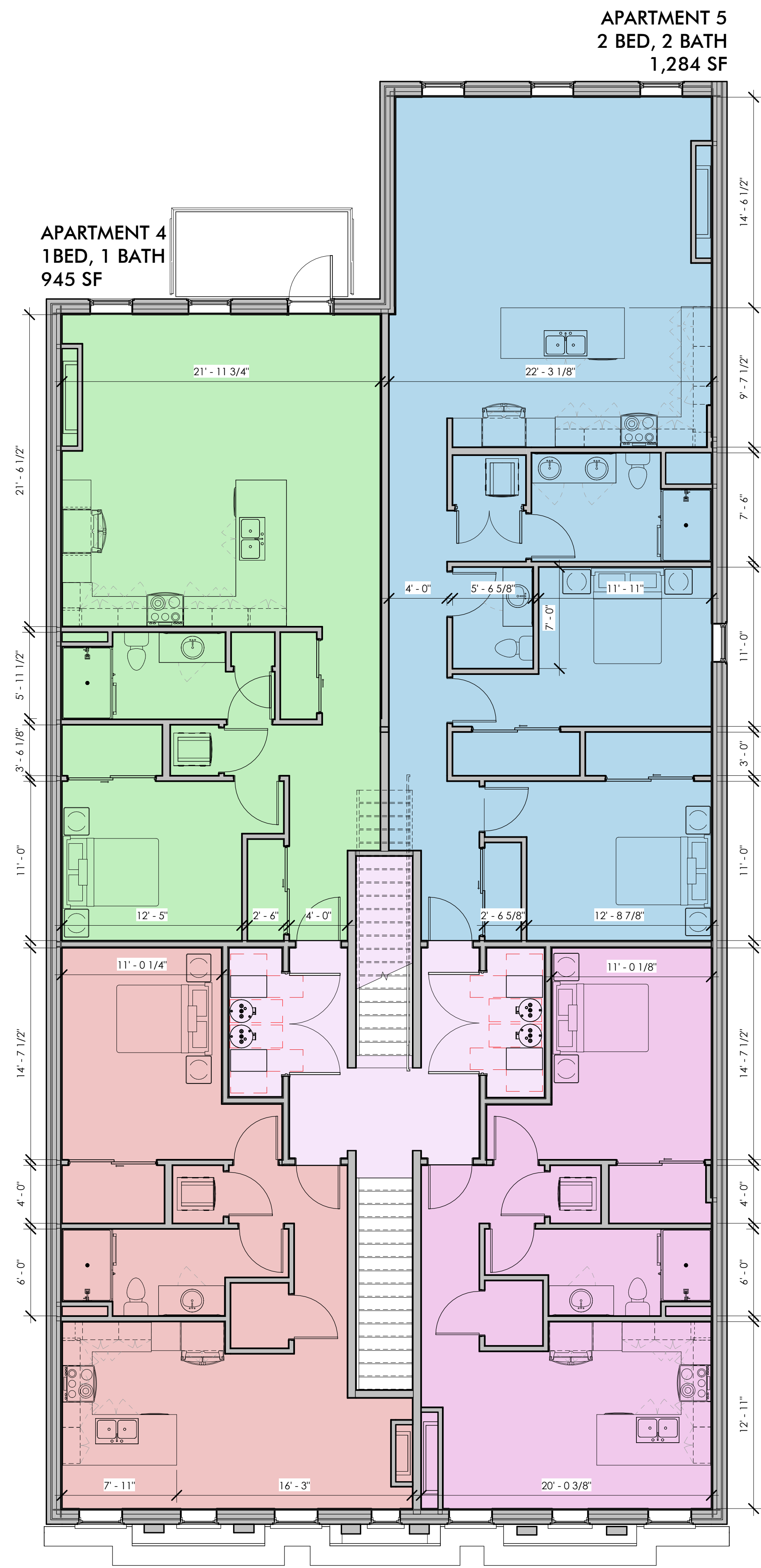
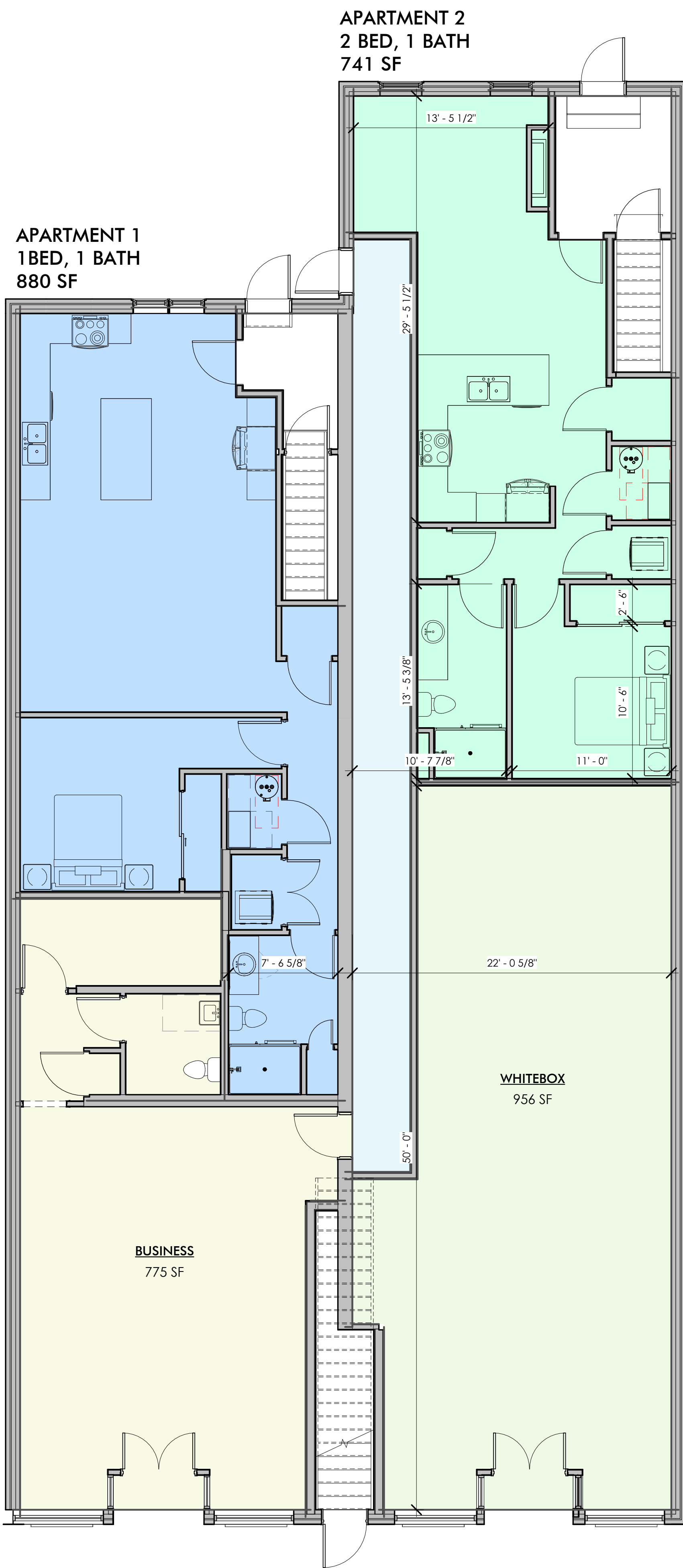
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AREA PLANS  
**T006**



1 FIRST FLOOR AREA PLAN  
 3/16" = 1'-0"

2 SECOND FLOOR AREA PLAN  
 3/16" = 1'-0"

3 THIRD FLOOR AREA PLAN  
 3/16" = 1'-0"



## GENERAL NOTES

- EXISTING BUILDING TO REMAIN ON THE EXISTING SITE
- THE UTILITIES THAT ARE CURRENTLY CONNECTED TO THE BUILDING ARE TO REMAIN
- CONTACT MISS DIG TO LOCATE ALL EXISTING UTILITIES BEFORE DOING ANY SITE WORK
- PATCH EXISTING ASPHALT PARKING LOT AS REQUIRED, RESTRIPE PARKING LOT IF REQUIRED
- EXISTING VEGETATION TO REMAIN ON THE SITE, TRIM AS REQUIRED
- PROVIDE A KNOX BOX AT THE MAIN ENTRY TO THE BUILDING, COORDINATE WITH LOCAL FIRE DEPARTMENT ON KEYING AND INSTALLATION
- WORK WITHIN THE STREET TO BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION.
- PERMITS, TESTING, BONDS & INSURANCES ETC., SHALL BE PAID FOR BY THE CONTRACTOR. CITY INSPECTION FEES SHALL BE PAID FOR BY THE OWNER.

## PARKING REQUIREMENTS

GENERAL OFFICES: ONE (1) SPACE PER 300 UFA  
 DWELLINGS, UNITS ON UPPER FLOORS OF BUILDINGS WITH NON-RESIDENTIAL USES AT STREET LEVEL (SINGLE OR MULTIPLE); ONE (1) SPACE PER DWELLING UNIT  
 PROVIDED: EXISTING REAR PARKING LOT PROVIDED >22 SPACES  
 REQUIRED: 22

## LANDSCAPE REQUIREMENTS

SITE PLAN REQUIRED. ALL PLANT MATERIALS SHALL BE HARDY, DROUGHT TOLERANT, FREE OF DISEASE AND INSECTS, AND INDIGENOUS TO CALHOUN COUNTY. ARTIFICIAL PLANT MATERIAL SHALL NOT BE USED WITHIN ANY REQUIRED LANDSCAPED AREA. THIS SHALL NOT PRECLUDE THE USE OF STONE, SHREDDED BARK, WOOD CHIPS, LAVA ROCK, OR SIMILAR ACCENT MATERIALS WITHIN PLANTING BEDS. NO SUBSTITUTION OF PLANT SPECIES OR SIZES SHALL BE ALLOWED UNLESS APPROVED BY THE ZONING ADMINISTRATOR IN WRITING.

## LEGAL DESCRIPTION

211: MARSHALL CITY, UPPER VILLAGE E 13 FT OF W 1/2 OF LOT 21 & W 10 FT OF E 1/2 OF LOT 21, EXCEPT THE S 25 FT OF THE SECOND FLOOR OF THE E 13 FT OF THE W 1/2 OF LOT 21 AND THE W 10 FT OF THE SECOND FLOOR OF THE E 1/2 OF SD LOT, OF THE UPPER VILLAGE OF THE CITY OF MARSHALL SPLIT OFF PARCEL 001-021-02 PART OF 2ND FLOOR FROM DEED DATED 2/1/16 (4041/549). PART OF 2ND FLOOR PUT ON PARCEL 001-021-10  
 213: MARSHALL CITY, UPPER VILLAGE E 23 FT OF LOT 21.

**GENERAL NOTES**

EXISTING PLANS AND DIMENSIONS ARE SHOWN FOR REFERENCE ONLY

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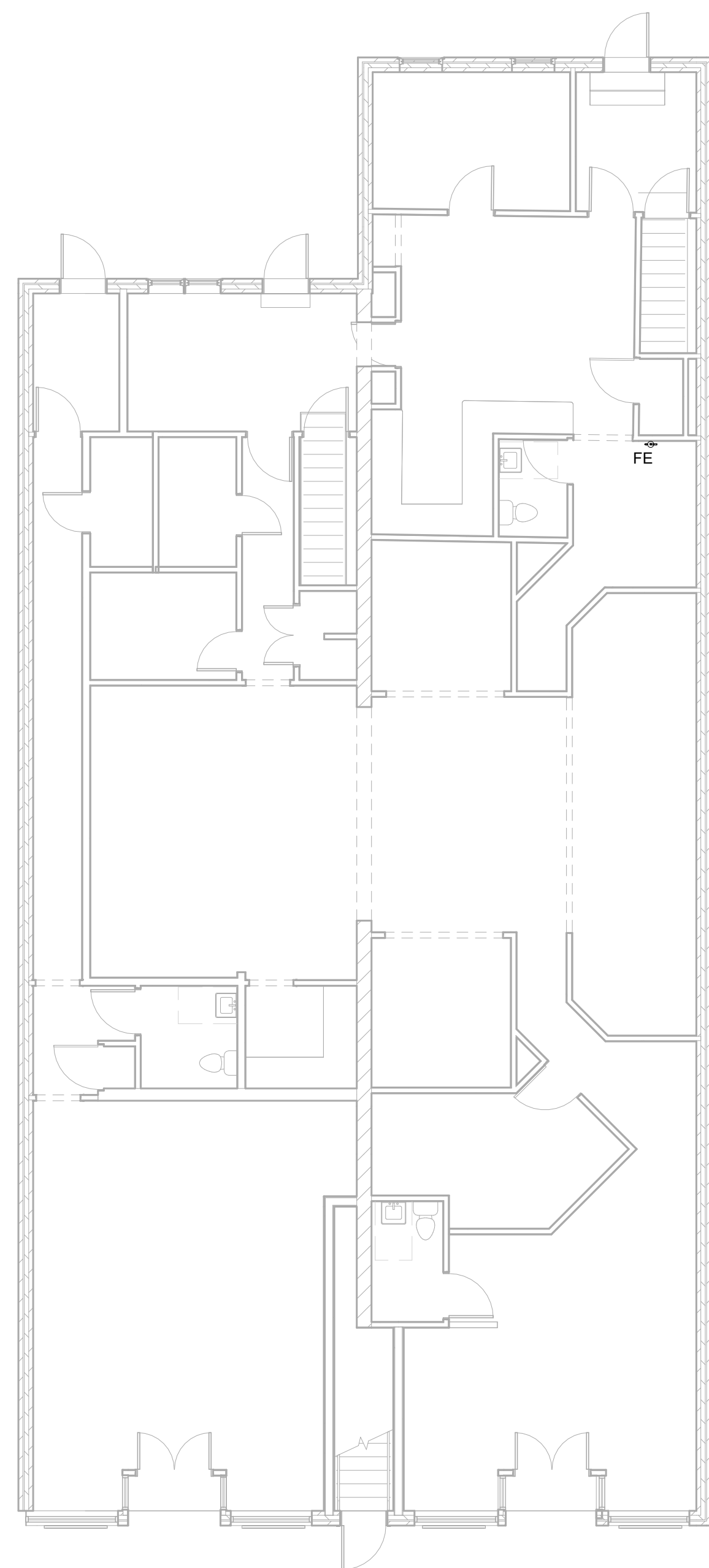
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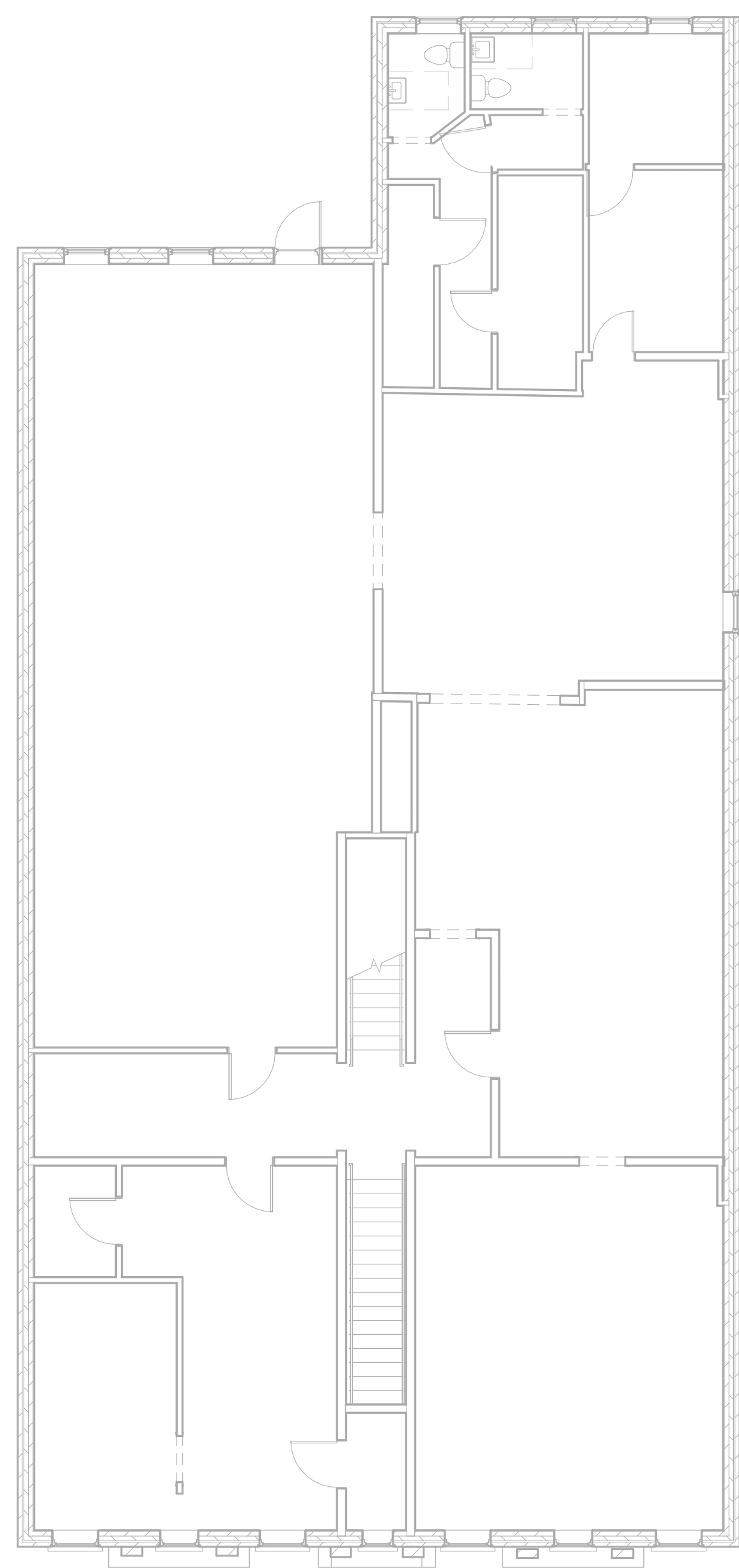
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**PROJECT NUMBER**  
 2024.125  
**EXISTING FLOOR PLANS**

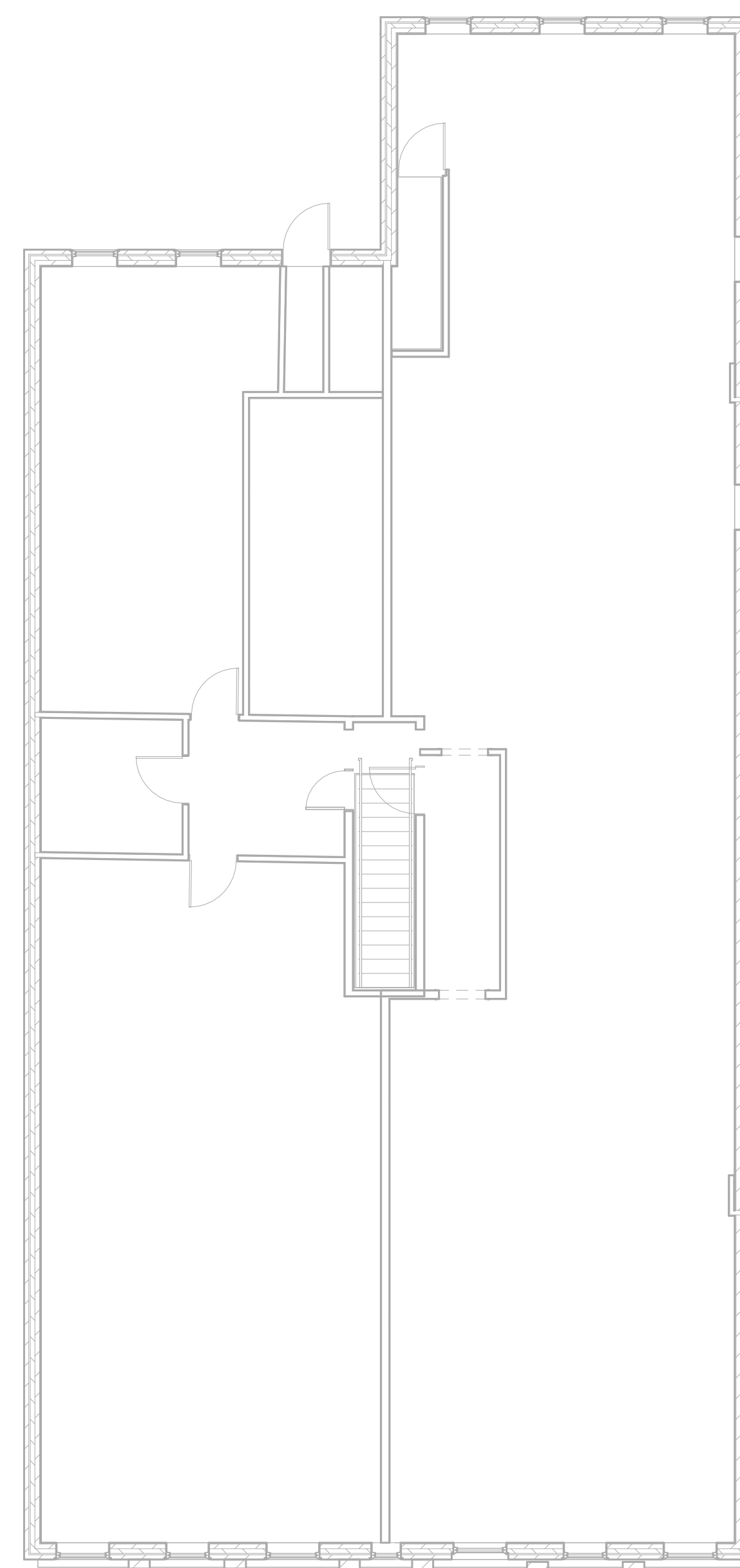
**A000**



**1** FIRST FLOOR EXISTING PLAN  
 A000 1/8" = 1'-0"



**2** SECOND FLOOR EXISTING PLAN  
 A000 1/8" = 1'-0"



**3** THIRD FLOOR EXISTING PLAN  
 A000 1/8" = 1'-0"

**DEMOLITION NOTES**

1. REMOVE ALL DASHED WALLS, WINDOWS, AND DOORS COMPLETELY.
2. OWNER TO REMOVE ALL FURNISHINGS/ EQUIPMENT THAT THEY WISH TO RETAIN FROM THE AREAS OF DEMOLITION/ CONSTRUCTION PRIOR TO THE START OF CONSTRUCTION WORK IN EACH AREA. OWNER TO COORDINATE WITH CONTRACTOR REGARDING THE TIME SCHEDULE FOR THIS TO BE COMPLETED.
3. PATCH AND FILL ANY HOLES IN THE WALL CAUSED BY THE REMOVAL OF DOORS, WINDOWS, OR WALLS TO MATCH SURROUNDINGS.
4. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL SURFACES NOT BEING REMODELED IN THE PROJECT AND IN THE PATH OF THE CONTRACTORS TRAVEL, SETUP AND/ OR PROJECT MATERIAL STORAGE. THE CONTRACTOR MUST RETURN THE AREAS DISTURBED AS REQUIRED FOR ACCESS TO ITS PRE-EXISTING CONDITION.
5. ANY HAZARDOUS MATERIALS ARE TO BE REMOVED BY A LICENSED PROFESSIONAL IN THE STATE OF MICHIGAN.
6. ALL SAFETY ISSUES RELATED TO DEMOLITION ARE THE RESPONSIBILITY OF THE CONTRACTOR AND MUST COMPLY WITH ALL STATE, LOCAL, ENVIRONMENTAL AND LABOR LAWS DURING THE CONSTRUCTION OF THIS PROJECT.
7. SEQUENCE DEMOLITION WITH STRUCTURAL WORK TO ASSURE SAFETY. PROVIDE SHORING AS REQ'D TO ENSURE SAFE CONDITIONS EXIST. SHORING IS NOT SHOWN ON PLANS. STRUCTURAL ELEMENTS ARE TO REMAIN, UNLESS NOTED OTHERWISE. COORDINATE WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS.
8. ALL TRADES TO COORDINATE BETWEEN ONE ANOTHER TO AVOID CONFLICTS.
9. NOTATIONS ARE MADE IN VARIOUS PLACES ON THE DRAWINGS TO CALL ATTENTION TO DEMOLITION WHICH IS REQUIRED. THESE DRAWINGS ARE NOT INTENDED TO SHOW EACH AND EVERY ITEM TO BE REMOVED. CONTRACTOR SHALL REMOVE ALL MATERIALS RELATED TO THEIR RESPECTIVE TRADES AS REQUIRED TO PERMIT THE CONSTRUCTION OF THE NEW WORK AS SHOWN.
10. THE CONTRACTOR SHOULD TAKE CARE DURING THE PROJECT TO NOT INTERRUPT THE USE IN AREAS NOT IN SCOPE.
11. PRIOR TO ANY DIGGING ON OR AROUND THE SITE UTILITIES ARE TO BE LOCATED USING MISS DIG.
12. ALL RUBBISH AND DEBRIS FROM DEMOLITION IS TO BE REMOVED IMMEDIATELY FROM THE SITE AFTER DEMOLITION. COORDINATE ALL DEMOLITION, DUMPSTER LOCATIONS, BARRICADING, PEDESTRIAN PROTECTION MEASURES, ETC. WITH THE OWNER AND LOCAL MUNICIPALITY PRIOR TO COMMENCEMENT.
13. REMOVE ALL LIGHTING, WIRING, FIRE ALARM DEVICES, RECEPTACLES, AND SPEAKERS FROM WALLS AND CEILINGS BEING REMOVED. COORDINATE WITH ARCHITECT AS REQUIRED. REMOVE ALL ABANDONED EXPOSED CONDUIT AND WIRING BACK TO SOURCE. REMOVE WIRING BACK TO PANEL OR NEAREST JUNCTION BOX. RE-LABEL CIRCUIT BREAKER AS SPARE, IN SCOPE OF WORK.
14. PROVIDE BLANK COVERPLATE OVER EMPTY OUTLET BOXES IF DEVICE IS REMOVED AND NOT REPLACED.
15. REMOVE ALL EXISTING HVAC, FIRE PROTECTION AND PLUMBING EQUIPMENT, PIPING BACK TO MAIN AND ALL ASSOCIATED ACCESSORIES. SANITARY, STORM, AND VENT STACKS TO REMAIN. CAP ANY UNUSED AREAS.
16. SALVAGE MATERIALS AS REQUIRED IF PART OF THE SCOPE IS MATCHING MATERIALS OR INFILL MATERIALS AS PART OF A RENOVATION PROJECT.
17. REMOVE ALL CEILINGS AND FLOOR FINISHES IN AREAS OF DEMOLITION U.N.O.
18. ALL EXISTING COLUMNS AND STRUCTURAL ELEMENTS TO REMAIN. ANY DISCREPANCIES THAT OCCUR IN THE FIELD DURING DEMOLITION SHOULD BE BROUGHT TO THE ARCHITECT'S ATTENTION.
19. THE CONTRACTOR SHALL MAINTAIN THE JOB SITE TO BROOM CLEAN AT ALL TIMES.
20. THE OWNER WILL MAINTAIN OCCUPANCY OF SPACES ADJACENT TO AREAS OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL POTENTIALLY DISRUPTIVE ACTIVITIES WITH THE OWNER.

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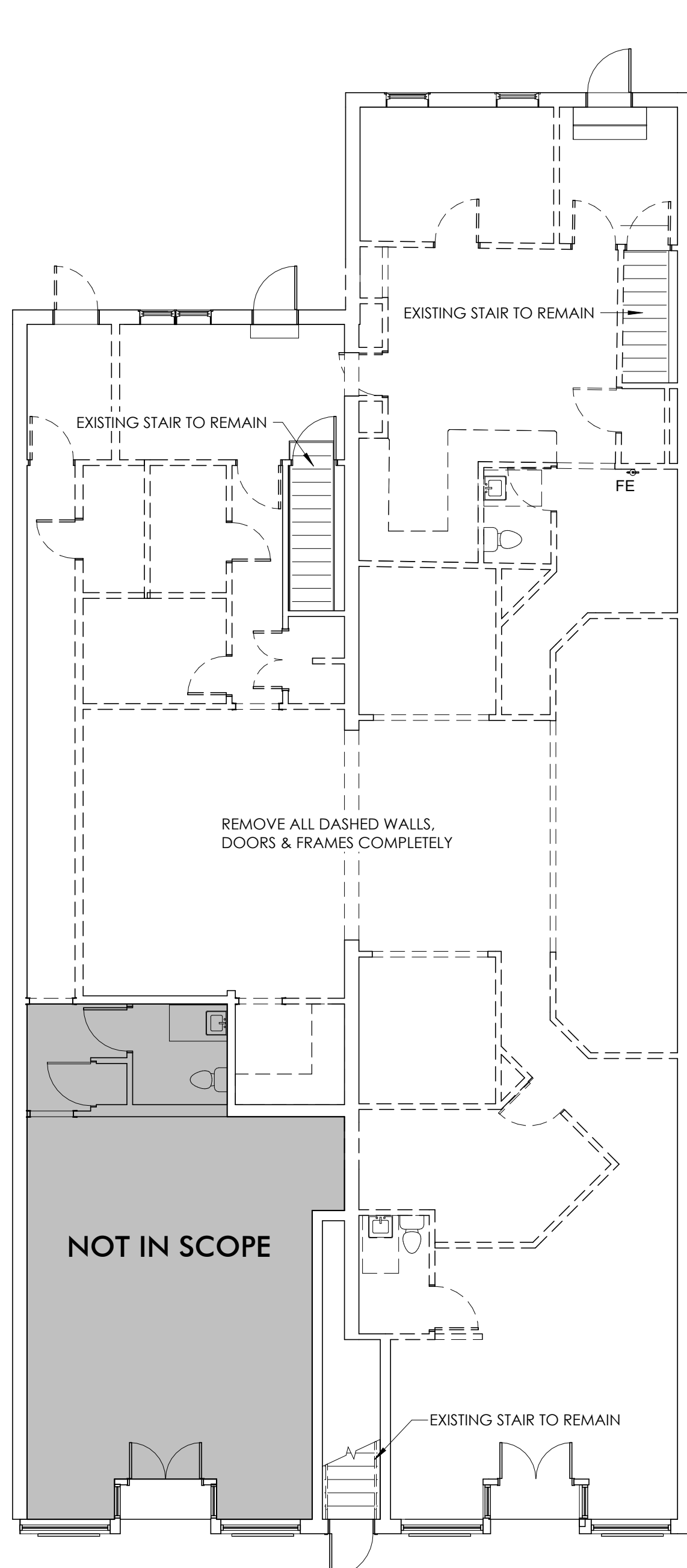
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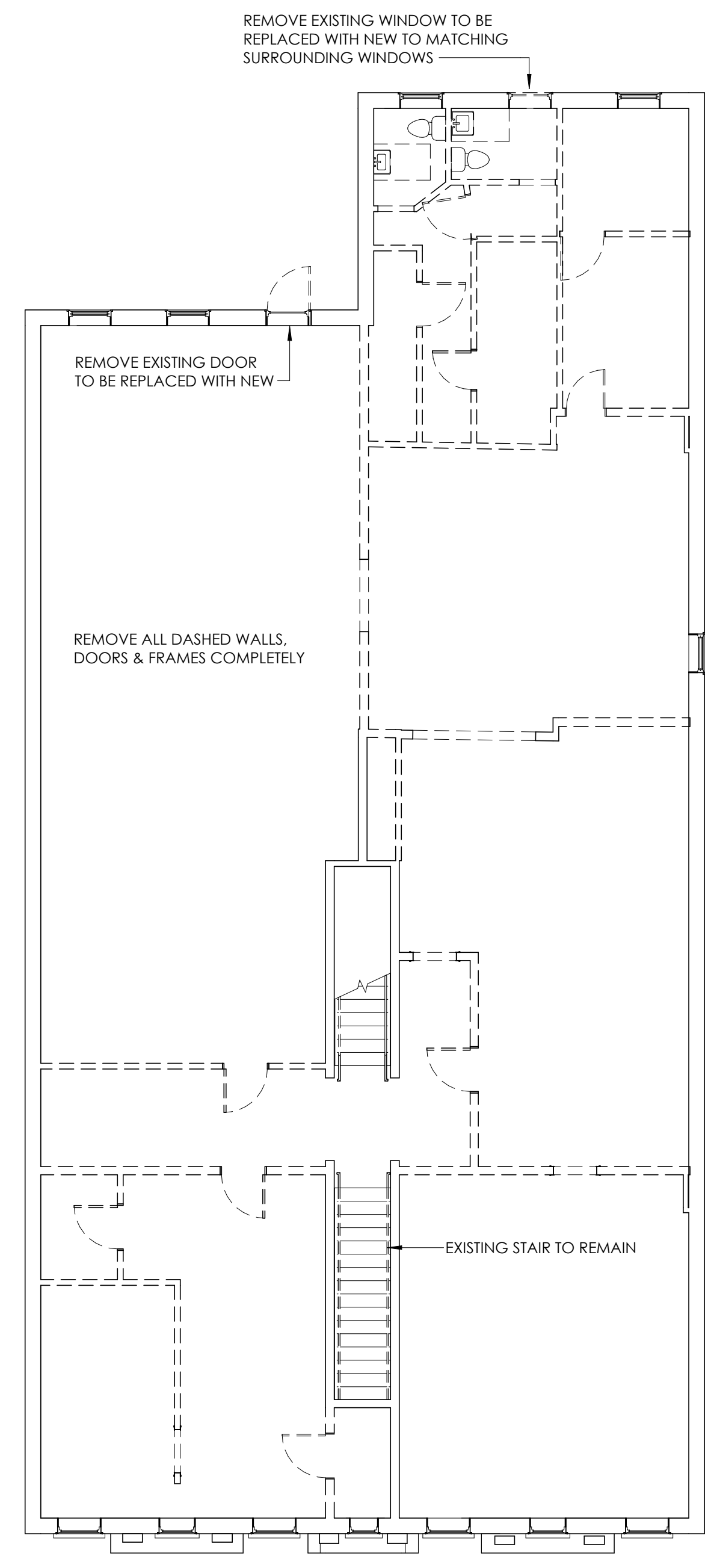
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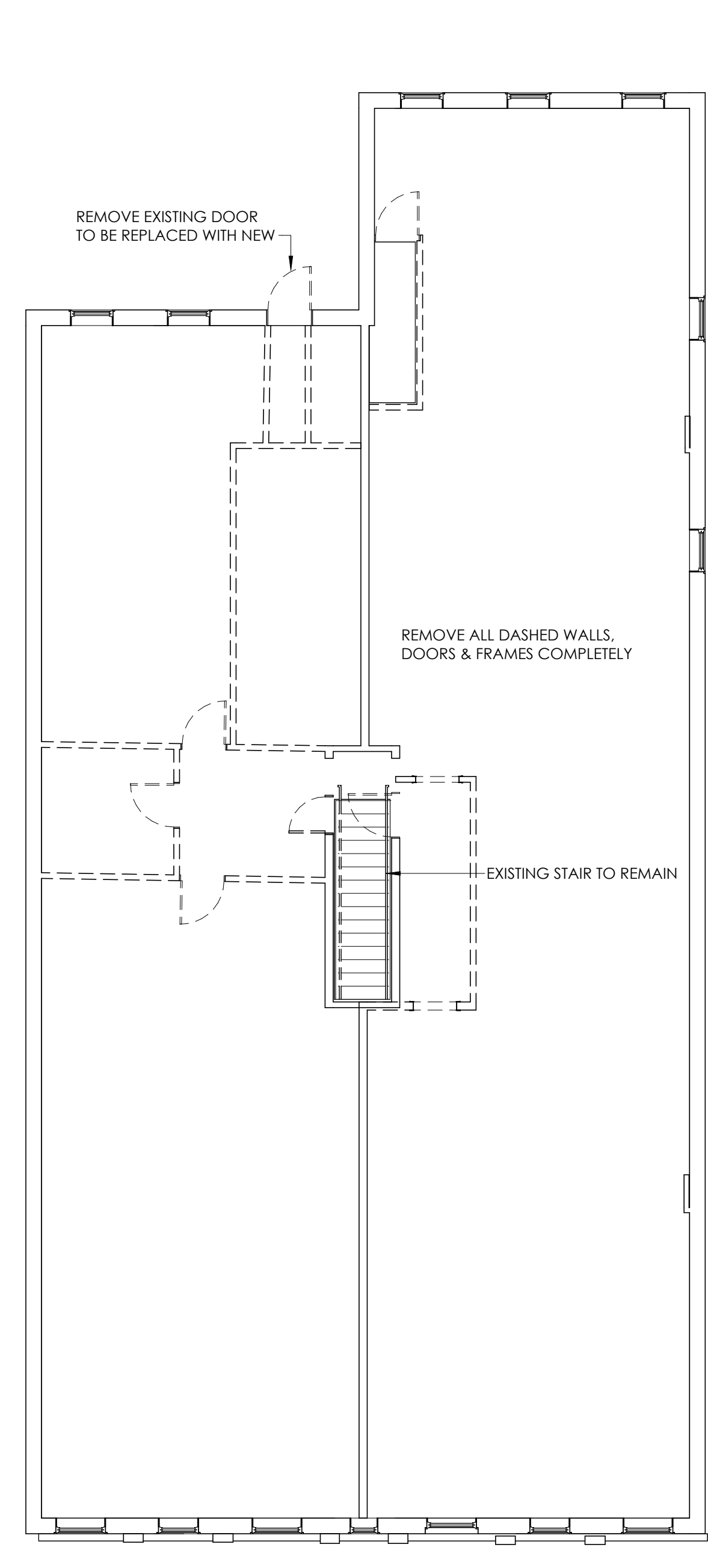
DEMOLITION PLANS  
**A110**



**1 FIRST FLOOR DEMOLITION PLAN**  
 A110 1/8" = 1'-0"



**2 SECOND FLOOR DEMOLITION PLAN**  
 A110 1/8" = 1'-0"

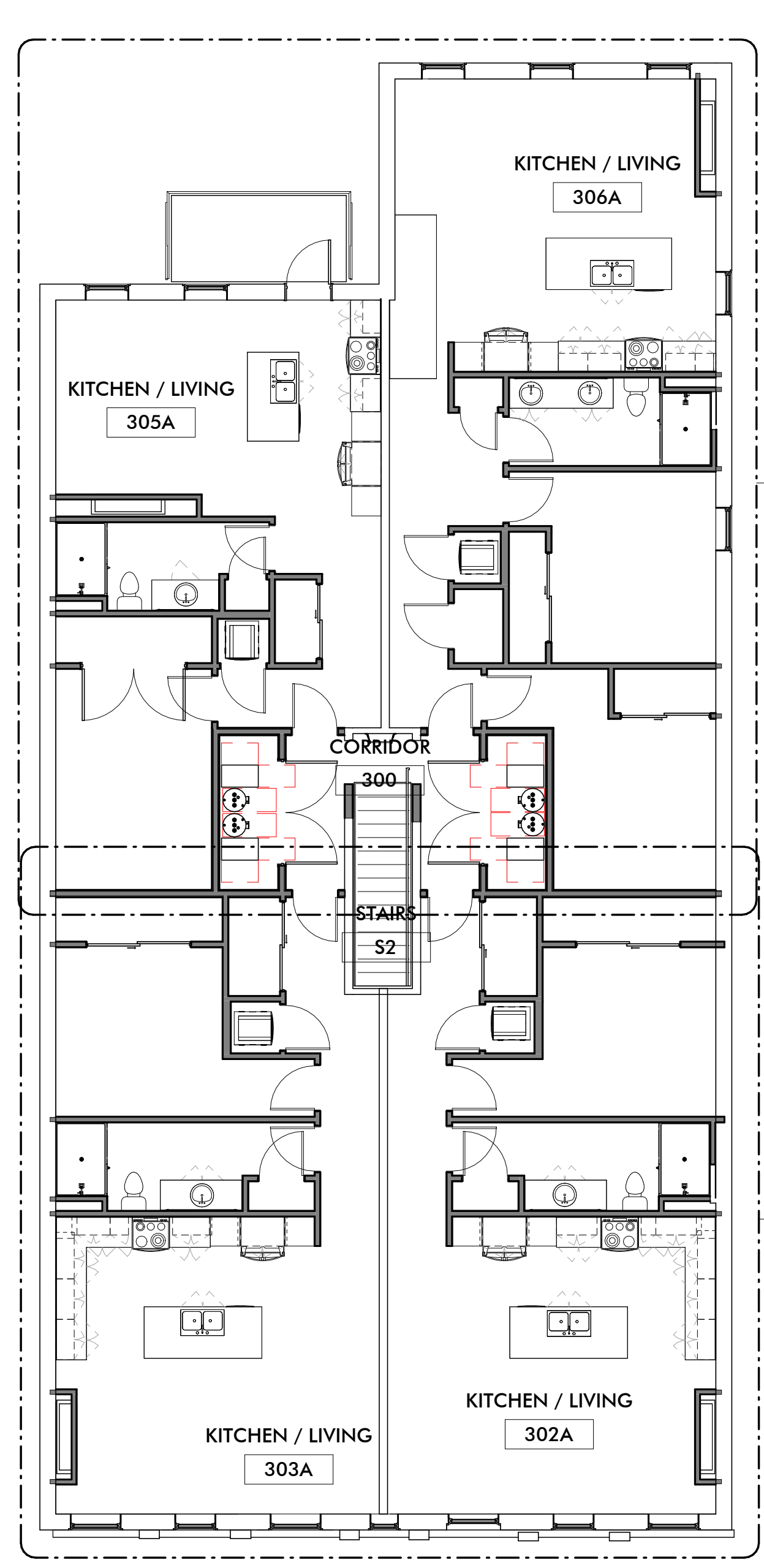
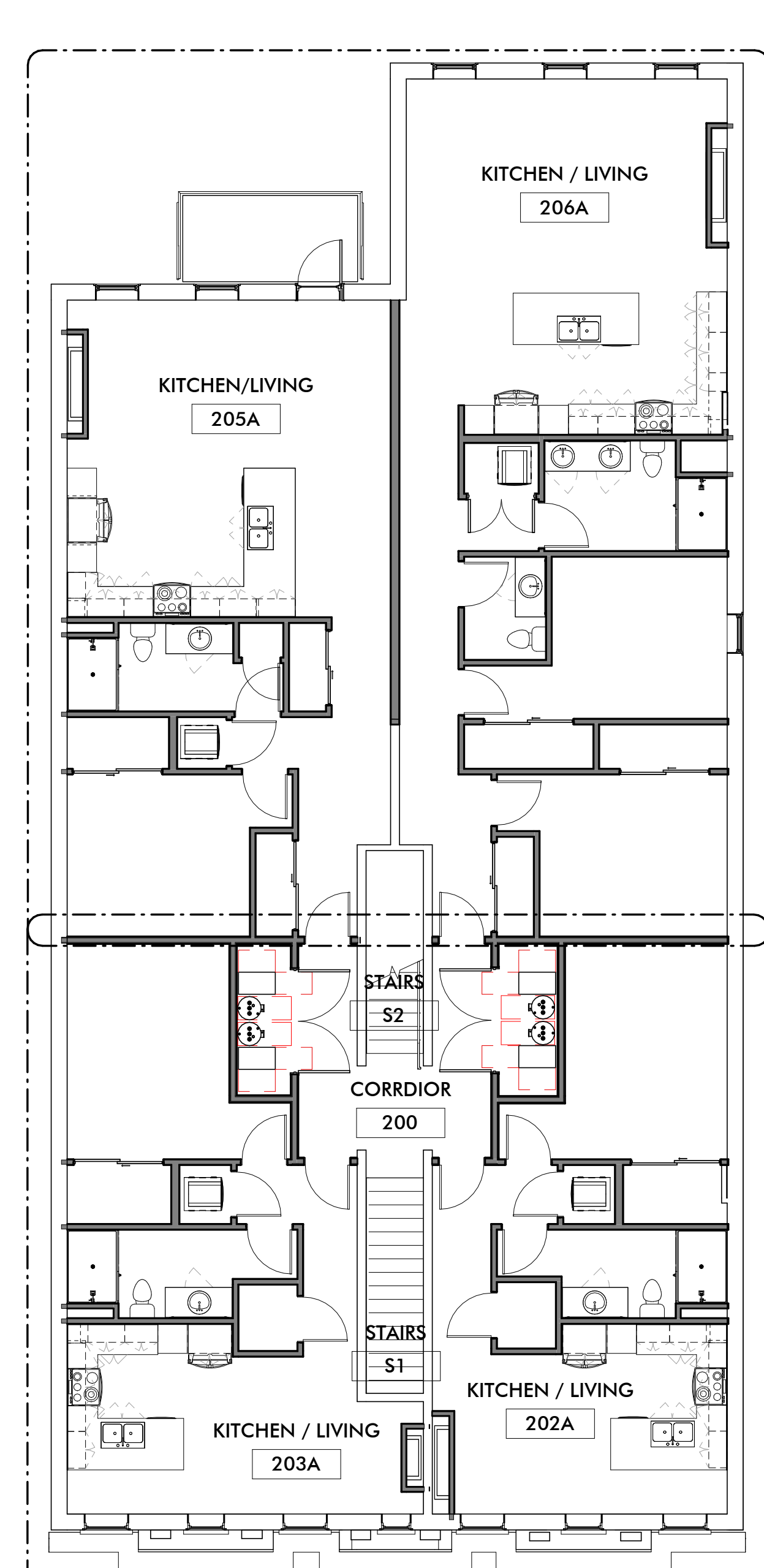
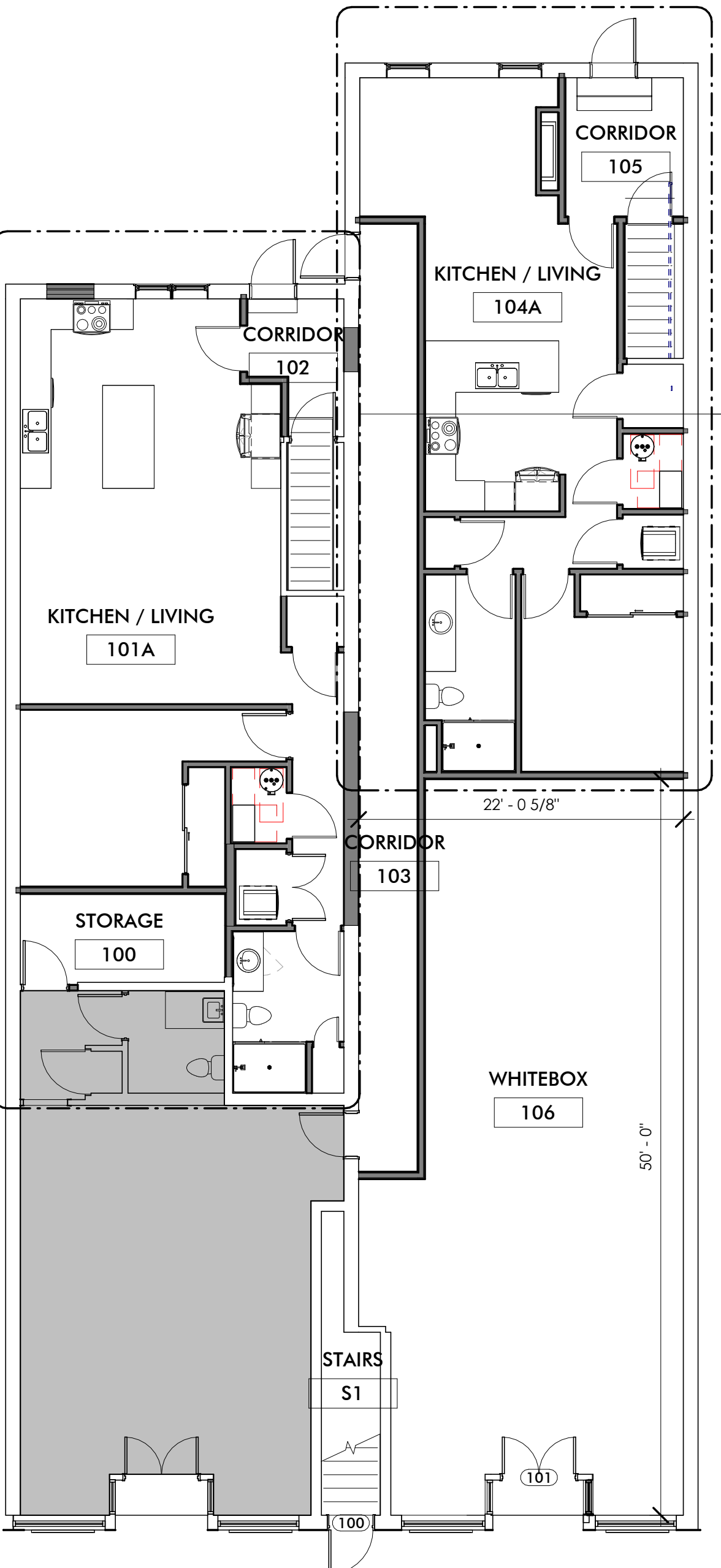
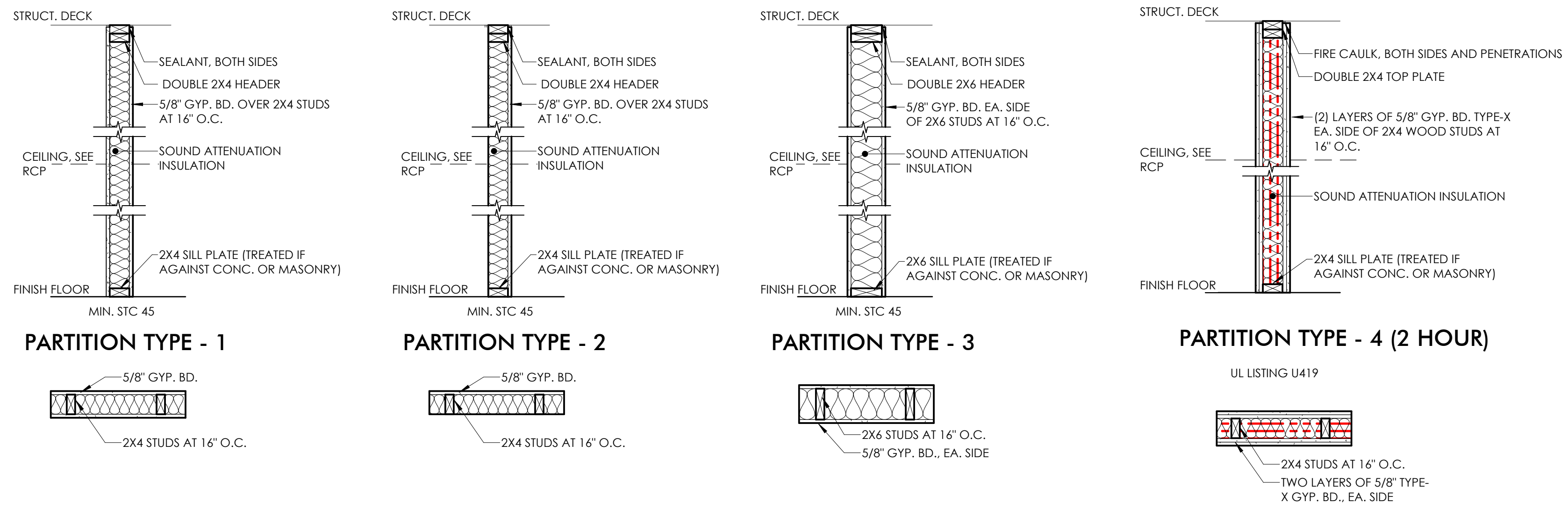


**3 THIRD FLOOR DEMOLITION PLAN**  
 A110 1/8" = 1'-0"

WALL LEGEND		MATERIAL LEGEND	
	EXISTING WALL TO REMAIN		CMU
	ELEMENTS TO BE REMOVED		CONCRETE
	1 HOUR PARTITION		WOOD BLOCKING
	2 HOUR PARTITION		STEEL (LARGE SCALE)
	EXTENT OF WORK		PLASTER
			RIGID INSULATION
			PLYWOOD
			MILLWORK

**GENERAL NOTES**

- ALL GYPSUM BOARD THROUGHOUT IS TO BE 5/8" TYPE-X AS A MINIMUM.
- ALL EXISTING INTERIOR WALLS THAT ARE TO REMAIN ARE TO BE PATCHED AS REQUIRED FROM NEW UTILITIES OR GENERAL CONSTRUCTION.
- INFILL OF EXISTING WALL OPENINGS IS TO RESULT IN FLUSH FINISHES ON BOTH SIDES OF THE WALL. UNLESS OTHERWISE NOTED, USE APPROPRIATE STUD FRAMING TO ACHIEVE DESIRED FINISH.
- INSTALL WOOD BLOCKING IN WALLS AS NECESSARY FOR INSTALLATION OF ALL CASEWORK, MIRRORS, TOWEL BARS, SHOWER CURTAIN RODS, TOILET PAPER DISPENSERS, PAPER TOWEL HOLDERS, TOILET PARTITIONS, RAILINGS, AND ANY OTHER ACCESSORIES.
- PROVIDE 5/8" GYPSUM BOARD W/ KERDI MEMBRANE ON ALL WET WALLS IN BATHTUBS, SHOWERS, AND KITCHEN LOCATIONS TO RECEIVE TILE. COORDINATE WITH INTERIORS.
- DRAWINGS ESTABLISH THE DESIGN INTENT OF WORK TO BE PERFORMED. ALL PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. ALL TRADES SHALL CAREFULLY COORDINATE WORK OF ALL OTHER TRADES. CONTRACTORS SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS AND FOR VERIFYING THEM WITH THE CONTRACT DOCUMENTS. ANY DISCREPANCIES OR CONFLICTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT AND THE OWNER PRIOR TO FABRICATION OR INSTALLATION.
- COORDINATE SIZE AND LOCATION OF ALL EQUIPMENT SUPPORTS INCLUDING BUT NOT RESTRICTED TO CONCRETE HOUSEKEEPING PADS WITH APPROPRIATE EQUIPMENT MANUFACTURER.
- VERIFY QUANTITY, SIZE, AND LOCATION OF ALL FLOOR, ROOF, AND WALL OPENINGS FOR ALL DISCIPLINES INCLUDING BUT NOT RESTRICTED TO MECHANICAL AND ELECTRICAL WORK WITH THE APPROPRIATE TRADE. PROVIDE ALL OPENINGS SHOWN OR REQUIRED FOR THE COMPLETION OF THE WORK. PROVIDE ALL LINTELS REQUIRED FOR THESE OPENINGS PER SPECIFICATIONS.
- VERIFY QUANTITY, SIZE, AND LOCATION OF ALL FLOOR, ROOF, AND WALL OPENINGS FOR ALL DISCIPLINES INCLUDING BUT NOT RESTRICTED TO MECHANICAL AND ELECTRICAL WORK WITH THE APPROPRIATE TRADE.
- DIMENSIONS PRECEDED BY +/- SHOULD BE REVIEWED AND ALL NECESSARY ADJUSTMENTS MADE PRIOR TO FABRICATION AND/OR INSTALLATION OF AFFECTED WORK. NOTIFY ARCHITECT'S REPRESENTATIVE IF DISCREPANCIES ARISE BEFORE PROCEEDING WITH THE WORK.
- BATHROOM MIRRORS AND LIGHT FIXTURES ABOVE VANITIES SHALL BE CENTERED ON THE SINKS.

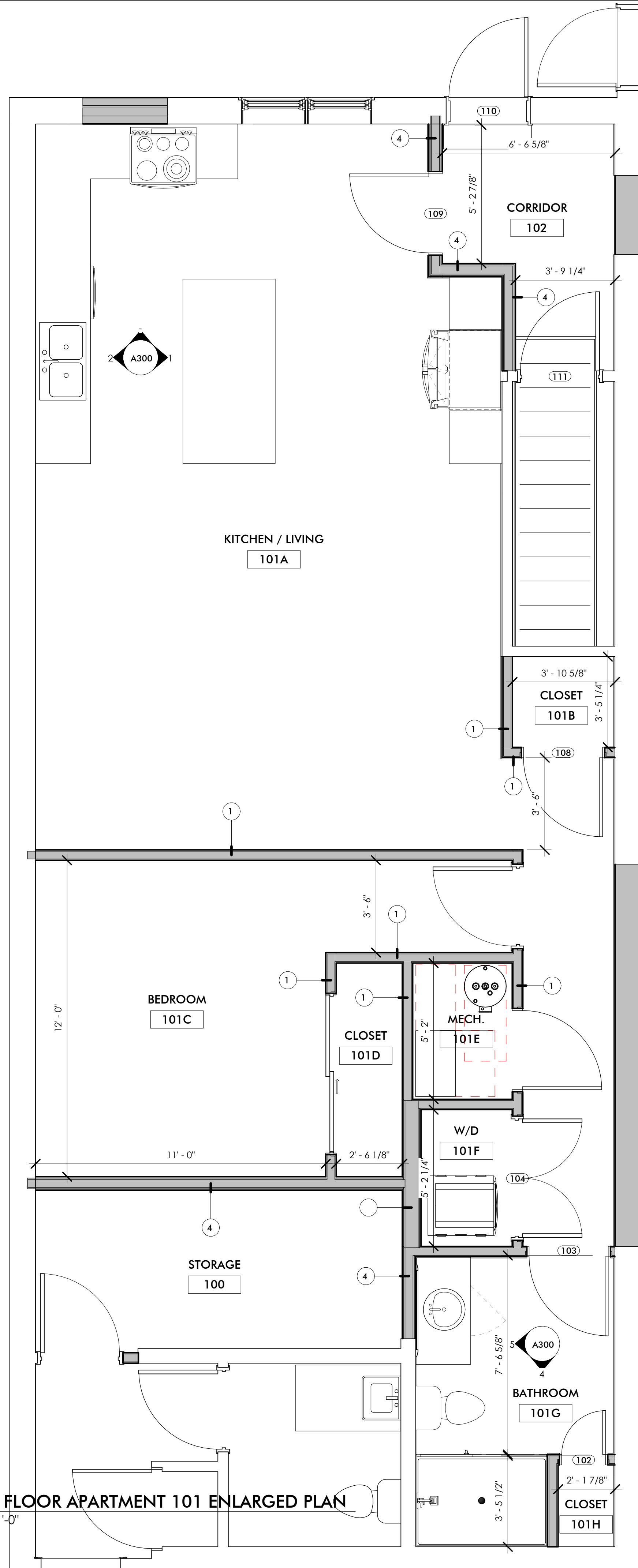


**1 FIRST FLOOR PLAN**  
 A121 1/8" = 1'-0"

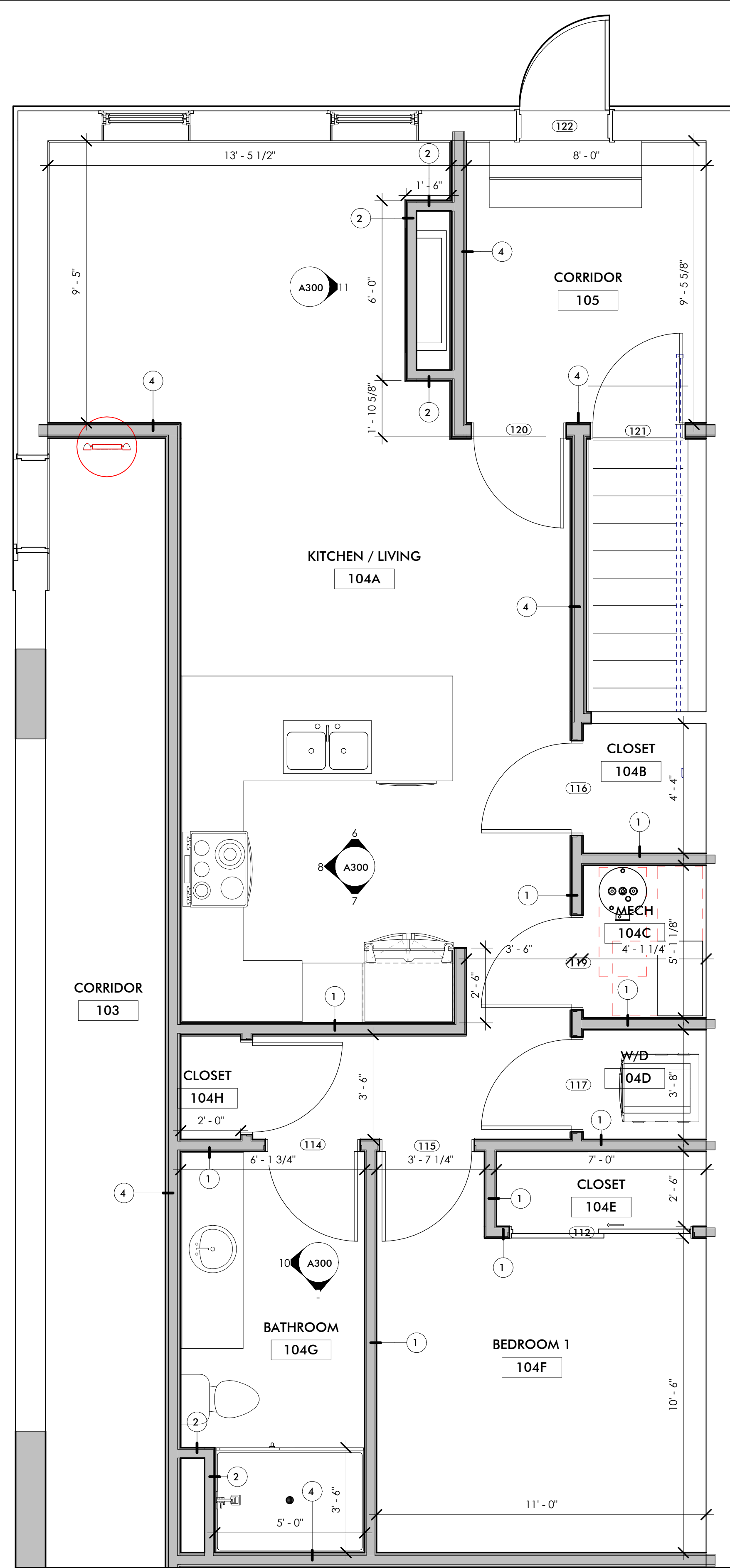
**2 SECOND FLOOR PLAN**  
 A121 1/8" = 1'-0"

**3 THIRD FLOOR PLAN**  
 A121 1/8" = 1'-0"

**GENERAL NOTES**



**1 FIRST FLOOR APARTMENT 101 ENLARGED PLAN**  
 A130 3/8" = 1'-0"



**2 FIRST FLOOR APARTMENT 104 ENLARGED PLAN**  
 A130 3/8" = 1'-0"

GENERAL NOTES

**ARCHITECTURE/INTERIOR DESIGN**  
 Driven Design Studio PLLC  
 117 West Michigan Avenue  
 Battle Creek, MI 49017  
 (269) 753-8040  
 cody@drivendesignstudio.com

**OWNER**  
 Brad Noel  
 211/213 E Michigan Ave  
 Marshall, MI  
 bradnoel00@gmail.com

**CONSTRUCTION MANAGER/GC**  
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 GC Address  
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 GC Phone Number  
 GC Email

**ENGINEER**  
 Engineer Name  
 Engineer Address  
 Engineer City  
 Engineer Phone Number  
 Engineer Email

**ENGINEER**  
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 Engineer Email

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 PROJECT ADDRESS  
 211 + 213 E MICHIGAN AVE, MARSHALL, MI

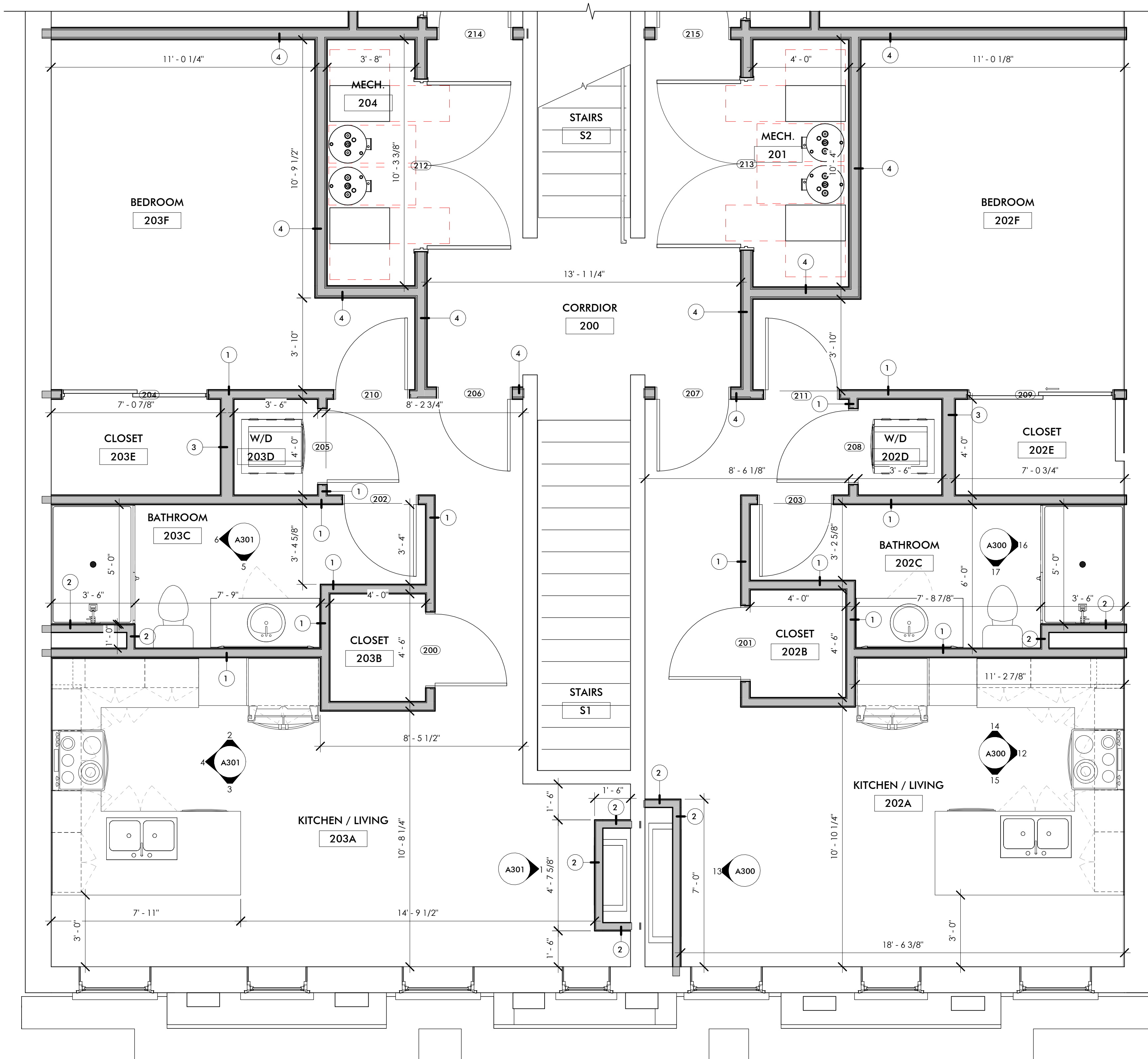
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 DESIGN DEVELOPMENT

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PROJECT NUMBER  
 2024.125

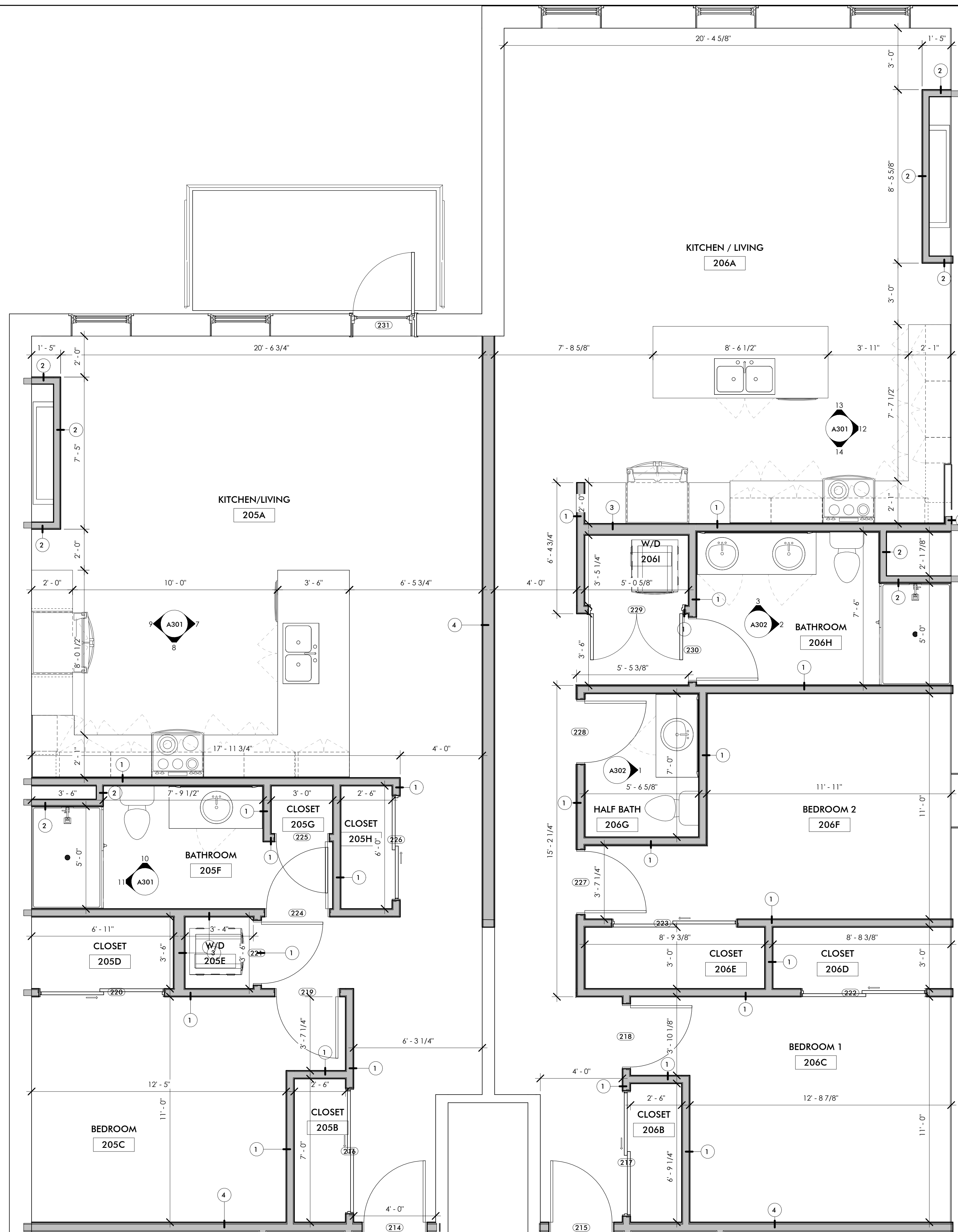
ENLARGED PLANS

**A131**



**1 SECOND FLOOR FRONT ENLARGED PLANS**  
 A131 3/8" = 1'-0"

**GENERAL NOTES**



**1 SECOND FLOOR BACK ENLARGED PLANS**  
 A132 3/8" = 1'-0"

GENERAL NOTES

**ARCHITECTURE/INTERIOR DESIGN**  
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 cody@drivendesignstudio.com

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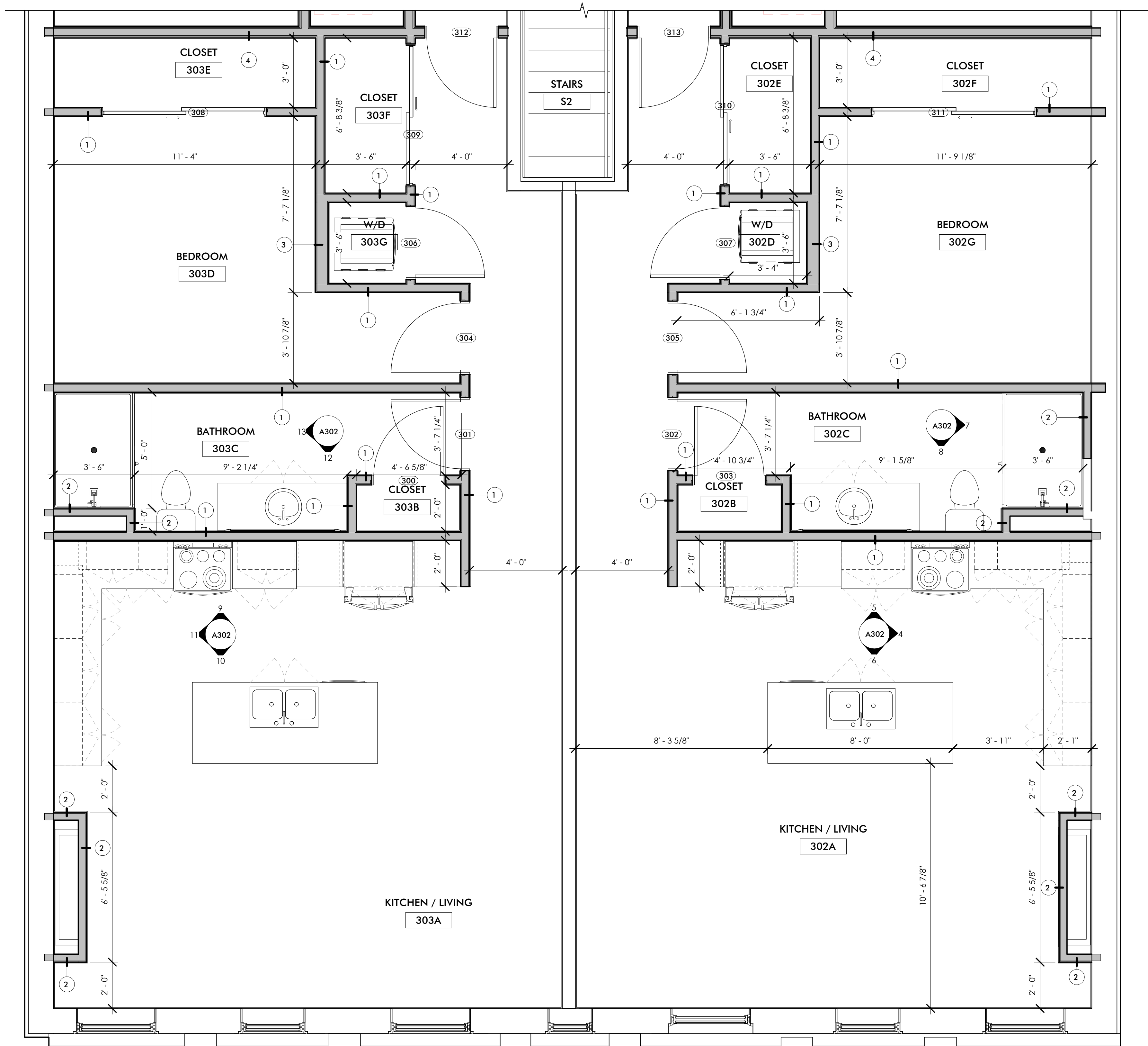
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PROJECT NUMBER  
 2024.125

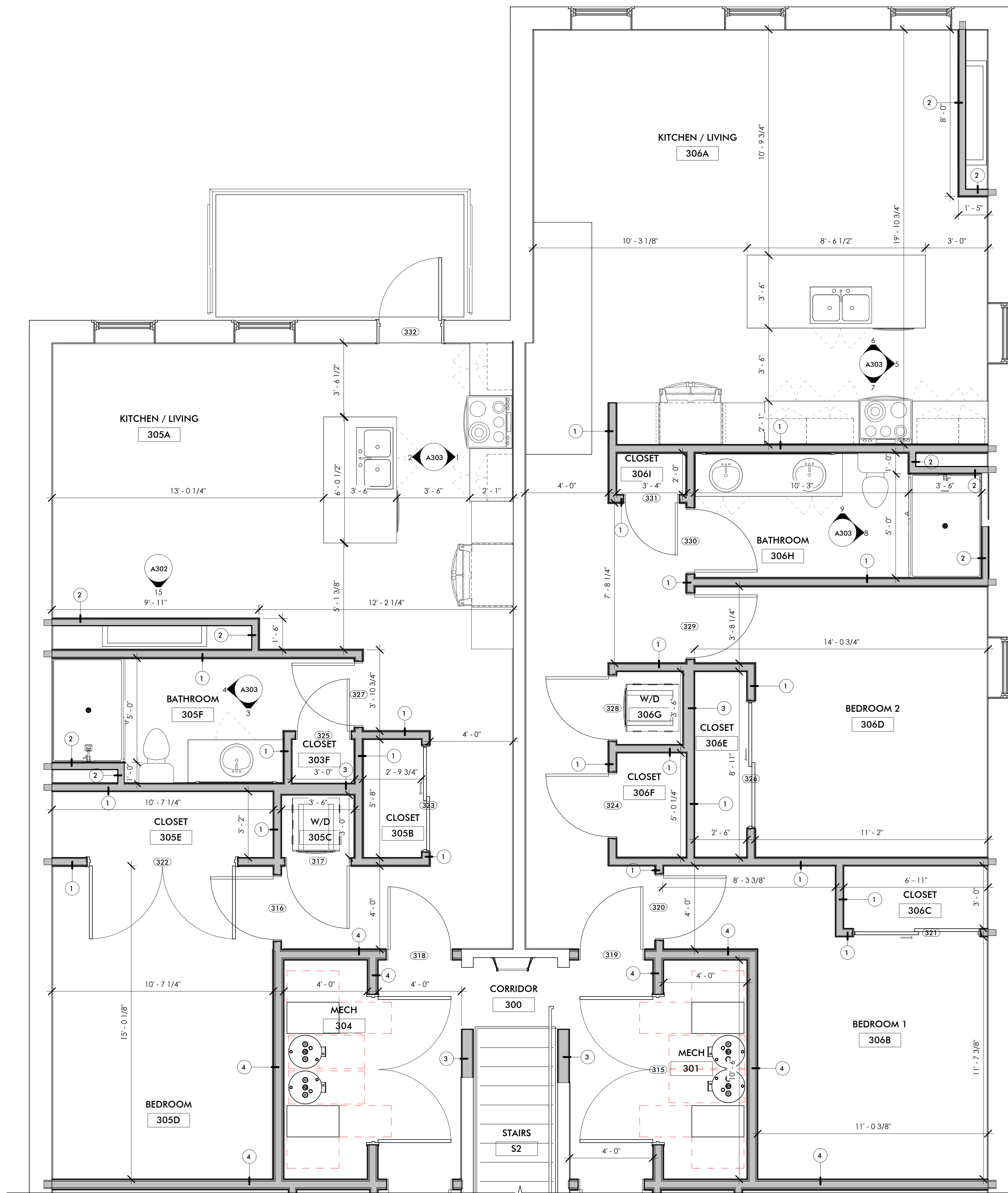
ENLARGED PLANS

**A133**



**1** THIRD FLOOR FRONT ENLARGED PLANS  
 A133 3/8" = 1'-0"

**GENERAL NOTES**



**1 THIRD FLOOR BACK ENLARGED PLANS**  
 A134 3/8" = 1'-0"

FINISH SCHEDULE KEY							
CODE	MATERIAL	MANUFACTURER	STYLE	SIZE	COLOR	CONTACT INFO	NOTES
ACP-1	ACOUSTICAL CEILING PANEL						*call out grid*
CAB-1	WOOD-FACED ARCHITECTURAL CABINETS	SMART CABINetry					
CWT-1	CERAMIC WALL TILE	TILEBAR	PORTMORE	3" X 8"	WHITE		
IPS-1	PAINT (TO MATCH)	SHERWIN WILLIAMS					
IPS-2	PAINT (TO MATCH)	SHERWIN WILLIAMS					
IPS-3	PAINT (TO MATCH)	SHERWIN WILLIAMS					
IPS-4	PAINT (TO MATCH)	SHERWIN WILLIAMS					
LVT-1	LUXURY VINYL TILE	SHAW CONTRACT	ART + SCIENCE - PIVOT	8" X 51"	CLIMATE		
LVT-2	LUXURY VINYL TILE	SHAW CONTRACT	ART + SCIENCE - PIVOT	8" X 51"	MINDSET		
PT-1	PORCELAIN TILE	TILEBAR	NOBU RIBBON	24" X 48"	ALMOND		
PT-2	PORCELAIN TILE	TILEBAR	SEVILLE	12" X 24"	EFESO GRAY		
RST-1	RUBBER STAIR TREAD						
SS-	SOLID SURFACE						
VWB-1	VINYL WALL BASE						
WDB-1	WOOD BASEBOARD	ELEN BAAS					
WDT-1	WOOD TRIM						

ON ALL FINISH PLANS, NORTH IS TO BE ASSUMED DIRECTLY STRAIGHT UP ON THE FLOOR PLAN TO CORRELATE WITH WALL FINISH LOCATIONS

FINISH SCHEDULE										
ROOM NUMBER	ROOM NAME	FLOOR	BASE	WALL			CEILING	MILLWORK		NOTES
				NORTH	EAST	SOUTH		WEST	CABINET	
100	STORAGE									
101A	KITCHEN / LIVING									
101B	CLOSET									
101C	BEDROOM									
101D	CLOSET									
101E	MECH.									
101F	W/D									
101G	BATHROOM									
101H	CLOSET									
102	CORRIDOR									
103	CORRIDOR									
104A	KITCHEN / LIVING									
104B	CLOSET									
104C	MECH									
104D	W/D									
104E	CLOSET									
104F	BEDROOM 1									
104G	BATHROOM									
104H	CLOSET									
104H	CLOSET									
104I	BATHROOM									
105	CORRIDOR									
106	WHITEBOX									
200	CORRIDOR									
201	MECH.									
202A	KITCHEN / LIVING									
202B	CLOSET									
202C	BATHROOM									
202D	W/D									
202E	CLOSET									
202F	BEDROOM									
203A	KITCHEN / LIVING									
203B	CLOSET									
203C	BATHROOM									
203D	W/D									
203E	CLOSET									
203F	BEDROOM									
204	MECH.									
205A	KITCHEN/LIVING									
205B	CLOSET									
205C	BEDROOM									
205D	CLOSET									
205E	W/D									
205F	BATHROOM									
205G	CLOSET									
205H	CLOSET									
206A	KITCHEN / LIVING									
206B	CLOSET									
206C	BEDROOM 1									
206D	CLOSET									
206E	CLOSET									
206F	BEDROOM 2									
206G	HALF BATH									
206H	BATHROOM									
206I	W/D									
300	CORRIDOR									
301	MECH									
302A	KITCHEN / LIVING									
302B	CLOSET									
302C	BATHROOM									
302D	W/D									
302E	CLOSET									
302F	CLOSET									
302G	BEDROOM									
303A	KITCHEN / LIVING									
303B	CLOSET									
303C	BATHROOM									
303D	BEDROOM									
303E	CLOSET									
303F	CLOSET									
303F	CLOSET									
303G	W/D									
304	MECH									
305A	KITCHEN / LIVING									
305B	CLOSET									
305C	W/D									
305D	BEDROOM									
305E	CLOSET									
305F	BATHROOM									
306A	KITCHEN / LIVING									
306B	BEDROOM 1									
306C	CLOSET									
306D	BEDROOM 2									
306E	CLOSET									
306F	CLOSET									
306G	W/D									
306H	BATHROOM									
306I	CLOSET									
S1	STAIRS									
S2	STAIRS									

## GENERAL NOTES

- PROJECT NORTH FOR ALL FINISH PLANS SHALL BE LOCATED AT THE TOP OF THE DRAWING AREA, UNLESS OTHERWISE NOTED.**
- CONTRACTOR SHALL SUBMIT SAMPLES OF ALL SPECIFIED FINISH MATERIALS FOR SUBMITTAL REVIEW AND FINAL APPROVAL PRIOR TO ORDERING AND INSTALLATION.
- ALL FURNITURE SHOWN ON PLANS IS FOR REFERENCE. SCALE, SPACE PLANNING AND ELECTRICAL/DATA CONNECTION LOCATION PURPOSES, ONLY. ALL FURNITURE (INCLUDING SPECIALTY ITEMS, SUCH AS DISPLAY CASES) SPECIFICATION, SELECTION, PROCUREMENT AND INSTALLATION SHALL NOT BE PART OF SCOPE OF WORK FOR BUILDING CONTRACTOR.
- PRIME AND PAINT ALL SURFACES WITH A MINIMUM (2) FINISH COATS.**  
**SUBSTRATES:**  
**PAINT SYSTEMS:**  
**PRIME COAT:**  
**INTERMEDIATE COAT:**  
**TOPCOAT:**
- AS NOTATED ON FINISH PLANS, CONTRACTOR TO PROVIDE AND INSTALL GLAZED CERAMIC WALL TILE (WITH CERAMIC TILE BASE) FROM FLOOR TO CEILING AT 'WET WALL' LOCATIONS. GROUT FOR ALL TILE INSTALLATIONS SHALL BE TEC POWER GROUT OR APPROVED EQUAL. REFER TO MATERIAL SELECTION SCHEDULE FOR TILE STYLE/ COLOR AND GROUT COLOR.**
- FLOORS**  
AFTER DEMOLITION OF ALL NOTED EXISTING FLOORING, CONTRACTOR SHALL GRIND CONCRETE OR REPAIR/REPLACE SUBFLOOR AS REQUIRED TO PROVIDE A LEVEL, SMOOTH SURFACE FOR INSTALLATION OF ALL NEW FLOORING PRODUCTS. CONTRACTOR TO INSTALL ALL NEW FLOORING PRODUCTS PER MANUFACTURERS RECOMMENDATIONS.
- FOR PROJECTS THAT HAVE CONCRETE SLAB ON GRADE AS EXISTING CONDITIONS OR NEW POUR, CONTRACTOR SHALL CONDUCT REQUIRED MOISTURE TESTS PRIOR TO INSTALLATION OF ALL SPECIFIED NEW FLOOR FINISH MATERIALS. **RECORD PASSING MOISTURE LEVELS PRIOR TO START OF INSTALLATION. REFERENCE MANUFACTURERS INSTALLATION SPECIFICATIONS FOR EACH FLOOR FINISH TYPE TO VERIFY REQUIREMENTS**
- CONTRACTOR TO PROVIDE AND INSTALL ALL REQUIRED TRANSITIONS STRIPS, AS DETAILED ON FINISH PLANS. ALL FLOORING TRANSITIONS/ TRANSITION STRIPS SHALL BE CENTERED UNDER DOORS WHEN THEY ARE IN THE CLOSED POSITION OR CENTERED BETWEEN ROOM OPENINGS, UNLESS OTHERWISE NOTED. CONTRACTOR SHALL UTILIZE ANY NECESSARY AMOUNT OF LEVELING COMPOUND AT ALL UNEVEN SUBFLOOR CONDITIONS SO THAT THE APPROPRIATE HEIGHT TO ENSURE A FLUSH AND EVEN TRANSITION BETWEEN ADJACENT FLOOR MATERIALS IS ACHIEVED AND MAINTAINED THROUGHOUT ROOM. REFER TO MATERIAL FINISH SCHEDULE FOR SPECIFIED TRANSITION STRIP MANUFACTURER, STYLE/ TYPE AND COLOR/ FINISH.
- WALL BASE**  
FOR INTEGRAL COVE BASE (SHEET VINYL) INSTALLATIONS, CONTRACTOR SHALL NOT PROVIDE METAL CORNER PIECES FOR OUTSIDE OR INSIDE CORNERS. CONTRACTOR TO PROVIDE AND INSTALL METAL CHANNEL CAP FOR EXPOSED TOP EDGE OF SHEET VINYL BASE.
- IN ROOMS THAT SPECIFY RUBBER OR VINYL WALL BASE, CONTRACTOR SHALL PROVIDE CONTINUOUS LENGTH OF WALL BASE WITH FIELD-FORMED INSIDE AND OUTSIDE CORNERS, UNLESS OTHERWISE NOTED.
- WALLS**  
ANY REQUIRED WALL PROTECTION SHALL BE INSTALLED AT TOP OF BASE AND TERMINATE AT \_\_\_" AFF UNLESS NOTED OTHERWISE. PROVIDE AND INSTALL ALL NECESSARY TRIM PIECES REQUIRED FOR ANY WALL PROTECTION PRODUCTS.
- CONTRACTOR TO PAINT ALL BULKHEADS TO MATCH SURROUNDING WALL PAINT SELECTION ON FACE AND UNDERSIDE OF EACH BULKHEAD, UNLESS NOTED OTHERWISE
- CEILING**  
CONTRACTOR TO PAINT ALL BULKHEADS TO MATCH SURROUNDING WALL PAINT SELECTION ON FACE AND UNDERSIDE OF EACH BULKHEAD, UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL PAINT ANY EXPOSED CONDUIT, PIPING, JUNCTION BOXES, DUCTWORK AND OTHER EXPOSED UTILITIES AT EXPOSED CEILING LOCATIONS. PAINT SHALL FOR THESE EXPOSED ITEMS SHALL MATCH SPECIFIED CEILING PAINT, OTHER THAN IN MECHANICAL AND ELECTRICAL ROOMS U.N.O. DRYFALL NOTE - SPEC**
- MILLWORK**  
CONTRACTOR TO PROVIDE AND INSTALL DOOR AND DRAWER PULLS FOR SPECIFIED CABINERY. PULLS FOR CABINERY SHALL BE \_\_\_ - BASIS OF DESIGN. ALL WALL CABINET PULLS SHALL BE INSTALLED VERTICALLY, MOUNTED TO THE LATCH SIDE OF WALL CABINET DOORS. CENTER OF DRAWERS (U.N.O.) ALL DRAWER PULLS ARE SHOWN FOR REFERENCE ONLY AND IS NOT AN INDICATION OF EXACT MOUNTING LOCATION.
- CONTRACTOR TO PROVIDE AND INSTALL GROMMETS AS SPECIFIED ON FINISH PLANS. GROMMETS SHALL BE (DOUG MOCKEIT - BASIS OF DESIGN). VERIFY/ REVIEW ALL GROMMET LOCATIONS WITH OWNER PRIOR TO INSTALLATION.
- FOR ALL EXPOSED METAL COUNTERTOP SUPPORTS, CONTRACTOR TO PAINT IN FIELD WITH SAME PAINT COLOR AS SURROUNDING WALL FINISH. PAINT SHALL BE AN ALKYD WITH SEMI-GLOSS FINISH, UNLESS OTHERWISE NOTED.
- ALL EXPOSED METAL ELEC./MECH. ITEMS IN OCCUPIED SPACES TO BE FIELD-PAINTED TO MATCH SURROUNDING WALL FINISH. ALL ELECTRICAL PLUGS, SWITCHES AND CORRESPONDING COVERPLATES SHALL BE \_\_\_\_\_, - SPEC**
- MISC.**  
CONTRACTOR TO PROVIDE AND INSTALL NOTED WINDOW FILMS (WF-1) ON ALL GLAZING FROM \_\_\_" AFF TO A HEIGHT OF \_\_\_" AFF. SEE ELEVATIONS AND WALL FINISH PLAN FOR EXACT LOCATIONS
- ALL SOLID SURFACE, GRANITE OR OTHER NATURAL STONE SURFACES (COUNTERTOPS, BACKSPALSHES, WINDOW SILLS, ETC.) SHALL HAVE FINISHED EASED EDGES**
- ALL CONCEALED SUPPORT BRACKETS FOR SHELVING AND WALL MOUNTED COUNTERTOPS TO BE A&M HARDWARE C/EC FLAT CONCEALED BRACKETS IN APPROPRIATE SIZE - BASIS OF DESIGN (COMBINE WITH OTHER SUPPORT BRACKET NOTE)
- PROVIDE A SMOOTH LEVEL 4 DRYWALL FINISH ON ALL GYPSUM WALLS U.N.O.
- ALL JANITOR CLOSETS OR ROOMS WITH A MOP SINK OR SERVICE SINK SHALL HAVE FIBER REINFORCED PANEL (FRP) INSTALLED FROM TOP OF WALL BASE TO 4'-0" A.F.F. WITHIN 4' OF SINK FIXTURE.

- TABLE 803.11 INTERIOR WALL AND CEILING FINISH REQUIREMENTS**  
**INTERIOR WALL & CEILING FINISHES**  
EXIT ENCLOSURE AND PASSAGEWAY CLASS B / SMOKE-DEVELOPED INDEX 0-450 / FLAME SPREAD 26-75  
CORRIDORS CLASS C / SMOKE-DEVELOPED INDEX 0-450 / FLAME SPREAD 76-200  
ROOMS AND ENCLOSED SPACES C / SMOKE-DEVELOPED INDEX 0-450 / FLAME SPREAD 76-200
- INTERIOR FINISH FLOOR REQUIREMENTS**  
**INTERIOR WALL & CEILING FINISHES**  
EXIT ENCLOSURE AND PASSAGEWAY CLASS II / WATTS / CM2 .22 OR GREATER  
CORRIDORS CLASS II / WATTS / CM2 .22 OR GREATER  
ROOMS AND ENCLOSED SPACES CLASS II / WATTS / CM2 .22 OR GREATER

### FINISH PLAN LEGEND

- — — — — FINISH 1
- • — • — • — FINISH 2
- • • • — FINISH 3
- • • • — FINISH 4
- • • • • — FINISH 5



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211 + 213 E MICHIGAN AVE  
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211 + 213 E MICHIGAN AVE, MARSHALL, MI

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DATE: 12/16/2024 3:10:36 PM  
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PROJECT NUMBER  
2024.125

FINISH SCHEDULE  
**A140**

**GENERAL NOTES**

- PROJECT NORTH FOR ALL FINISH PLANS SHALL BE LOCATED AT THE TOP OF THE DRAWING AREA, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL SUBMIT SAMPLES OF ALL SPECIFIED FINISH MATERIALS FOR SUBMITTAL REVIEW AND FINAL APPROVAL PRIOR TO ORDERING AND INSTALLATION.
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- PRIME AND PAINT ALL SURFACES WITH A MINIMUM (2) FINISH COATS.**  
**SUBSTRATES:**  
**PAINT SYSTEMS:**  
 PRIME COAT:  
 INTERMEDIATE COAT:  
 TOPCOAT:

- AS NOTATED ON FINISH PLANS, CONTRACTOR TO PROVIDE AND INSTALL GLAZED CERAMIC WALL TILE (WITH CERAMIC TILE BASE) FROM FLOOR TO CEILING AT WET WALL LOCATIONS. GROUT FOR ALL TILE INSTALLATIONS SHALL BE TEC POWER GROUT OR APPROVED EQUAL. REFER TO MATERIAL SELECTION SCHEDULE FOR TILE STYLE/ COLOR AND GROUT COLOR.
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- FOR PROJECTS THAT HAVE CONCRETE SLAB ON GRADE AS EXISTING CONDITIONS OR NEW POUR, CONTRACTOR SHALL CONDUCT REQUIRED MOISTURE TESTS PRIOR TO INSTALLATION OF ALL SPECIFIED NEW FLOOR FINISH MATERIALS. **RECORD PASSING MOISTURE LEVELS PRIOR TO START OF INSTALLATION. REFERENCE MANUFACTURERS INSTALLATION SPECIFICATIONS FOR EACH FLOOR FINISH TYPE TO VERIFY REQUIREMENTS**

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- WALL BASE**  
 FOR INTEGRAL COVE BASE (SHEET VINYL) INSTALLATIONS, CONTRACTOR SHALL NOT PROVIDE METAL CORNER PIECES FOR OUTSIDE OR INSIDE CORNERS. CONTRACTOR TO PROVIDE AND INSTALL METAL CHANNEL CAP FOR EXPOSED TOP EDGE OF SHEET VINYL BASE.
- IN ROOMS THAT SPECIFY RUBBER OR VINYL WALL BASE, CONTRACTOR SHALL PROVIDE CONTINUOUS LENGTH OF WALL BASE WITH FIELD-FORMED INSIDE AND OUTSIDE CORNERS, UNLESS OTHERWISE NOTED.

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- FOR ALL EXPOSED METAL COUNTERTOP SUPPORTS, CONTRACTOR TO PAINT IN FIELD WITH SAME PAINT COLOR AS SURROUNDING WALL FINISH. PAINT SHALL BE AN ALKYD WITH SEMI-GLOSS FINISH, UNLESS OTHERWISE NOTED.
- ALL EXPOSED METAL ELEC./MECH. ITEMS IN OCCUPIED SPACES TO BE FIELD-PAINTED TO MATCH SURROUNDING WALL FINISH. ALL ELECTRICAL PLUGS, SWITCHES AND CORRESPONDING COVERPLATES SHALL BE \_\_\_" - SPEC

- MISC.**  
 CONTRACTOR TO PROVIDE AND INSTALL NOTED WINDOW FILMS (WF-1) ON ALL GLAZING FROM \_\_\_" AFF TO A HEIGHT OF \_\_\_" AFF. SEE ELEVATIONS AND WALL FINISH PLAN FOR EXACT LOCATIONS

- ALL SOLID SURFACE, GRANITE OR OTHER NATURAL STONE SURFACES (COUNTERTOPS, BACKSPALSHES, WINDOW SILLS, ETC.) SHALL HAVE FINISHED EASED EDGES

- ALL CONCEALED SUPPORT BRACKETS FOR SHELVING AND WALL MOUNTED COUNTERTOPS TO BE A&M HARDWARE C/EC FLAT CONCEALED BRACKETS IN APPROPRIATE SIZE - BASIS OF DESIGN (COMBINE WITH OTHER SUPPORT BRACKET NOTE)

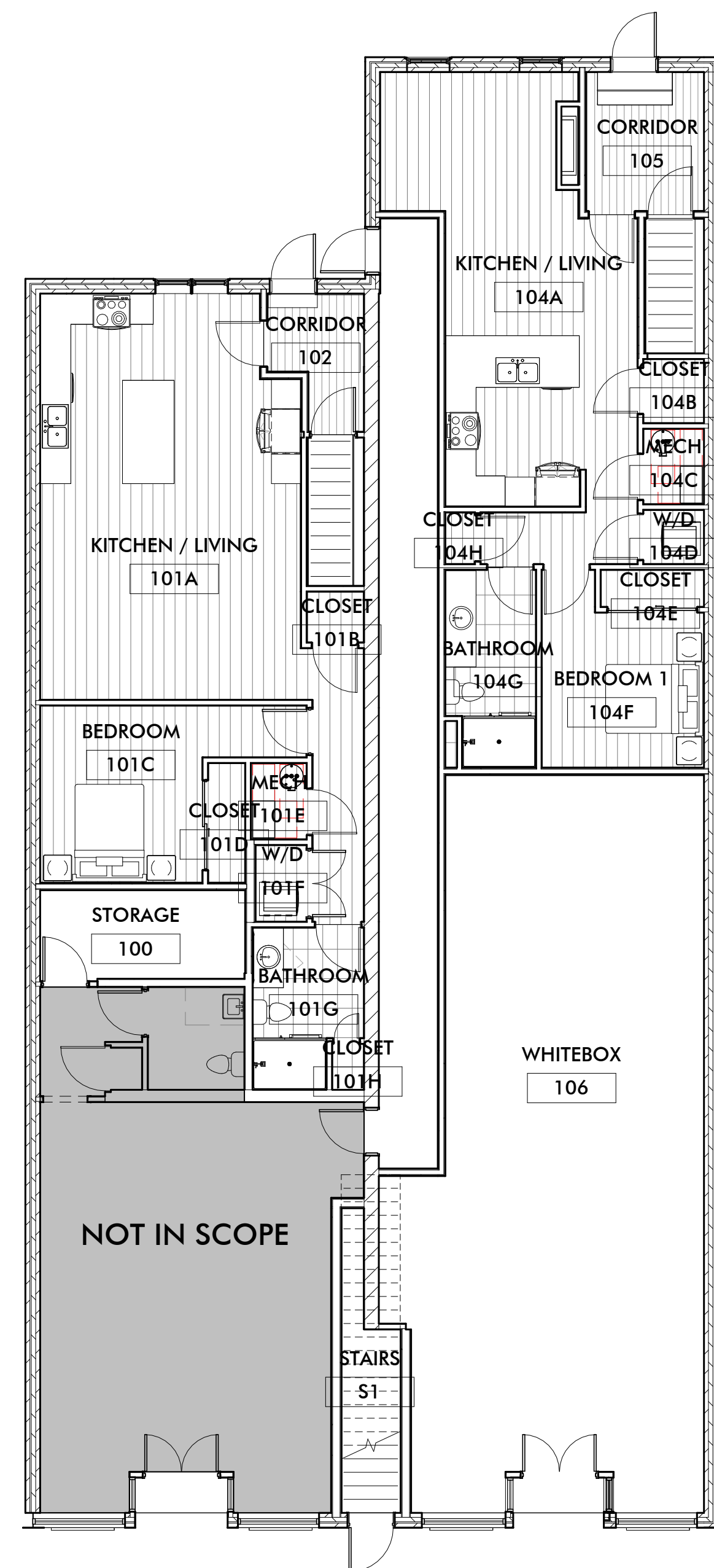
- PROVIDE A SMOOTH LEVEL 4 DRYWALL FINISH ON ALL GYPSUM WALLS U.N.O.
- ALL JANITOR CLOSETS OR ROOMS WITH A MOP SINK OR SERVICE SINK SHALL HAVE FIBER REINFORCED PANEL (FRP) INSTALLED FROM TOP OF WALL BASE TO 4'-0" A.F.F. WITHIN 4' OF SINK FIXTURE.

**TABLE 803.11 INTERIOR WALL AND CEILING FINISH REQUIREMENTS**  
**INTERIOR WALL & CEILING FINISHES**  
 EXIT ENCLOSURE AND PASSAGEWAY CLASS B / SMOKE-DEVELOPED INDEX 0-450 / FLAME SPREAD 26-75  
 CORRIDORS CLASS C / SMOKE-DEVELOPED INDEX 0-450 / FLAME SPREAD 76-200  
 ROOMS AND ENCLOSED SPACES C / SMOKE-DEVELOPED INDEX 0-450 / FLAME SPREAD 76-200

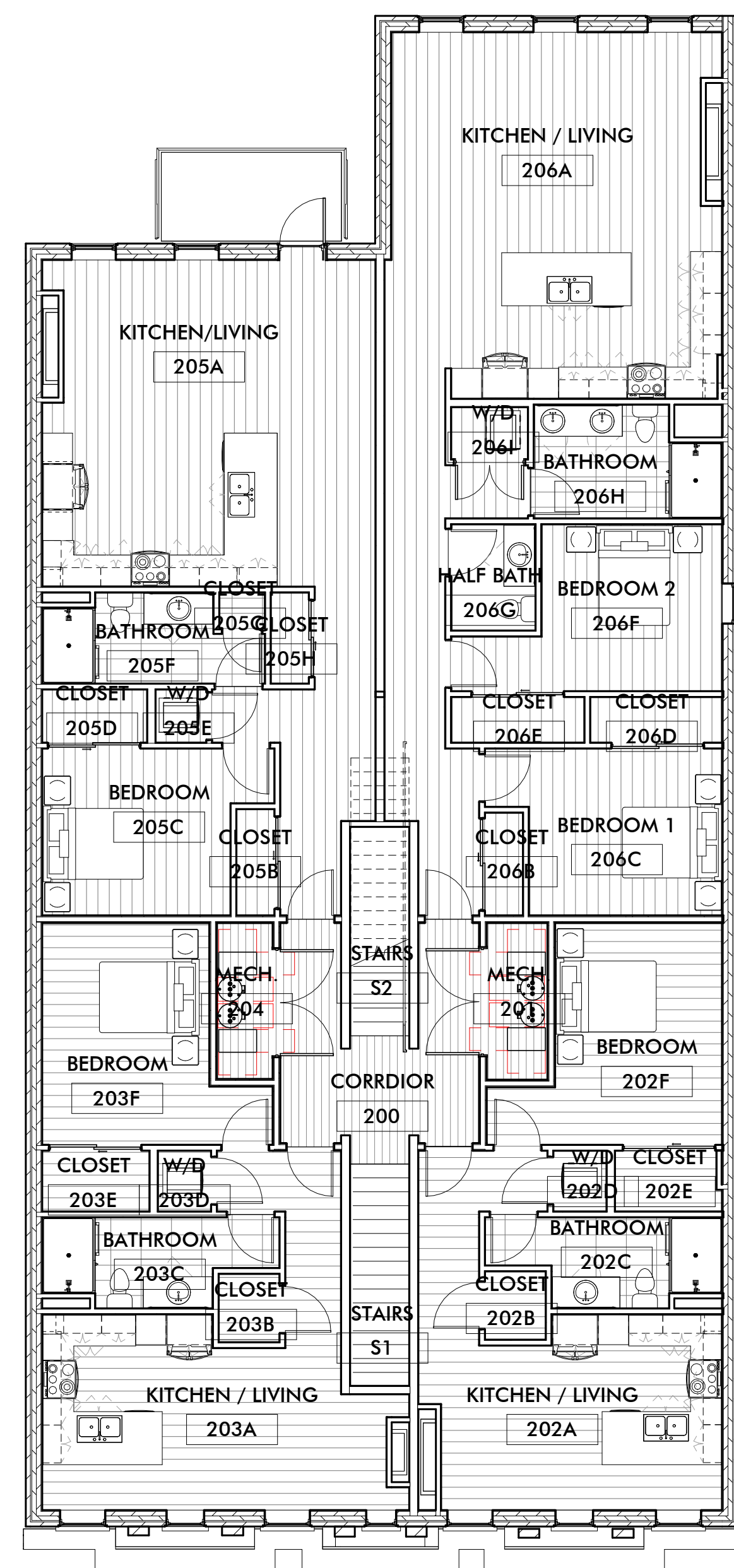
**INTERIOR FINISH FLOOR REQUIREMENTS**  
**INTERIOR WALL & CEILING FINISHES**  
 EXIT ENCLOSURE AND PASSAGEWAY CLASS II / WATTS / CM2 .22 OR GREATER  
 CORRIDORS CLASS II / WATTS / CM2 .22 OR GREATER  
 ROOMS AND ENCLOSED SPACES CLASS II / WATTS / CM2 .22 OR GREATER

**FINISH PLAN LEGEND**

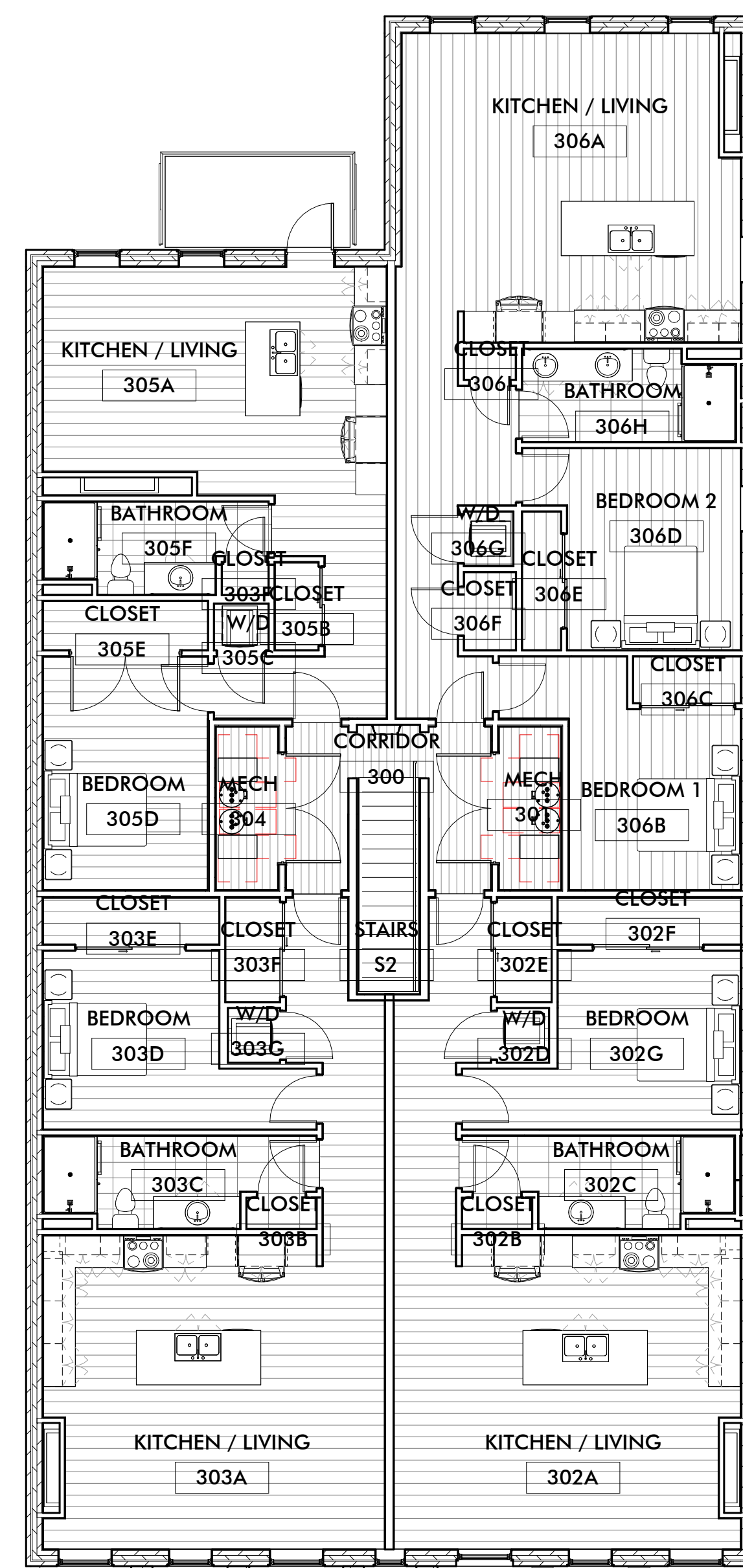
- FINISH 1
- FINISH 2
- FINISH 3
- FINISH 4
- FINISH 5



**1 FIRST FLOOR FINISH PLAN**  
 A141 1/8" = 1'-0"



**2 SECOND FLOOR FINISH PLAN**  
 A141 1/8" = 1'-0"



**3 THIRD FLOOR FINISH PLAN**  
 A141 1/8" = 1'-0"

ON ALL FINISH PLANS, NORTH IS TO BE ASSUMED DIRECTLY STRAIGHT UP ON THE FLOOR PLAN TO CORRELATE WITH WALL FINISH LOCATIONS

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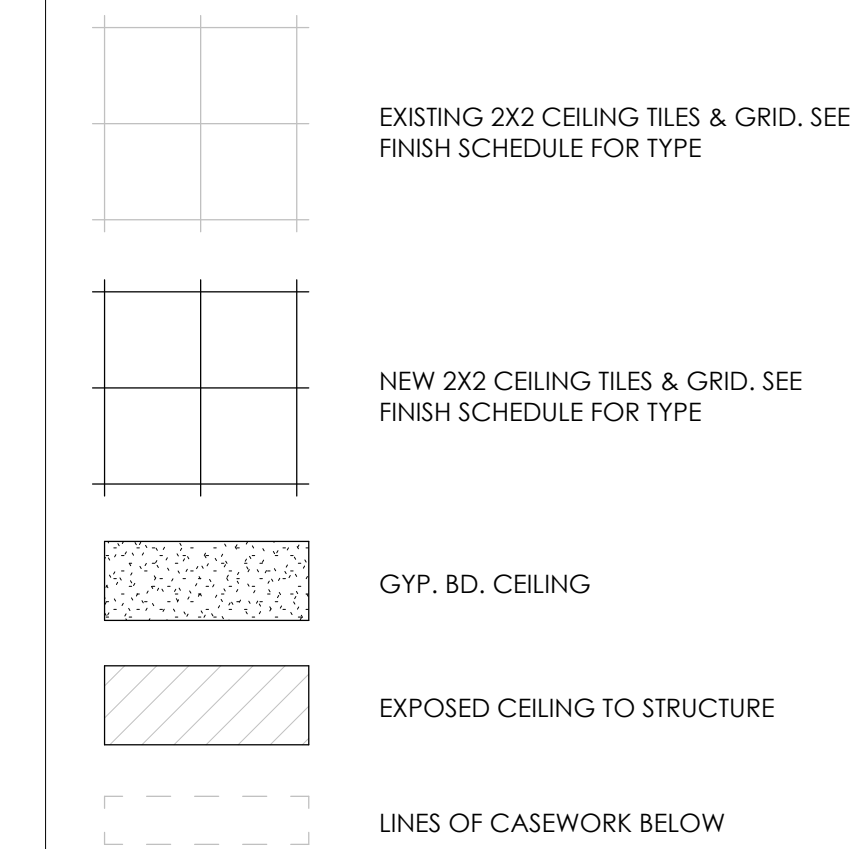
PROJECT NUMBER  
 2024.125

FINISH PLANS  
**A141**

**REFLECTED CEILING GENERAL NOTES**

1. ALL LIGHT SWITCHES SHALL BE SILENT TYPE, 20 AMP, WHITE COLOR WITH WHITE COVER PLATES.
2. ALL NEW LIGHT FIXTURES TO BE LED. FIXTURES AND LAYOUT ARE SHOWN SCHEMATICALLY.
3. ALL CEILING HEIGHTS TO BE \_\_\_\_\_ UNLESS NOTED OTHERWISE
4. IF CEILING HEIGHTS ARE NOT CALLED OUT, THEN THE CEILING IS EXISTING OR SHALL BE EXPOSED TO THE EXISTING STRUCTURE ABOVE. CONFIRM WITH ARCHITECT
5. COORDINATE LIGHT FIXTURE, MECHANICAL, PLUMBING, ALONG WITH ANY OTHER SYSTEMS AS REQUIRED TO NOT INTERFERE WITH ONE ANOTHER.
6. ALL LIGHT FIXTURES AND HVAC SHALL BE CENTERED IN ALL ROOMS, 2X2 CEILING GRIDS, CLOUDS OR BETWEEN OTHER ELEMENTS OR EQUALLY SPACED UNLESS NOTED OTHERWISE.
7. ALL 2X2 CEILING GRIDS TO BE CENTERED IN ROOM UNLESS NOTED OTHERWISE. NO PANEL SHALL BE LESS THAN 4" WIDE
8. SEE MEP PLANS FOR ADDITIONAL MECHANICAL, ELECTRICAL, AND PLUMBING NOTES.
9. REPLACE ANY CEILING TILES IN CEILINGS THAT ARE TO REMAIN.
10. ALL BULKHEAD HEIGHTS AT NON-CABINERY LOCATIONS TO BE \_\_\_\_\_ UNLESS NOTED OTHERWISE. REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL BULKHEAD HEIGHTS
11. REFER TO INTERIOR ELEVATIONS AND RCP FOR UNDER CABINET LIGHTING LOCATIONS.
12. REFER TO ROOM FINISH KEY AND SCHEDULE FOR ACP DESIGNATIONS
13. ALL DIMENSIONS ARE FROM CENTER LINE OF FIXTURE TO FINISHED FACE OF WALL
14. PATCH AND REPAIR EXISTING CEILING AS REQUIRED THAT WAS DISTURBED DURING DEMOLITION AND/OR NEW CONSTRUCTION ACTIVITIES. PATCH AND REPAIR TO MATCH EXISTING ADJACENT CONSTRUCTION, SUPPORT SYSTEM, CEILING FINISH, PATTERN AND ELEVATION.

**REFLECTED CEILING LEGEND**



**LIGHT FIXTURE LEGEND**

\*ALL FIXTURES SHOWN ARE TO BE A BASIS OF DESIGN. EQUAL EQUIVALENTS ARE ACCEPTED.

TAG	SYMBOL	MANUFACTURER & DESCRIPTION	MODEL / COLOR
A	○	LITHONIA 6" CYLINDER CAN LIGHT	LDN6 CYLINDER SERIES / BLACK IN COLOR
B	⊙	LITHONIA 6" RECESSED CAN LIGHT OR WALL WASH	LDN6 / COLOR TO MATCH CEILING
C	—	BEACH LIGHTING ULTRA SLIM LED UNDERCABINET LIGHT	BEA380917 / BLACK IN COLOR
D	~	POWERLED SURFACE UNDERCABINET PUCK LIGHT	DL5472984 / BLACK IN COLOR
E	○	LITHONIA HIGH BAY LED LIGHT FIXTURE	JCBL / SILVER IN COLOR
F	⊞	BROAN EXHAUST FAN WITH LED LIGHT, 110 CFM	NUTONE FLEX SERIES / WHITE IN COLOR
G	⊞	LITHONIA EMERGENCY LIGHT	ELM6L / WHITE IN COLOR
H	⊞	LITHONIA EXIT-UNIT COMBO	LHQM LED / WHITE IN COLOR
I	⊞	BROWNLEE LIGHTING VANITY LIGHT	FLOW SQ / SILVER IN COLOR
J	▀	LITHONIA LED FLAT PANEL 2'X2' OR 2'X4' LED FIXTURE	CPX / WHITE IN COLOR
K	—	MARK ARCHITECTURAL LIGHTING, 4' LED RECESSED STRIP LIGHT	SLOT 4 RECESSED / COLOR TO MATCH CEILING
L	⊞	BIG ASS FANS FAN WITH LIGHT	HAIKU L / BLACK IN COLOR
M	—	FOCAL POINT. SEEM 1 SUSPENDED LED DIRECT/ INDIRECT	FSM1BS/ BLACK IN COLOR

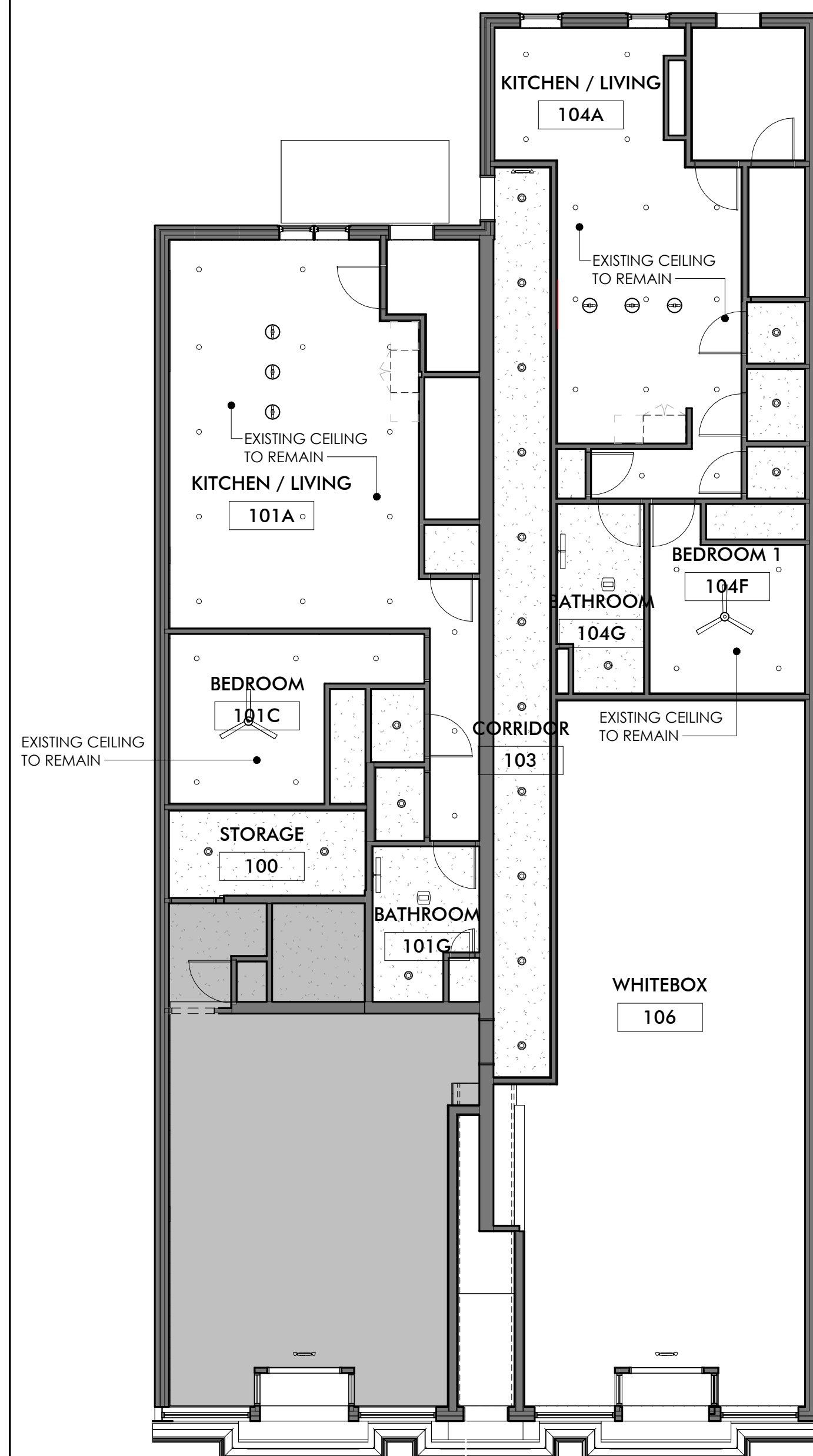
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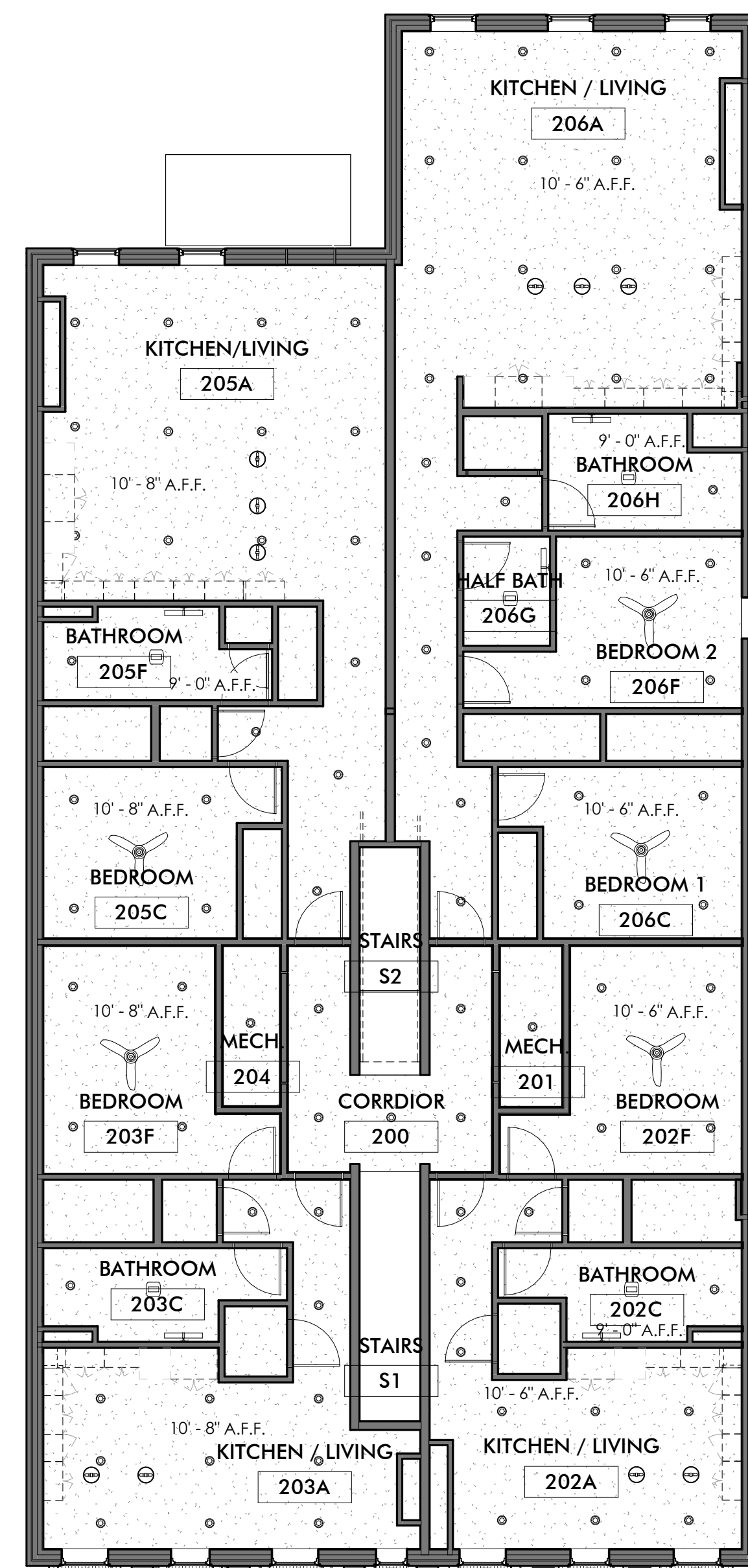
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 REFLECTED CEILING PLANS

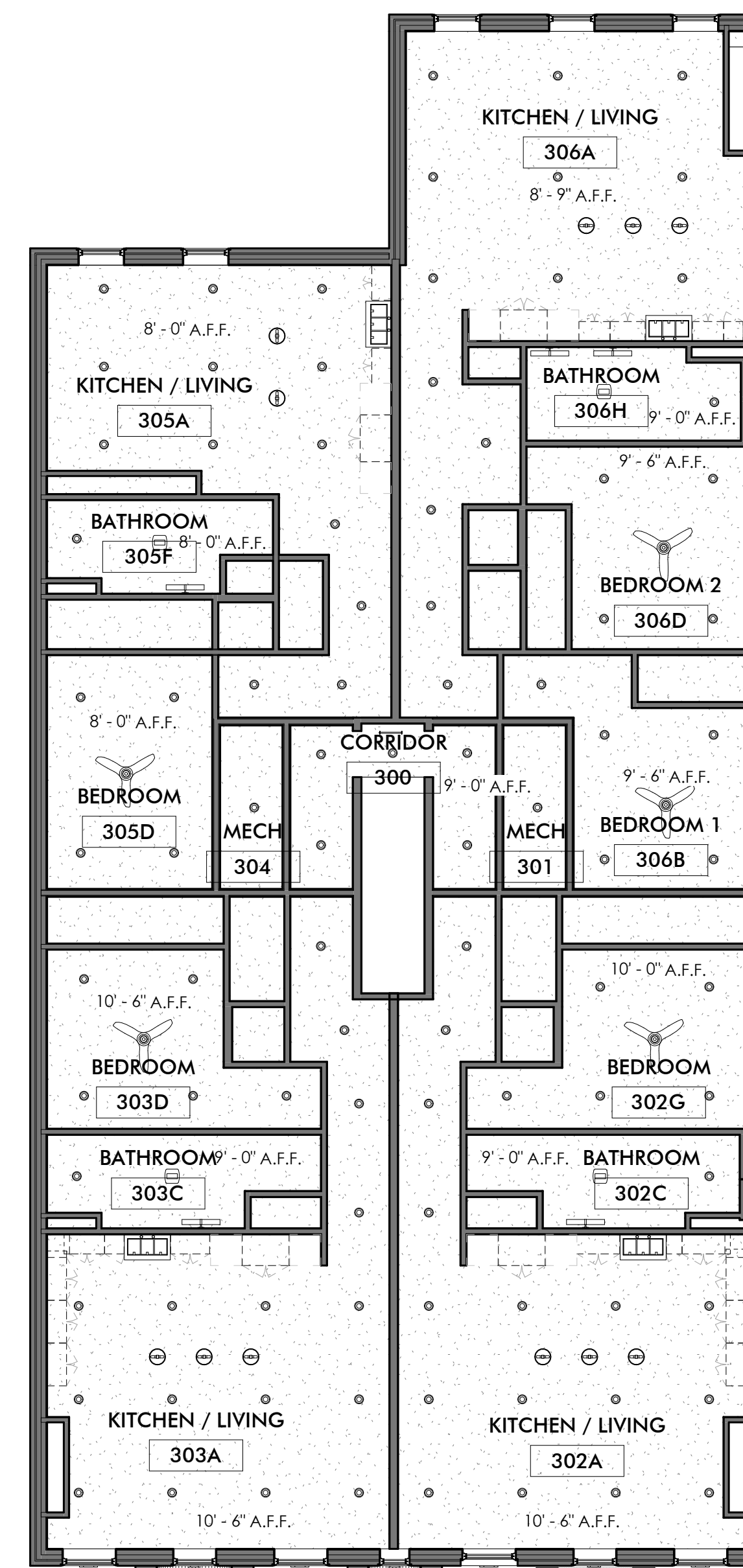
**A200**



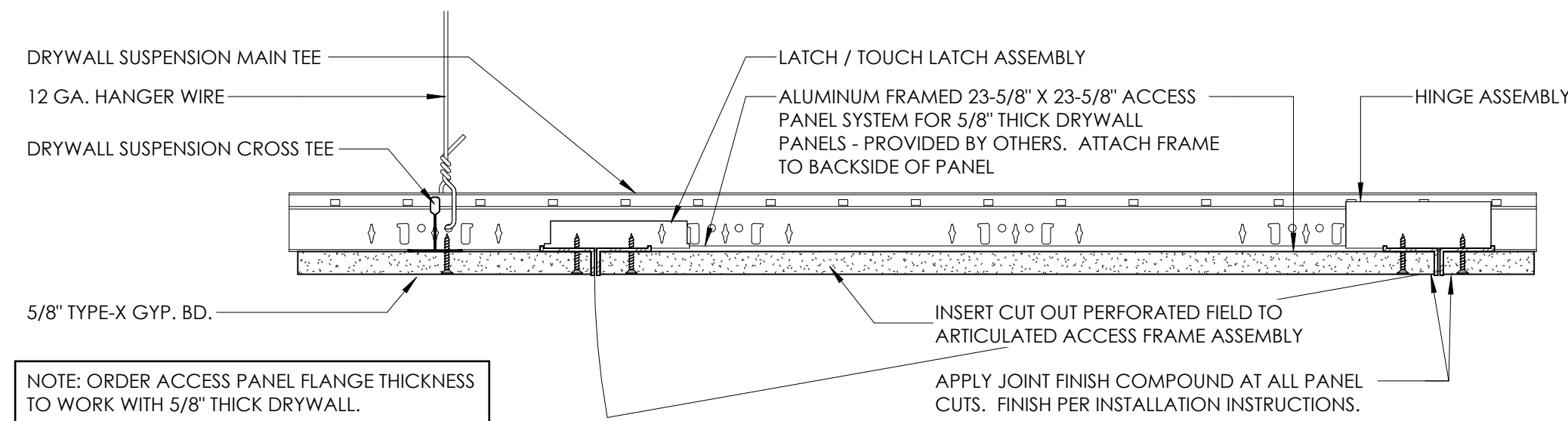
**1 FIRST FLOOR REFLECTED CEILING PLAN**  
 A200 1/8" = 1'-0"



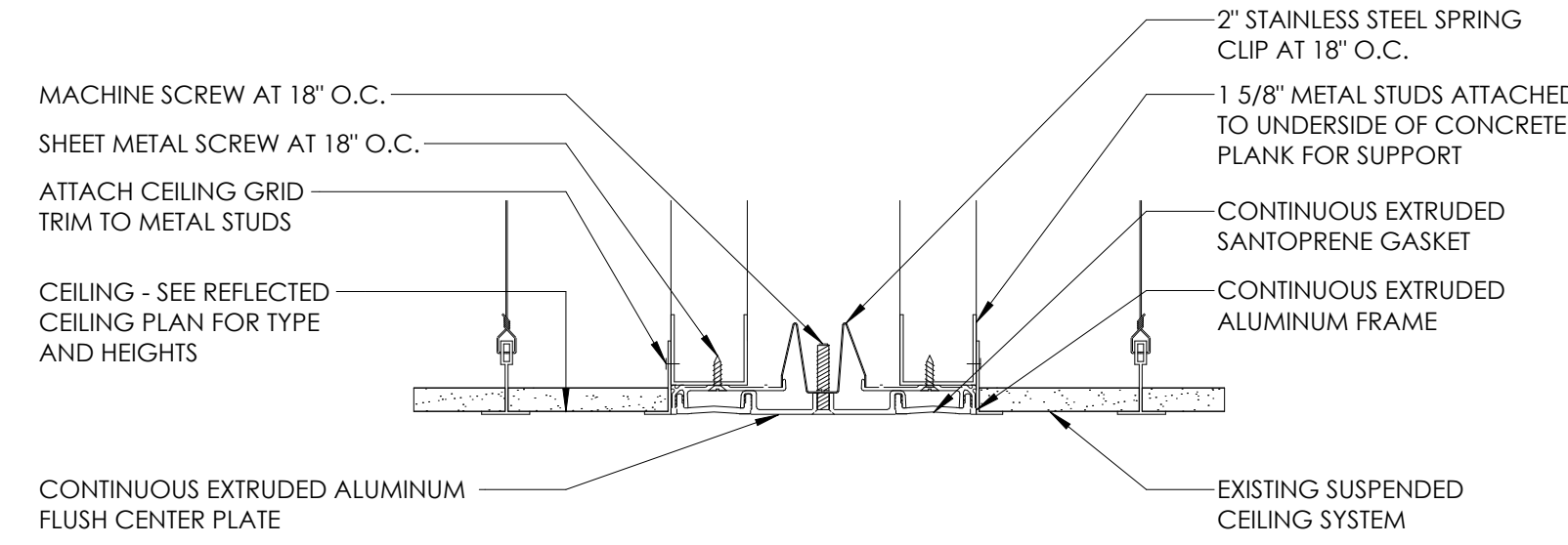
**2 SECOND FLOOR REFLECTED CEILING PLAN**  
 A200 1/8" = 1'-0"



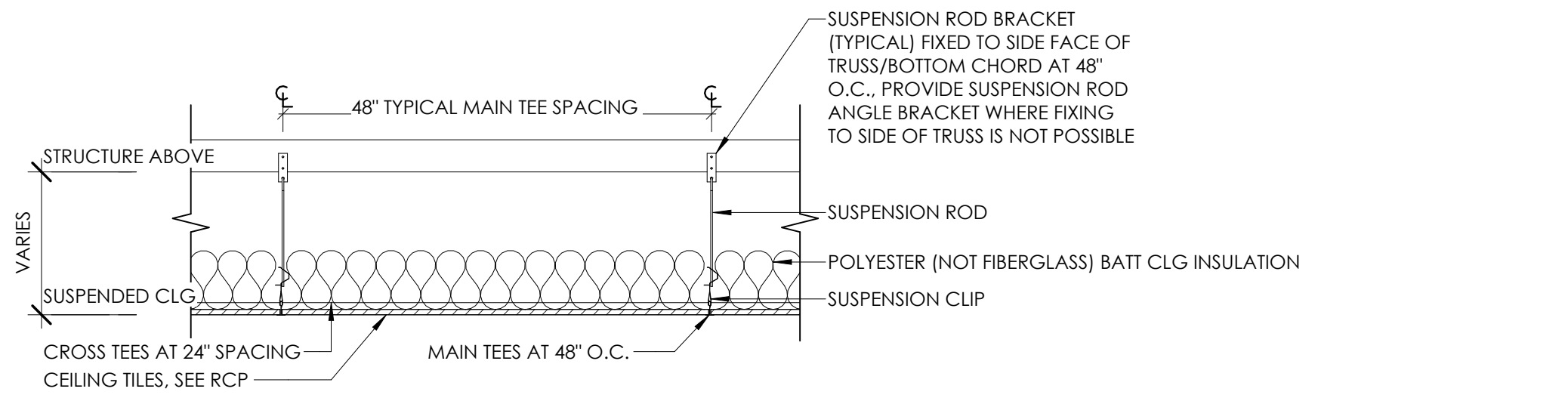
**3 THIRD FLOOR REFLECTED CEILING PLAN**  
 A200 1/8" = 1'-0"



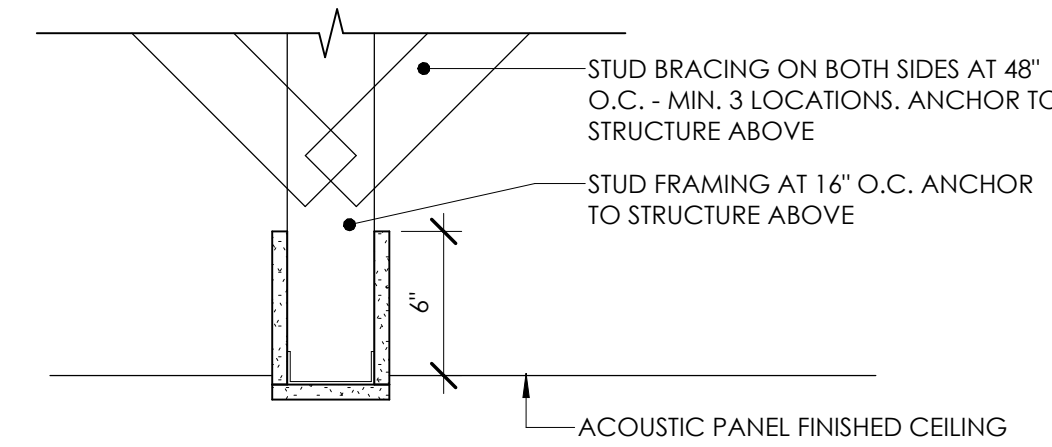
**1 ACCESS PANEL DETAIL**  
 A210 / 3" = 1'-0"



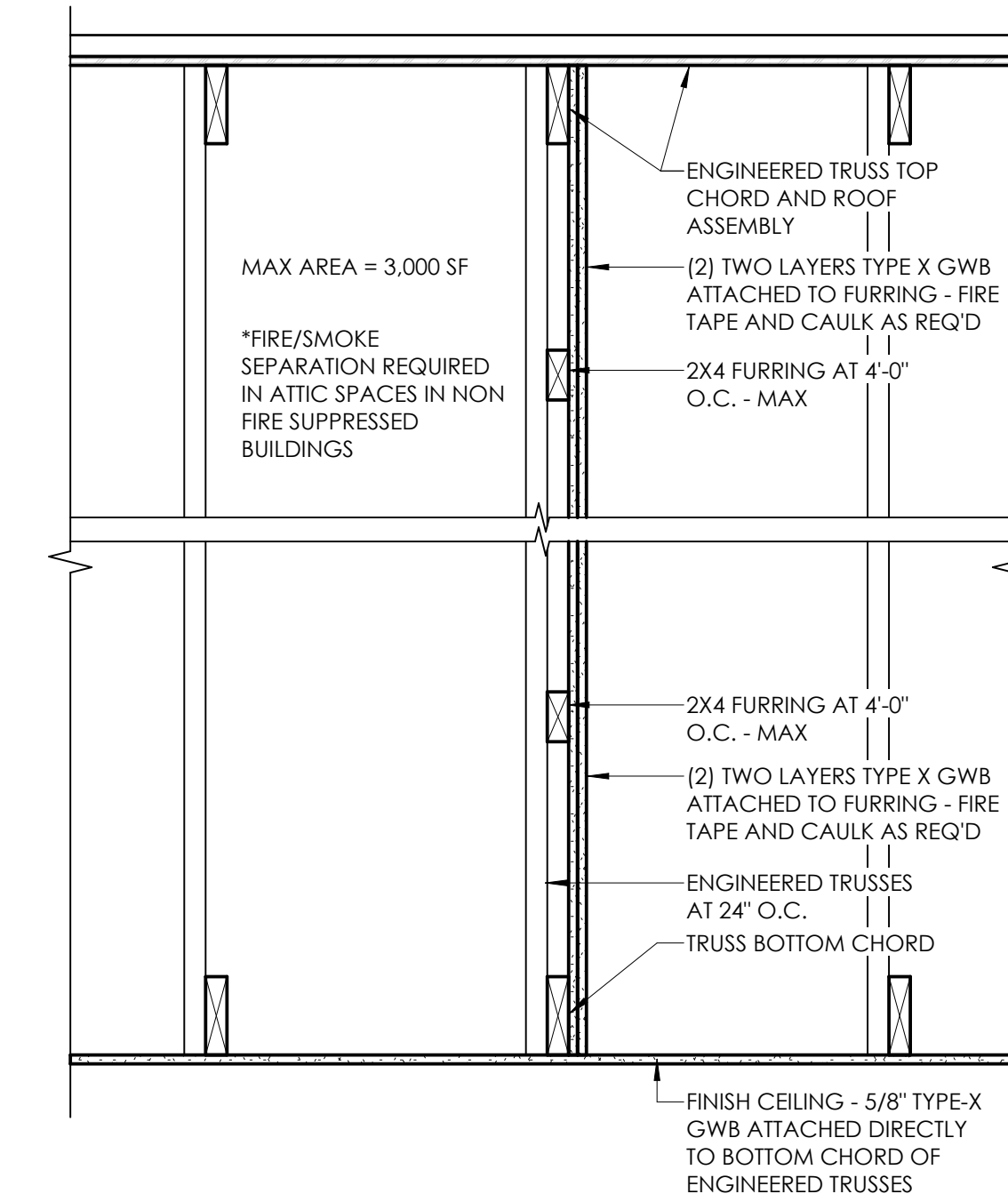
**8 EXPANSION JOINT ACP CEILING**  
 A210 / 3" = 1'-0"



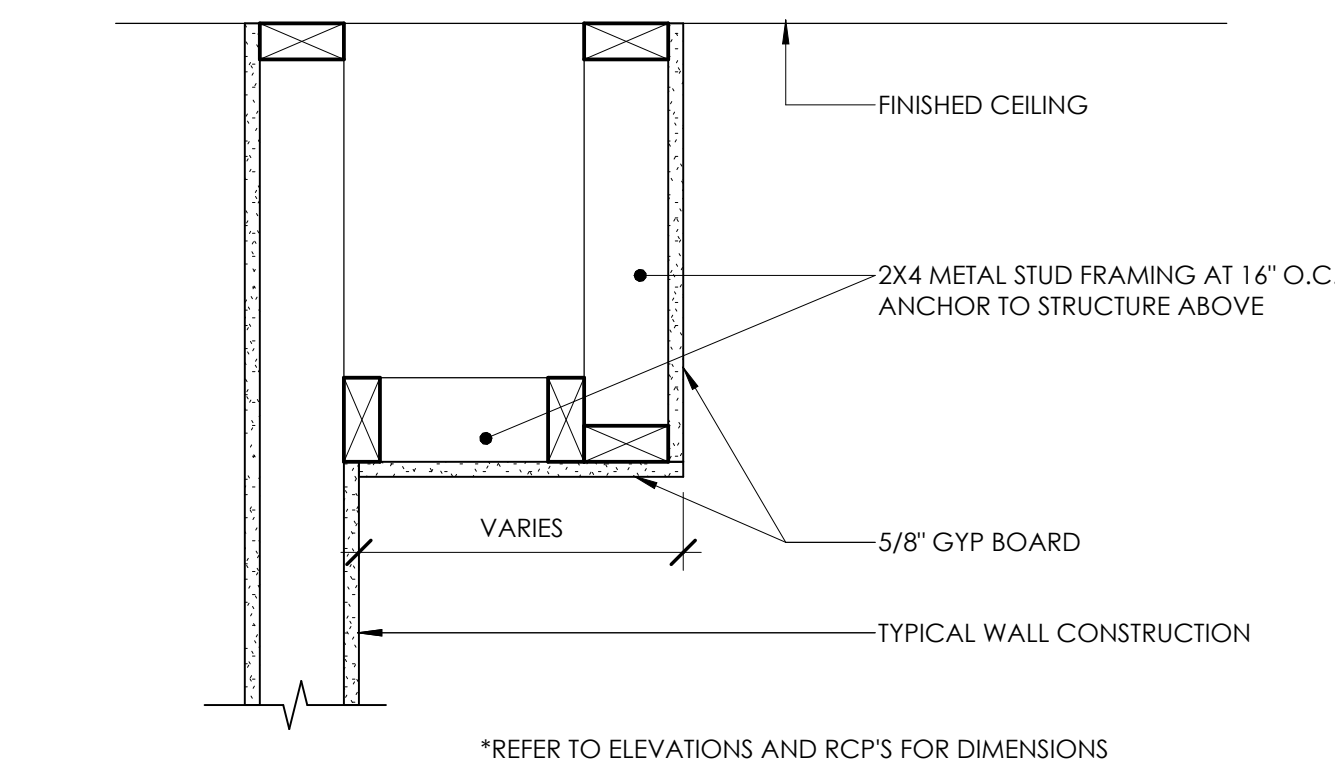
**4 TYPICAL SUSPENDED CEILING**  
 A210 / 1 1/2" = 1'-0"



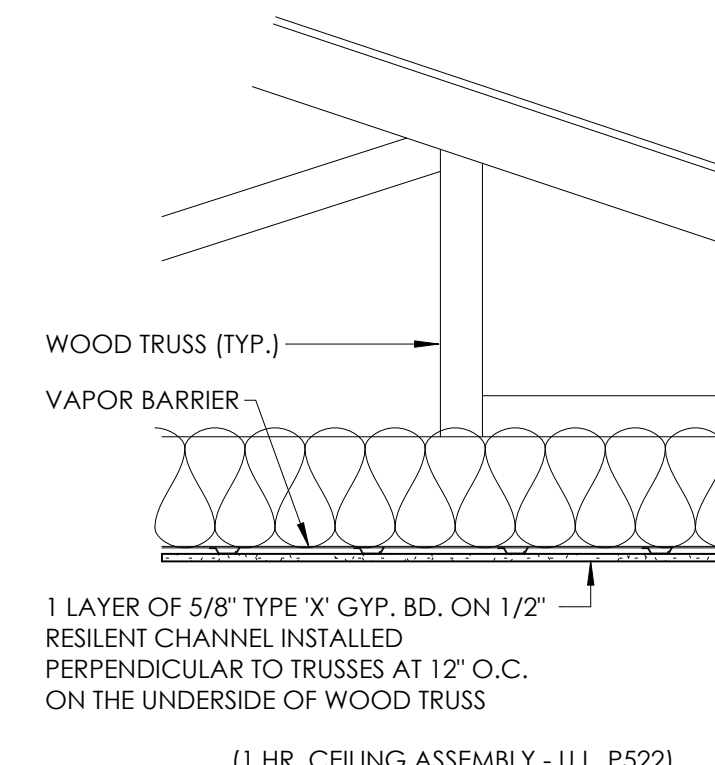
**5 BULKHEAD**  
 A210 / 1 1/2" = 1'-0"



**10 ATTIC SEPARATION DETAIL**  
 A210 / 1" = 1'-0"



**7 BULKHEAD - WOOD STUD**  
 A210 / 1 1/2" = 1'-0"



**9 RATED CEILING DETAIL**  
 A210 / 3/4" = 1'-0"

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**CEILING DETAILS**  
**A210**

**GENERAL NOTES**

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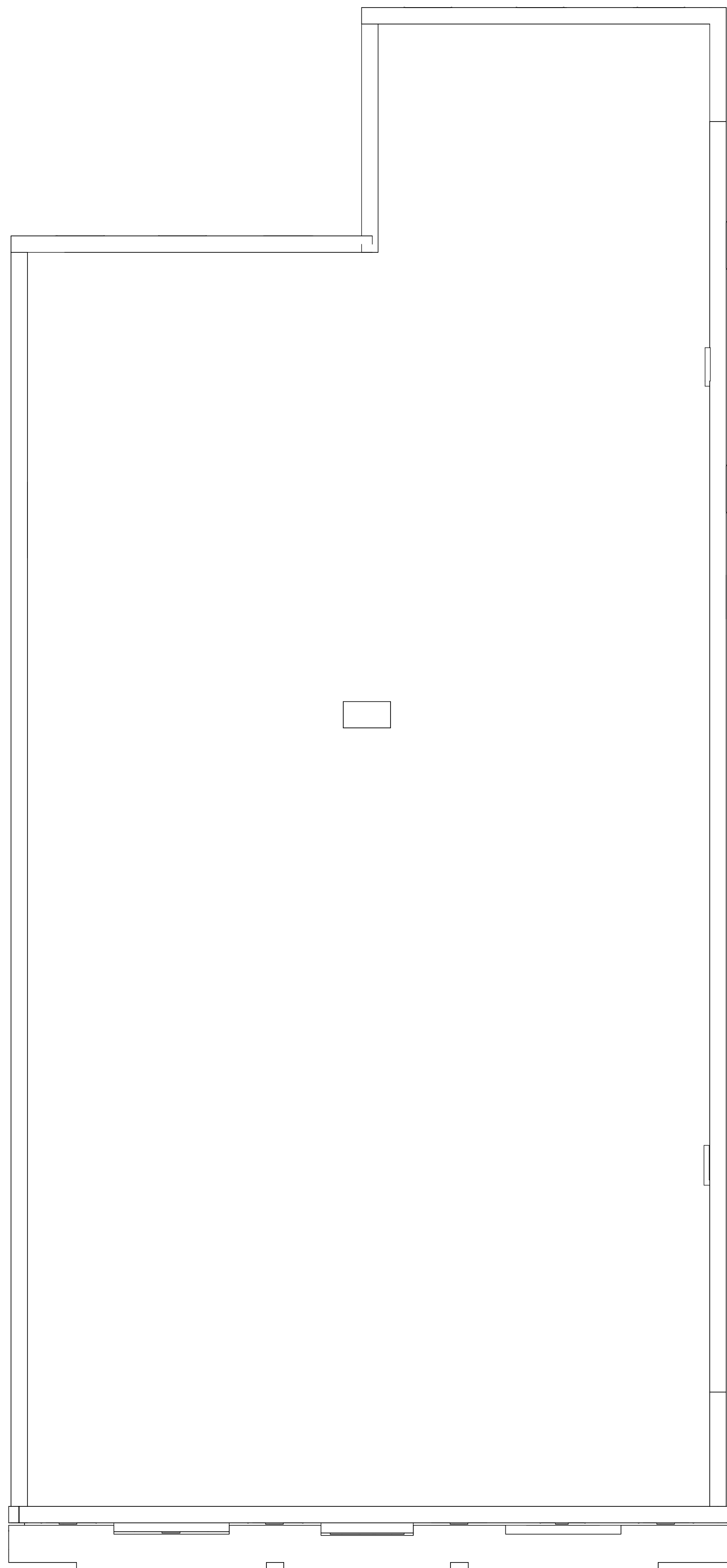
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**ROOF PLAN**  
**A220**



**1 ROOF PLAN**  
 A220 3/16" = 1'-0"

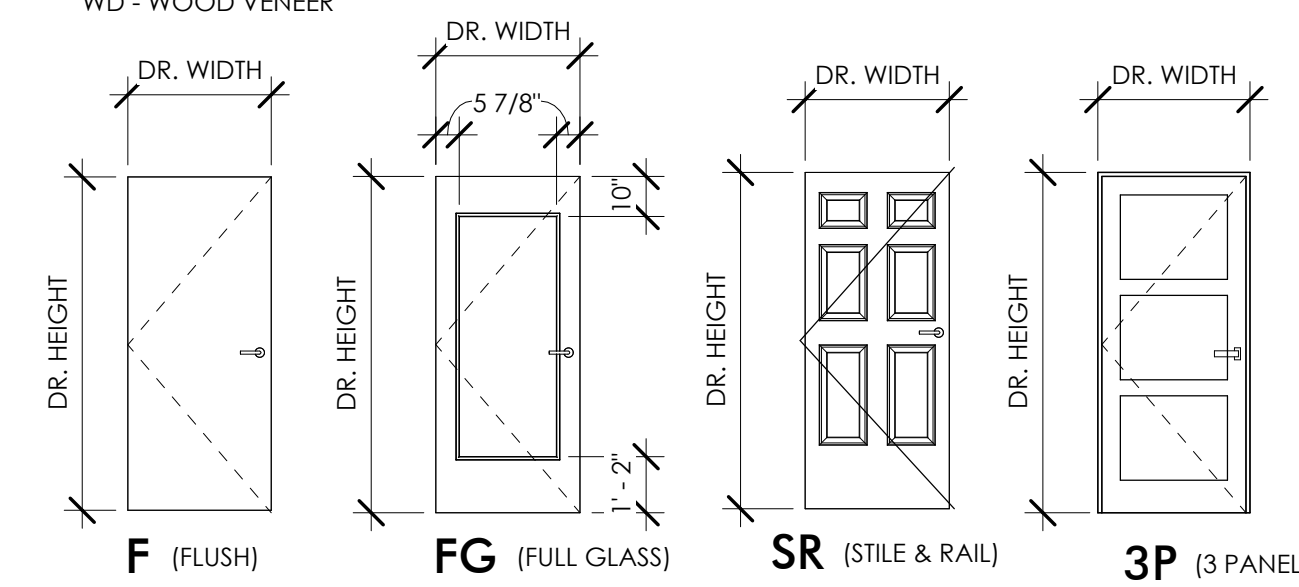


**ABBREVIATIONS**

WOOD - WOOD VENEER ON SOLID CORE WOOD DOOR  
 H.M. - HOLLOW METAL  
 PT - INTERIOR PAINT SYSTEM  
 EXIST - EXISTING  
 ALUM - ALUMINUM  
 FS - ROLLING FIRE SHUTTER  
 SCD - SOLID CORE DOOR  
 AE - AUTOMATIC ENTRY DOORS  
 WD - WOOD VENEER

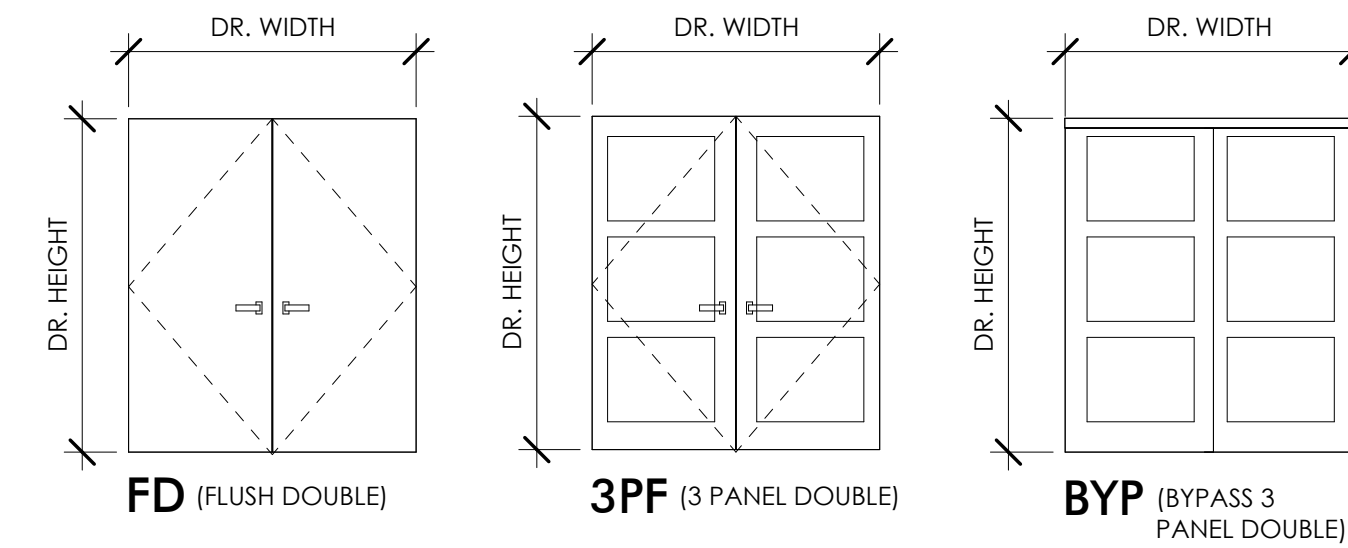
**GENERAL NOTES**

1. REFER TO DOOR SCHEDULE FOR HEIGHTS, WIDTHS AND GLAZING TYPES.
2. ALL HARDWARE TO BE ADA COMPLIANT LEVER HARDWARE.
3. ALL EXTERIOR AND RATED DOORS ARE TO HAVE ADA COMPLIANT SILLS WITH MAX THRESHOLDS OF 1/2"



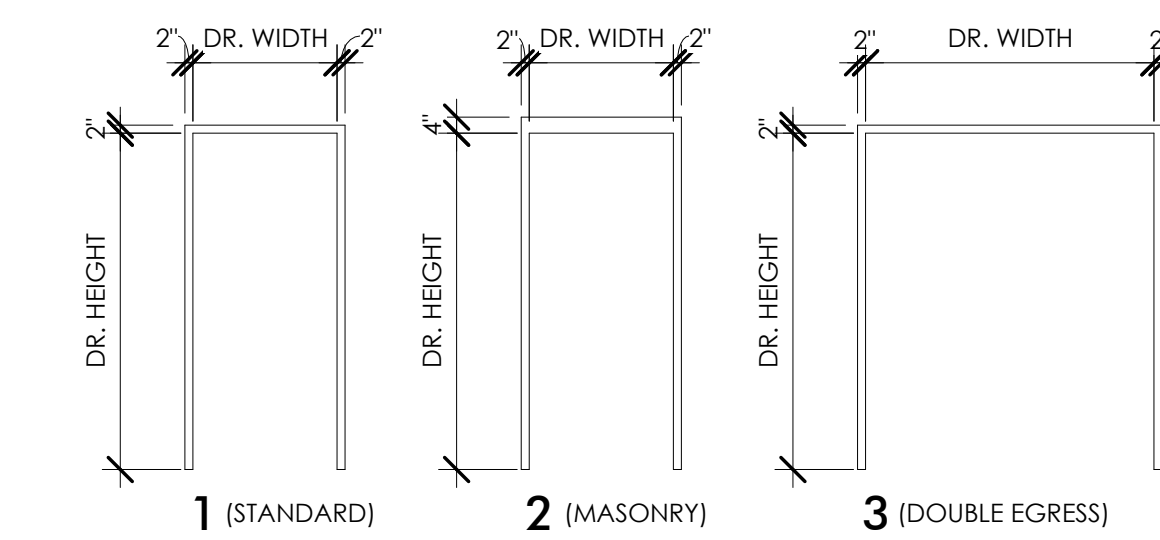
**DOOR TYPES**

NOTE: REFER TO DOOR SCHEDULE FOR HEIGHTS / WIDTHS AND GLAZING TYPE



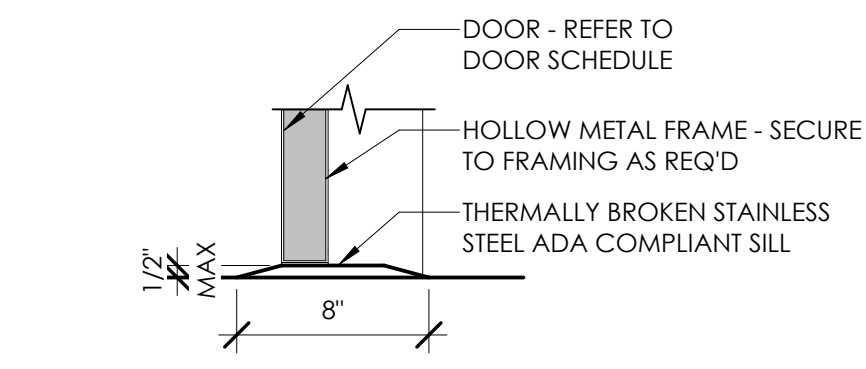
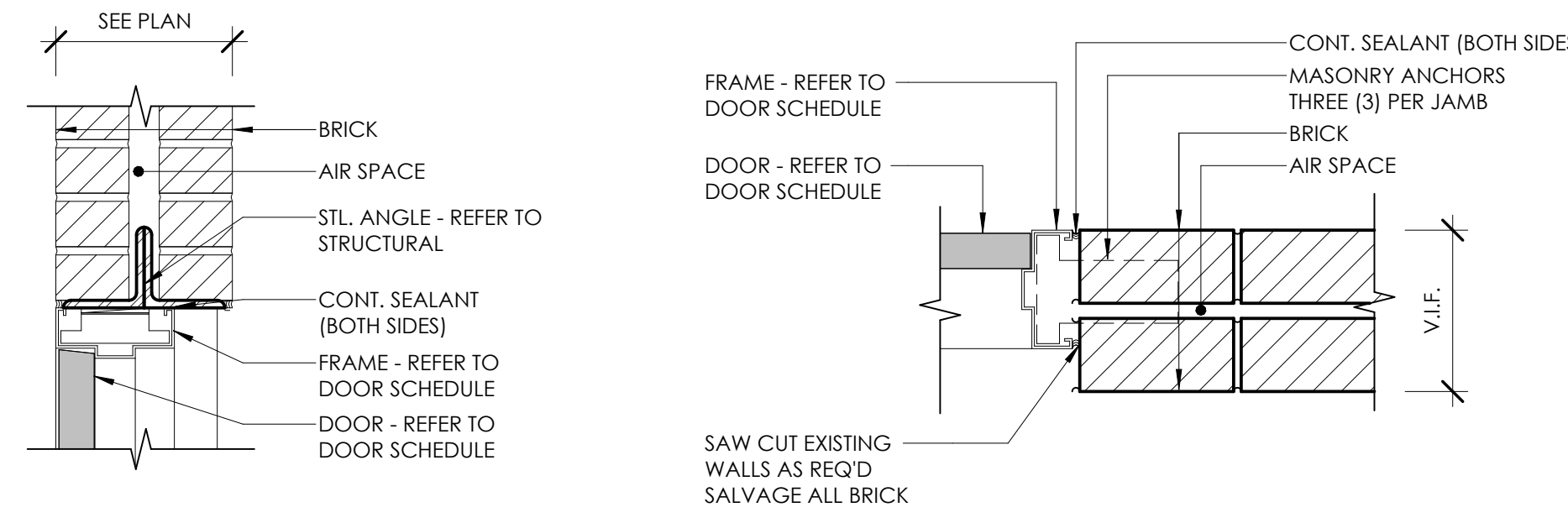
**DOUBLE DOOR TYPES**

NOTE: REFER TO DOOR SCHEDULE FOR HEIGHTS / WIDTHS AND GLAZING TYPE



**FRAME TYPES**

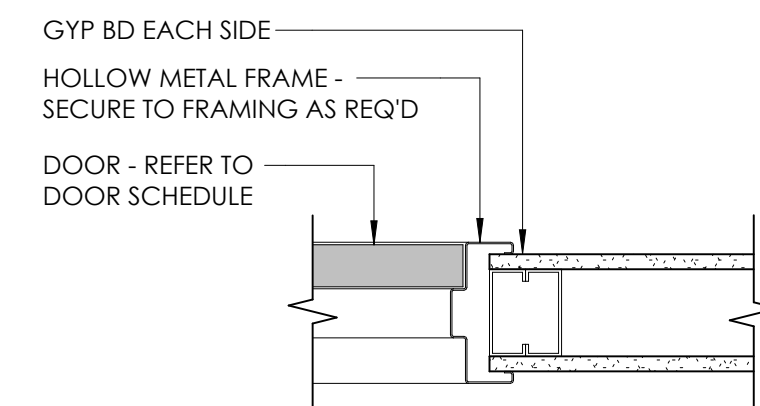
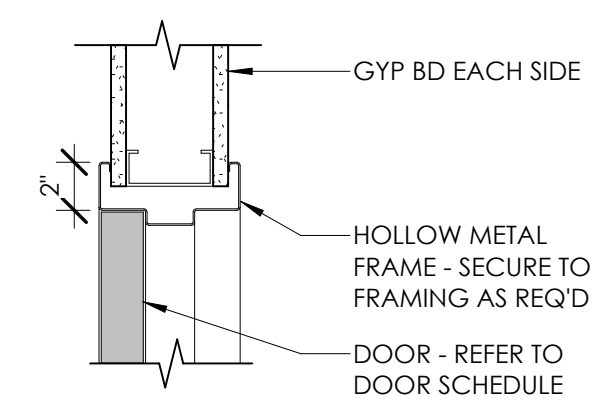
NOTE: REFER TO DOOR SCHEDULE FOR HEAD, JAMB, AND SILL DETAILS



**12 HEAD DETAIL - BRICK WALL**  
 A400 1 1/2" = 1'-0"

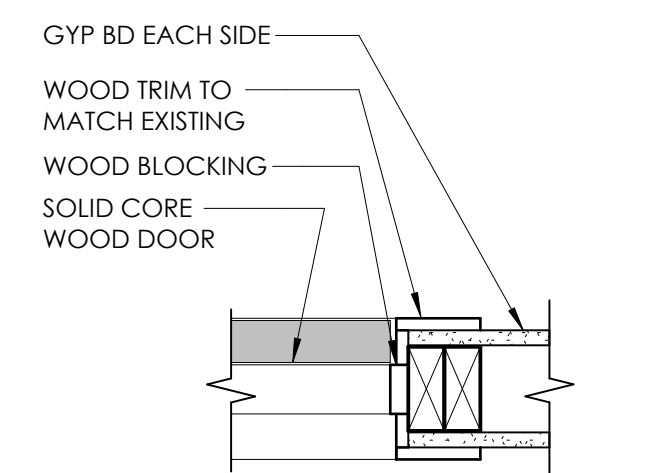
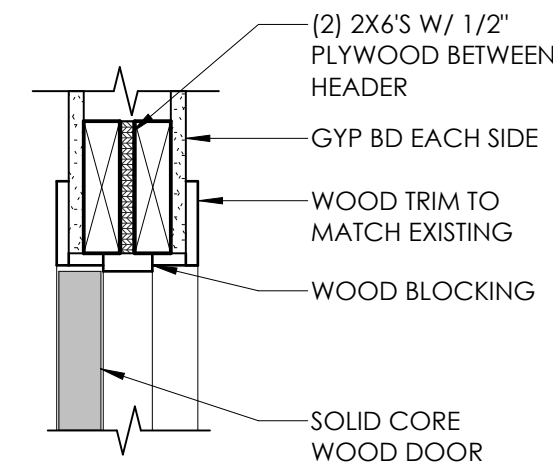
**13 JAMB DETAIL - BRICK**  
 A400 1 1/2" = 1'-0"

**6 SILL DETAIL - H.M. FRAME**  
 A400 1 1/2" = 1'-0"



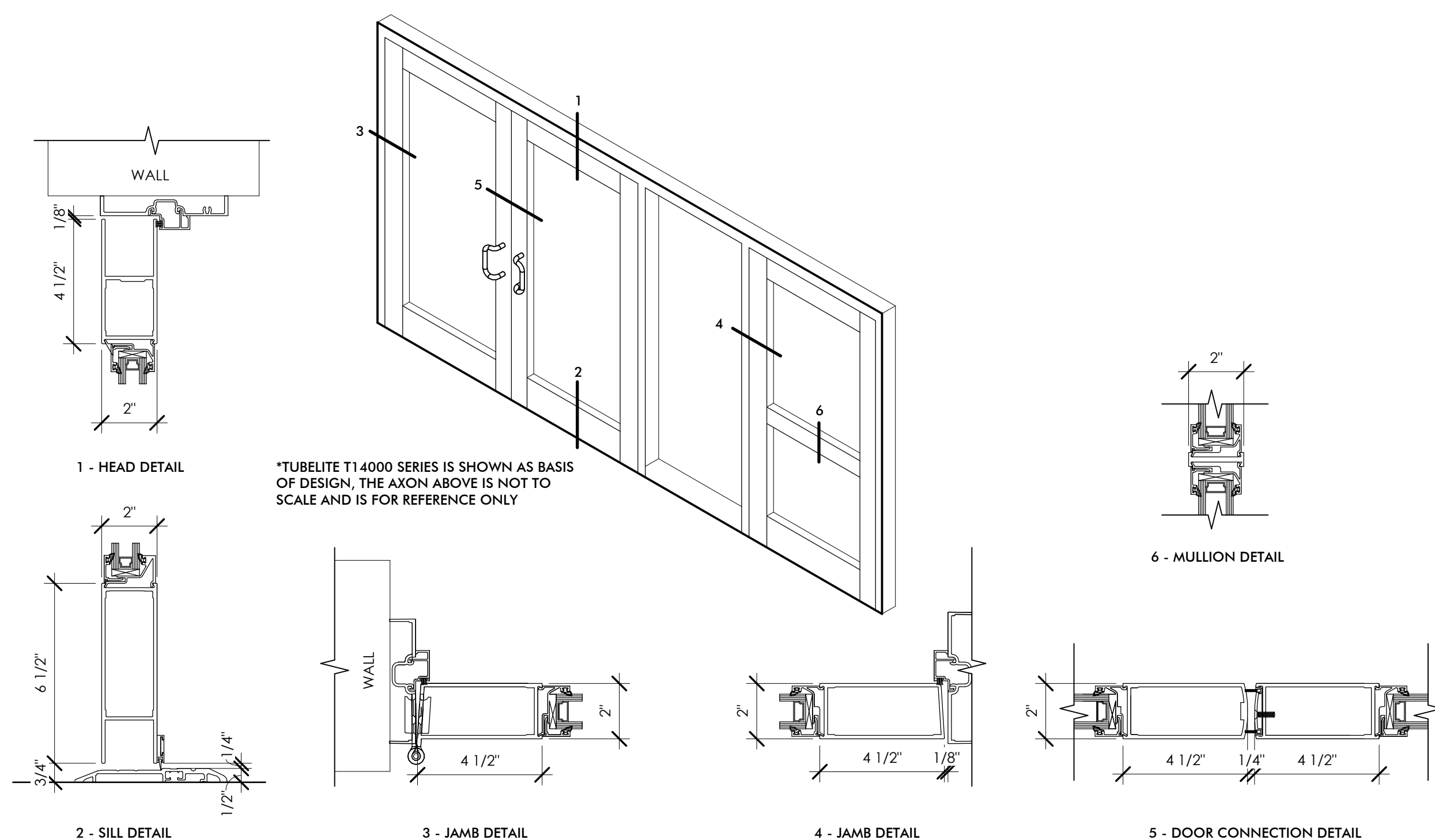
**11 HEAD DETAIL - H.M. GYP BD**  
 A400 1 1/2" = 1'-0"

**9 JAMB DETAIL - H.M. GYP. BD.**  
 A400 1 1/2" = 1'-0"

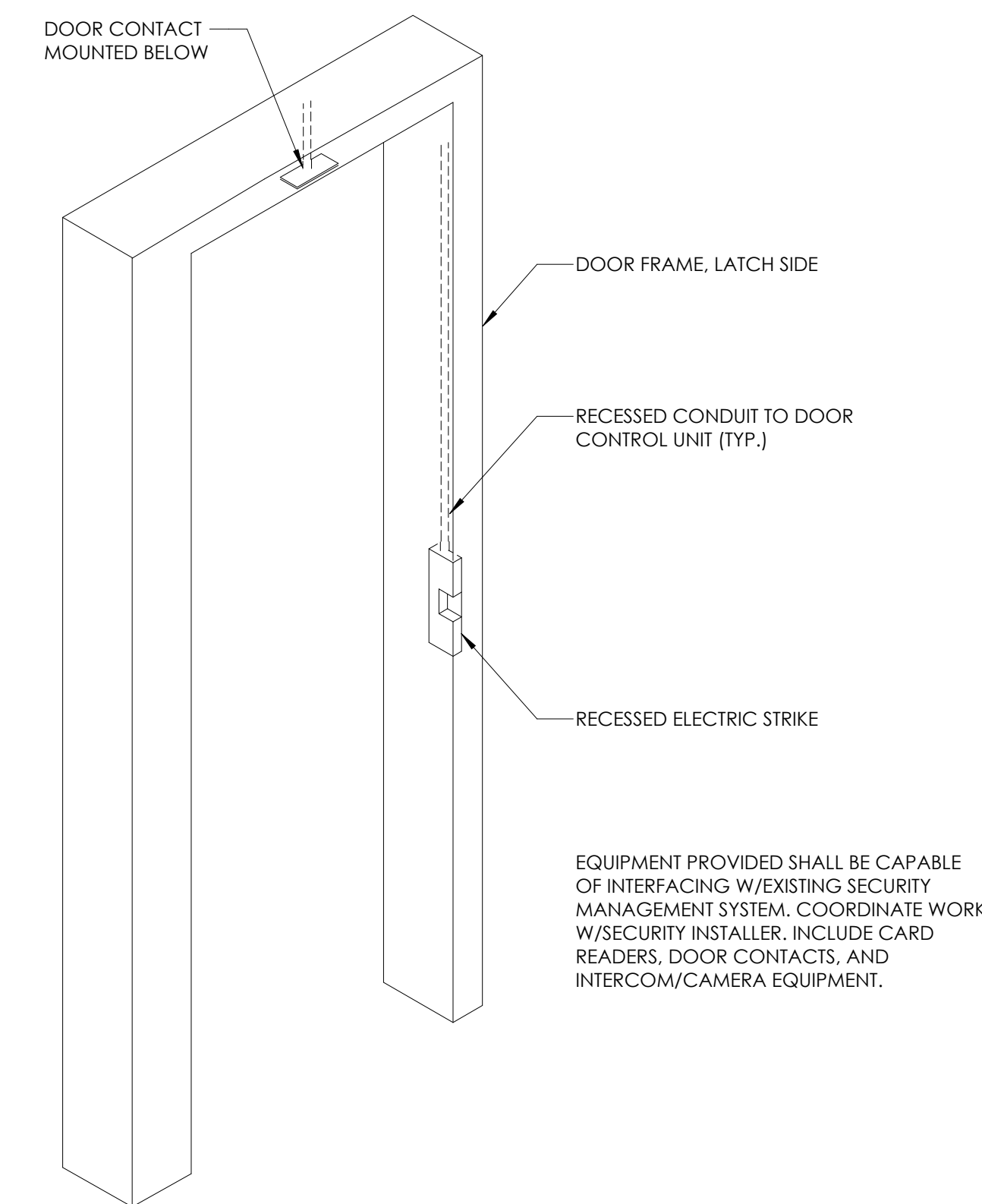


**5 HEAD DETAIL - WD GYP BD**  
 A400 1 1/2" = 1'-0"

**1 JAMB DETAIL - WD GYP. BD.**  
 A400 1 1/2" = 1'-0"



**10 ALUM DOOR DETAILS**  
 A400 3" = 1'-0"



**4 DOOR ACCESS CONTROL INSTALL**  
 A400 12" = 1'-0"

EQUIPMENT PROVIDED SHALL BE CAPABLE OF INTERFACING W/EXISTING SECURITY MANAGEMENT SYSTEM. COORDINATE WORK W/SECURITY INSTALLER. INCLUDE CARD READERS, DOOR CONTACTS, AND INTERCOM/CAMERA EQUIPMENT.

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DOOR DETAILS  
**A400**

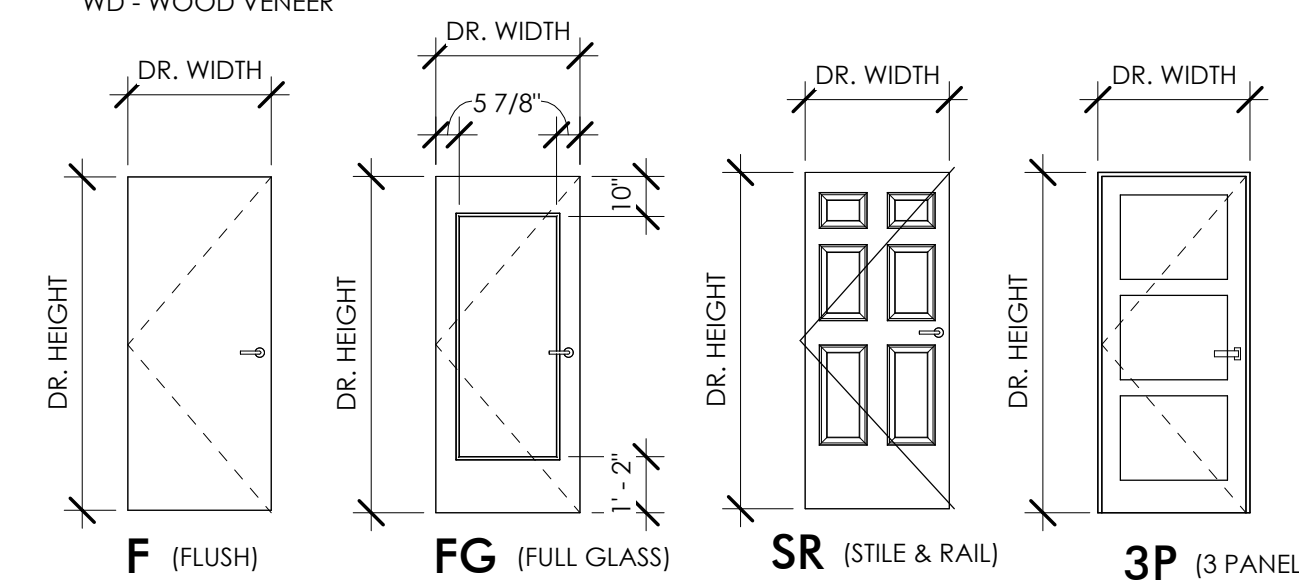
DOOR SCHEDULE																	
DOOR NUMBER	ROOM		NEW OR EXIST	DOOR TYPE	DOOR			DOOR FINISH		DOOR FRAME		DOOR FRAME DETAILS			HDWR SET	LOCK TYPE	COMMENTS
	ROOM NUMBER	ROOM NAME			WIDTH	HEIGHT	THICKNESS	DOOR MATL	DOOR FINISH	TYPE	FRAME MATL	FRAME FINISH	HEAD	JAMB			
FIRST FLOOR																	
100	S1	STAIRS	Existing	R	3'-0"	9'-6"	1 3/4"	WD	EXIST								
101	106	WHITEBOX	Existing	S	5'-0"	9'-6"	1 3/4"	WD									
102	101G	BATHROOM	New	RR	1'-8"	7'-0"	1 3/8"	WD									
103	101G	BATHROOM	New	LL	3'-0"	7'-0"	1 3/8"	WD									
104	101A	KITCHEN / LIVING	New	QQ	4'-6"	7'-0"	1 3/4"	WD									
108	101A	KITCHEN / LIVING	New	LL	3'-0"	7'-0"	1 3/8"	WD									
109	101A	KITCHEN / LIVING	New	LL	3'-0"	7'-0"	1 3/8"	WD									
110			Existing	SR	3'-0"	7'-0"	1 3/4"	WD									
111			Existing	F	3'-0"	6'-8"	1 3/4"	WD									
112	104F	BEDROOM 1	New	BYF	6'-0"	7'-0"	0"	WD									
114	104G	BATHROOM	New	LL	3'-0"	7'-0"	1 3/8"	WD									
115	104F	BEDROOM 1	New	LL	3'-0"	7'-0"	1 3/8"	WD									
116	104A	KITCHEN / LIVING	New	LL	3'-0"	7'-0"	1 3/8"	WD									
117	104A	KITCHEN / LIVING	New	LL	3'-0"	7'-0"	1 3/8"	WD									
119	104A	KITCHEN / LIVING	New	LL	3'-0"	7'-0"	1 3/8"	WD									
120	104A	KITCHEN / LIVING	New	LL	3'-0"	7'-0"	1 3/8"	WD									
121			New	LL	3'-0"	7'-0"	1 3/8"	WD									
122			Existing	SR	3'-0"	7'-0"	1 3/4"	WD									
125			New	F	3'-0"	7'-0"	1 3/4"	H.M.									
126			New	F	3'-0"	7'-0"	1 3/4"	H.M.									
127			New	F	3'-0"	7'-0"	1 3/4"	WD									
128	101A	KITCHEN / LIVING	New	LL	3'-0"	7'-0"	1 3/8"	WD									
149	101C	BEDROOM	New	WS	3'-0"	7'-0"	1 3/4"	ALUM.									
150	101C	BEDROOM	New	BYF	6'-0"	7'-0"	0"	WD									
151	104A	KITCHEN / LIVING	New	LL	3'-0"	7'-0"	1 3/8"	WD									
SECOND FLOOR																	
200	203B	CLOSET	New	LL	3'-0"	7'-0"	1 3/8"	WD									
201	202A	KITCHEN / LIVING	New	LL	3'-0"	7'-0"	1 3/8"	WD									
202	203A	KITCHEN / LIVING	New	LL	3'-0"	7'-0"	1 3/8"	WD									
203	202C	BATHROOM	New	LL	3'-0"	7'-0"	1 3/8"	WD									
204	203F	BEDROOM	New	BYF	6'-0"	7'-0"	0"	WD									
205	203D	W/D	New	LL	3'-0"	7'-0"	1 3/8"	WD									
206	200	CORRIDOR	New	LL	3'-0"	7'-0"	1 3/8"	WD									
207	202A	KITCHEN / LIVING	New	LL	3'-0"	7'-0"	1 3/8"	WD									
208	202A	KITCHEN / LIVING	New	LL	3'-0"	7'-0"	1 3/8"	WD									
209	202E	CLOSET	New	BYF	6'-0"	7'-0"	0"	WD									
210	203A	KITCHEN / LIVING	New	LL	3'-0"	7'-0"	1 3/8"	WD									
211	202A	KITCHEN / LIVING	New	LL	3'-0"	7'-0"	1 3/8"	WD									
212	200	CORRIDOR	New	F	7'-0"	7'-0"	1 3/4"	WD									
213	200	CORRIDOR	New	F	7'-0"	7'-0"	1 3/4"	WD									
214	205A	KITCHEN/LIVING	New	LL	3'-0"	7'-0"	1 3/8"	WD									
215	200	CORRIDOR	New	LL	3'-0"	7'-0"	1 3/8"	WD									
216	205A	KITCHEN/LIVING	New	BYF	6'-0"	7'-0"	0"	WD									
217	206B	CLOSET	New	X	6'-0"	7'-0"	0"	WD									
218	206C	BEDROOM 1	New	LL	3'-0"	7'-0"	1 3/8"	WD									
219	205A	KITCHEN/LIVING	New	LL	3'-0"	7'-0"	1 3/8"	WD									
220	205D	CLOSET	New	BYF	6'-0"	7'-0"	0"	WD									
221	205E	W/D	New	LL	3'-0"	7'-0"	1 3/8"	WD									
222	206C	BEDROOM 1	New	X	6'-0"	7'-0"	0"	WD									
223	206E	CLOSET	New	X	6'-0"	7'-0"	0"	WD									
224	205F	BATHROOM	New	LL	3'-0"	7'-0"	1 3/8"	WD									
225	205F	BATHROOM	New	FF	2'-6"	7'-0"	1 3/8"	WD									
226	205H	CLOSET	New	BYF	5'-0"	7'-0"	0"	WD									
227	206F	BEDROOM 2	New	LL	3'-0"	7'-0"	1 3/8"	WD									
228	206G	HALF BATH	New	LL	3'-0"	7'-0"	1 3/8"	WD									
229	206A	KITCHEN / LIVING	New	QQ	4'-6"	7'-0"	1 3/4"	WD									
230	206A	KITCHEN / LIVING	New	LL	3'-0"	7'-0"	1 3/8"	WD									
231	205A	KITCHEN/LIVING	New	FG	3'-0"	7'-0"	1 3/4"	WD									
THIRD FLOOR																	
300	303B	CLOSET	New	LL	3'-0"	7'-0"	1 3/8"	WD									
301	303C	BATHROOM	New	LL	3'-0"	7'-0"	1 3/8"	WD									
302	302A	KITCHEN / LIVING	New	LL	3'-0"	7'-0"	1 3/8"	WD									
303	302C	BATHROOM	New	LL	3'-0"	7'-0"	1 3/8"	WD									
304	303D	BEDROOM	New	LL	3'-0"	7'-0"	1 3/8"	WD									
305	302A	KITCHEN / LIVING	New	LL	3'-0"	7'-0"	1 3/8"	WD									
306	303A	KITCHEN / LIVING	New	LL	3'-0"	7'-0"	1 3/8"	WD									
307	302D	W/D	New	LL	3'-0"	7'-0"	1 3/8"	WD									
308	303E	CLOSET	New	BB	7'-0"	7'-0"	0"	WD									
309	303F	CLOSET	New	BYF	6'-0"	7'-0"	0"	WD									
310	302A	KITCHEN / LIVING	New	BYF	6'-0"	7'-0"	0"	WD									
311	302F	CLOSET	New	BB	7'-0"	7'-0"	0"	WD									
312	303A	KITCHEN / LIVING	New	LL	3'-0"	7'-0"	1 3/8"	WD									
313	302A	KITCHEN / LIVING	New	LL	3'-0"	7'-0"	1 3/8"	WD									
314	300	CORRIDOR	New	F	7'-0"	7'-0"	1 3/4"	WD									
315	300	CORRIDOR	New	F	7'-0"	7'-0"	1 3/4"	WD									
316	305D	BEDROOM	New	LL	3'-0"	7'-0"	1 3/8"	WD									
317	305A	KITCHEN / LIVING	New	LL	3'-0"	7'-0"	1 3/8"	WD									
318	300	CORRIDOR	New	LL	3'-0"	7'-0"	1 3/8"	WD									
319	300	CORRIDOR	New	LL	3'-0"	7'-0"	1 3/8"	WD									
320	306B	BEDROOM 1	New	LL	3'-0"	7'-0"	1 3/8"	WD									
321	306C	CLOSET	New	X	6'-0"	7'-0"	0"	WD									
322	305D	BEDROOM	New	SS	7'-0"	7'-0"	1 3/4"	WD									
323	305A	KITCHEN / LIVING	New	BYF	5'-0"	7'-0"	0"	WD									
324	306F	CLOSET	New	LL	3'-0"	7'-0"	1 3/8"	WD									
325	303F	CLOSET	New	FF	2'-6"	7'-0"	1 3/8"	WD									
326	306D	BEDROOM 2	New	BYF	6'-0"	7'-0"	0"	WD									
327	305F	BATHROOM	New	LL	3'-0"	7'-0"	1 3/8"	WD									
328	306G	W/D	New	LL	3'-0"	7'-0"	1 3/8"	WD									
329	306A	KITCHEN / LIVING	New	LL	3'-0"	7'-0"	1 3/8"	WD									
330	306A	KITCHEN / LIVING	New	LL	3'-0"	7'-0"	1 3/8"	WD									
331	306A	KITCHEN / LIVING	New	FF	2'-6"	7'-0"	1 3/8"	WD									
332	305A	KITCHEN / LIVING	New	FG	3'-0"	7'-0"	1 3/4"	WD									

### ABBREVIATIONS

WOOD - WOOD VENEER ON SOLID CORE WOOD DOOR  
H.M. - HOLLOW METAL  
PT - INTERIOR PAINT SYSTEM  
EXIST - EXISTING  
ALUM - ALUMINUM  
FS - ROLLING FIRE SHUTTER  
SCD - SOLID CORE DOOR  
AE - AUTOMATIC ENTRY DOORS  
WD - WOOD VENEER

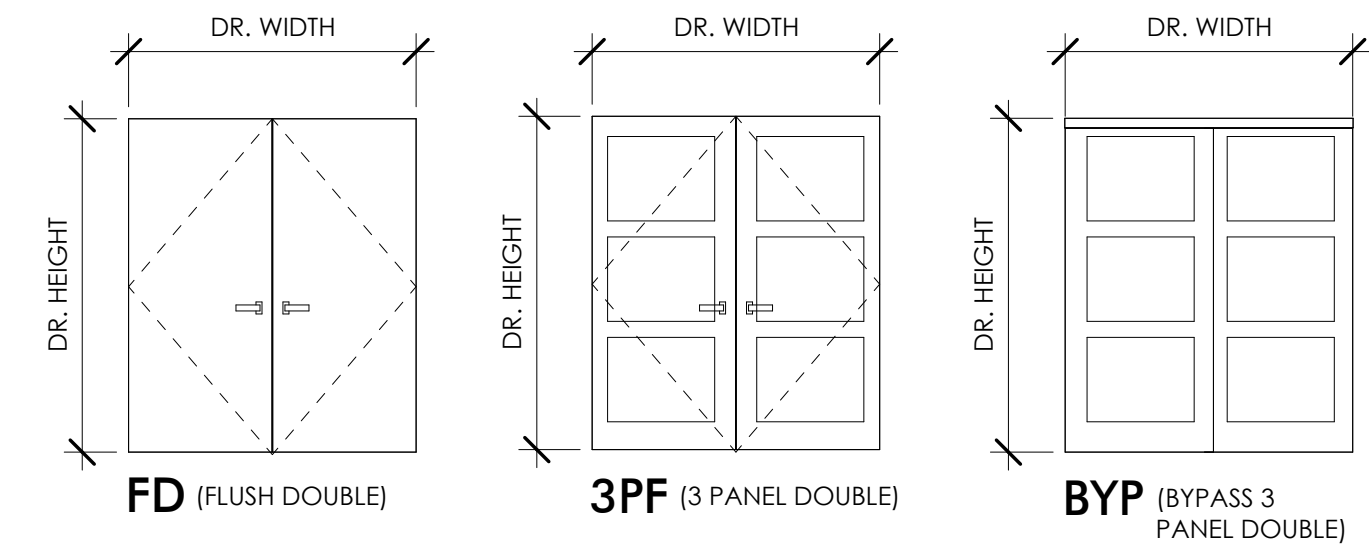
### GENERAL NOTES

- REFER TO DOOR SCHEDULE FOR HEIGHTS, WIDTHS AND GLAZING TYPES.
- ALL HARDWARE TO BE ADA COMPLIANT LEVER HARDWARE.
- ALL EXTERIOR AND RATED DOORS ARE TO HAVE ADA COMPLIANT SILLS WITH MAX THRESHOLDS OF 1/2"



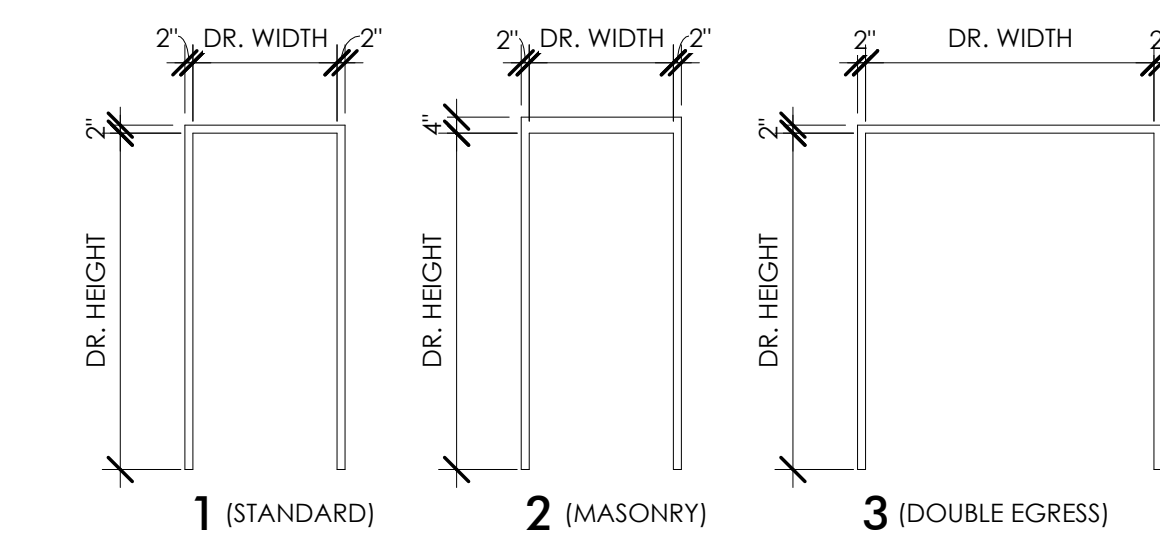
### DOOR TYPES

NOTE: REFER TO DOOR SCHEDULE FOR HEIGHTS / WIDTHS AND GLAZING TYPE



### DOUBLE DOOR TYPES

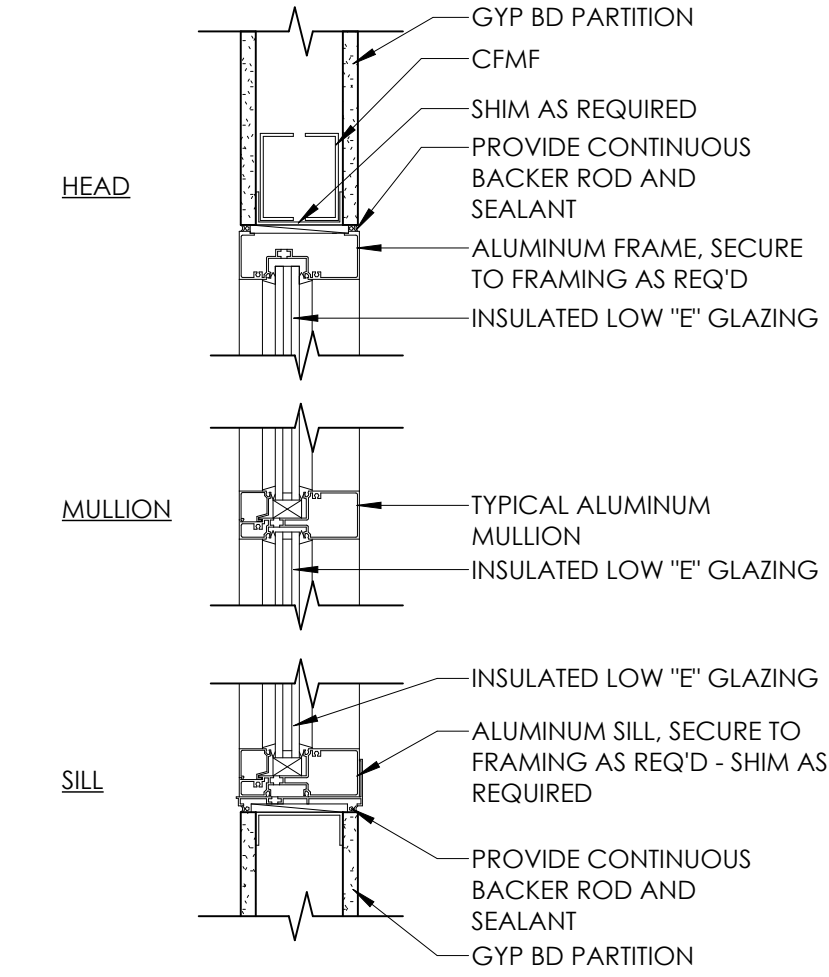
NOTE: REFER TO DOOR SCHEDULE FOR HEIGHTS / WIDTHS AND GLAZING TYPE



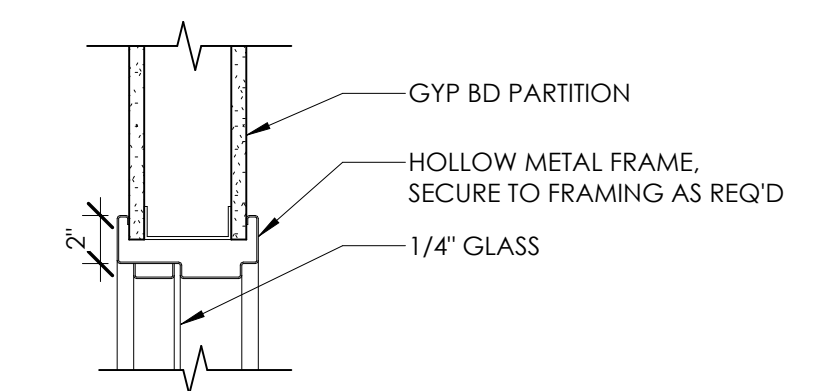
### FRAME TYPES

NOTE: REFER TO DOOR SCHEDULE FOR HEAD, JAMB, AND SILL DETAILS

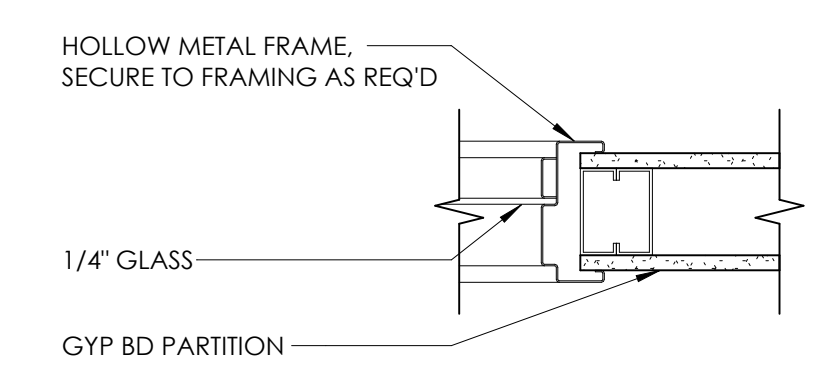
CURTAIN WALL SCHEDULE							WINDOW SCHEDULE											
MARK	LENGTH	HEIGHT	SILL HEIGHT	THICKNESS	MULLION TYPE	COMMENTS	MARK	ROOM NUMBER	NEW OR EXIST	WIDTH	HEIGHT	MAT'L	GLAZING	HEAD	JAMB	SILL	FIRE RATING	COMMENTS
FIRST FLOOR																		
L.59	2'-11 1/4"	8'-1 7/32"	0'-0"	0'-1"				Existing	2'-11 1/4"	8'-1 7/32"								
L.59	2'-11 1/4"	8'-1 7/32"	0'-0"	0'-1"				Existing	2'-11 1/4"	8'-1 7/32"								
L.64	2'-5 1/4"	7'-0 1/8"	0'-0"	0'-1"				Existing	2'-5 1/4"	7'-0 1/8"								
L.65	2'-5 1/4"	7'-0 1/8"	0'-0"	0'-1"				Existing	2'-5 1/4"	7'-0 1/8"								
L.66	2'-11 1/4"	3'-6"	0'-0"	0'-1"				Existing	2'-11 1/4"	3'-6"								
L.66	2'-11 1/4"	3'-6"	0'-0"	0'-1"				Existing	2'-11 1/4"	3'-6"								
SECOND FLOOR																		
L.46	2'-11 1/4"	3'-0"	0'-0"	0'-1"				Existing	2'-11 1/4"	3'-0"								
L.47	3'-0"	7'-9"	0'-0"	0'-1"				Existing	3'-0"	7'-9"								
L.47	3'-0"	7'-9"	0'-0"	0'-1"				Existing	3'-0"	7'-9"								
L.47	3'-0"	7'-9"	0'-0"	0'-1"				Existing	3'-0"	7'-9"								
L.47	3'-0"	7'-9"	0'-0"	0'-1"				Existing	3'-0"	7'-9"								
L.48	2'-6"	7'-9"	0'-0"	0'-1"				Existing	2'-6"	7'-9"								
L.48	2'-6"	7'-9"	0'-0"	0'-1"				Existing	2'-6"	7'-9"								
L.49	2'-0"	7'-9"	0'-0"	0'-1"				Existing	2'-0"	7'-9"								
L.59	2'-11 1/4"	8'-1 7/32"	0'-0"	0'-1"				Existing	2'-11 1/4"	8'-1 7/32"								
L.59	2'-11 1/4"	8'-1 7/32"	0'-0"	0'-1"				Existing	2'-11 1/4"	8'-1 7/32"								
L.59	2'-11 1/4"	8'-1 7/32"	0'-0"	0'-1"				Existing	2'-11 1/4"	8'-1 7/32"								
L.59	2'-11 1/4"	8'-1 7/32"	0'-0"	0'-1"				Existing	2'-11 1/4"	8'-1 7/32"								
L.59	2'-11 1/4"	8'-1 7/32"	0'-0"	0'-1"				New	2'-11 1/4"	8'-1 7/32"								
L.67	2'-8"	6'-1 7/32"	0'-0"	0'-1"			206F	Existing	2'-8"	6'-1 7/32"								
THIRD FLOOR																		
L.50	3'-5 1/4"	7'-8 1/8"	0'-0"	0'-1"				Existing	3'-5 1/4"	7'-8 1/8"								
L.50	3'-5 1/4"	7'-8 1/8"	0'-0"	0'-1"				Existing	3'-5 1/4"	7'-8 1/8"								
L.50	3'-5 1/4"	7'-8 1/8"	0'-0"	0'-1"				Existing	3'-5 1/4"	7'-8 1/8"								
L.50	3'-5 1/4"	7'-8 1/8"	0'-0"	0'-1"				Existing	3'-5 1/4"	7'-8 1/8"								
L.51	2'-9 1/4"	7'-4 1/8"	0'-0"	0'-1"				Existing	2'-9 1/4"	7'-4 1/8"								
L.51	2'-9 1/4"	7'-4 1/8"	0'-0"	0'-1"				Existing	2'-9 1/4"	7'-4 1/8"								
L.54	1'-11"	6'-8 1/8"	0'-0"	0'-1"				Existing	1'-11"	6'-8 1/8"								
L.62	2'-11 1/4"	6'-1 7/32"	0'-0"	0'-1"				Existing	2'-11 1/4"	6'-1 7/32"								
L.62	2'-11 1/4"	6'-1 7/32"	0'-0"	0'-1"				Existing	2'-11 1/4"	6'-1 7/32"								
L.62	2'-11 1/4"	6'-1 7/32"	0'-0"	0'-1"				Existing	2'-11 1/4"	6'-1 7/32"								
L.62	2'-11 1/4"	6'-1 7/32"	0'-0"	0'-1"				Existing	2'-11 1/4"	6'-1 7/32"								
L.62	2'-11 1/4"	6'-1 7/32"	0'-0"	0'-1"				Existing	2'-11 1/4"	6'-1 7/32"								
L.62	2'-11 1/4"	6'-1 7/32"	0'-0"	0'-1"				Existing	2'-11 1/4"	6'-1 7/32"								
L.62	2'-11 1/4"	6'-1 7/32"	0'-0"	0'-1"				Existing	2'-11 1/4"	6'-1 7/32"								



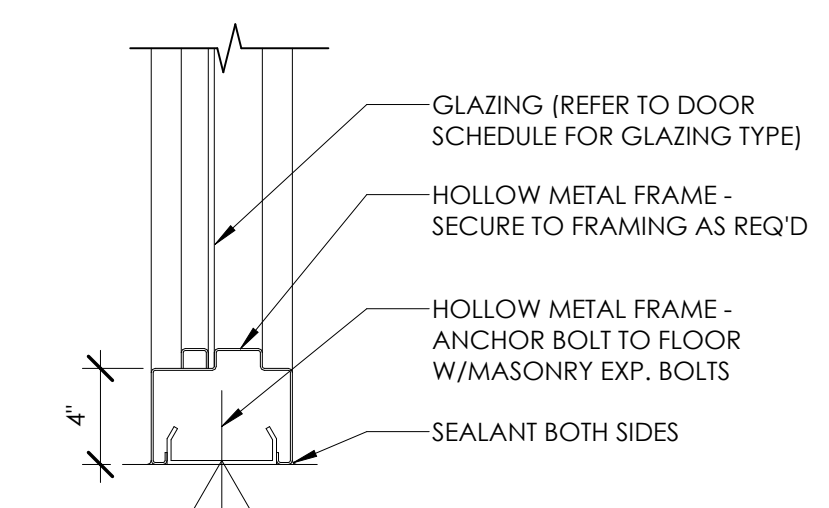
**3 ALUM WINDOW DETAIL - GYP BD**  
 A410 1 1/2" = 1'-0"



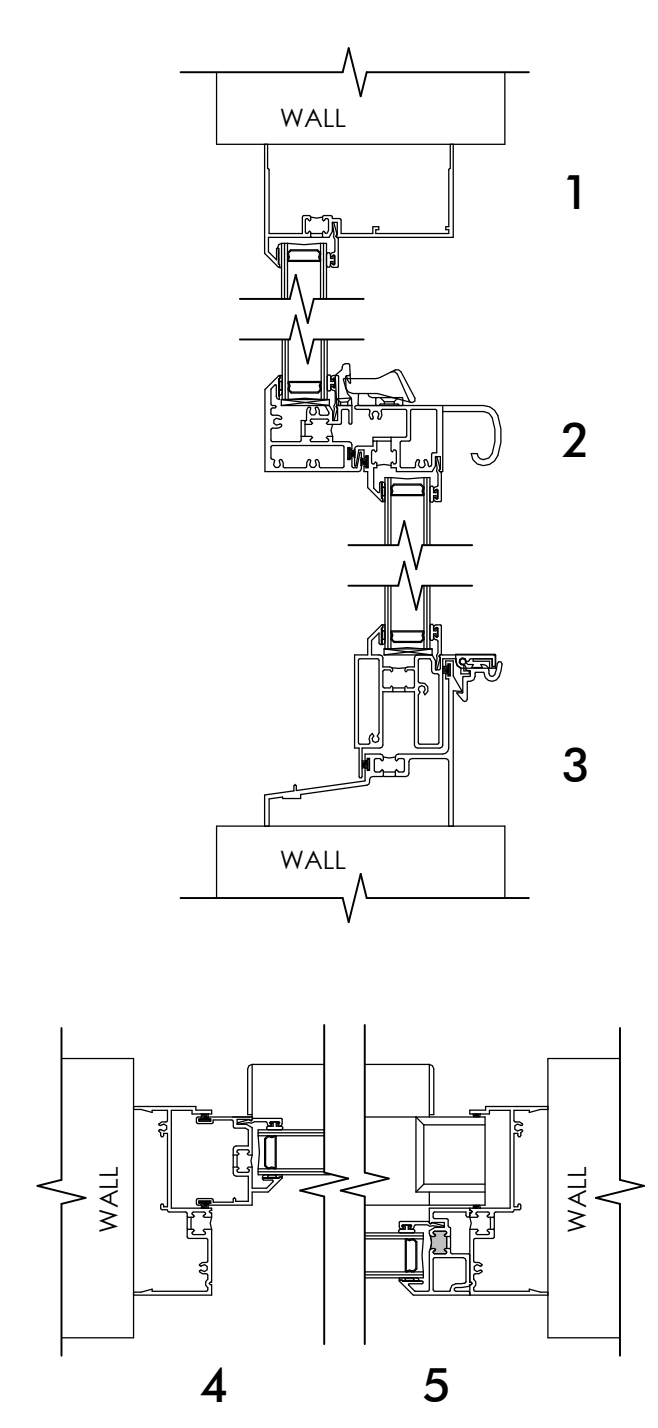
**5 H MTL WINDOW HEAD - GYP BD**  
 A410 1 1/2" = 1'-0"



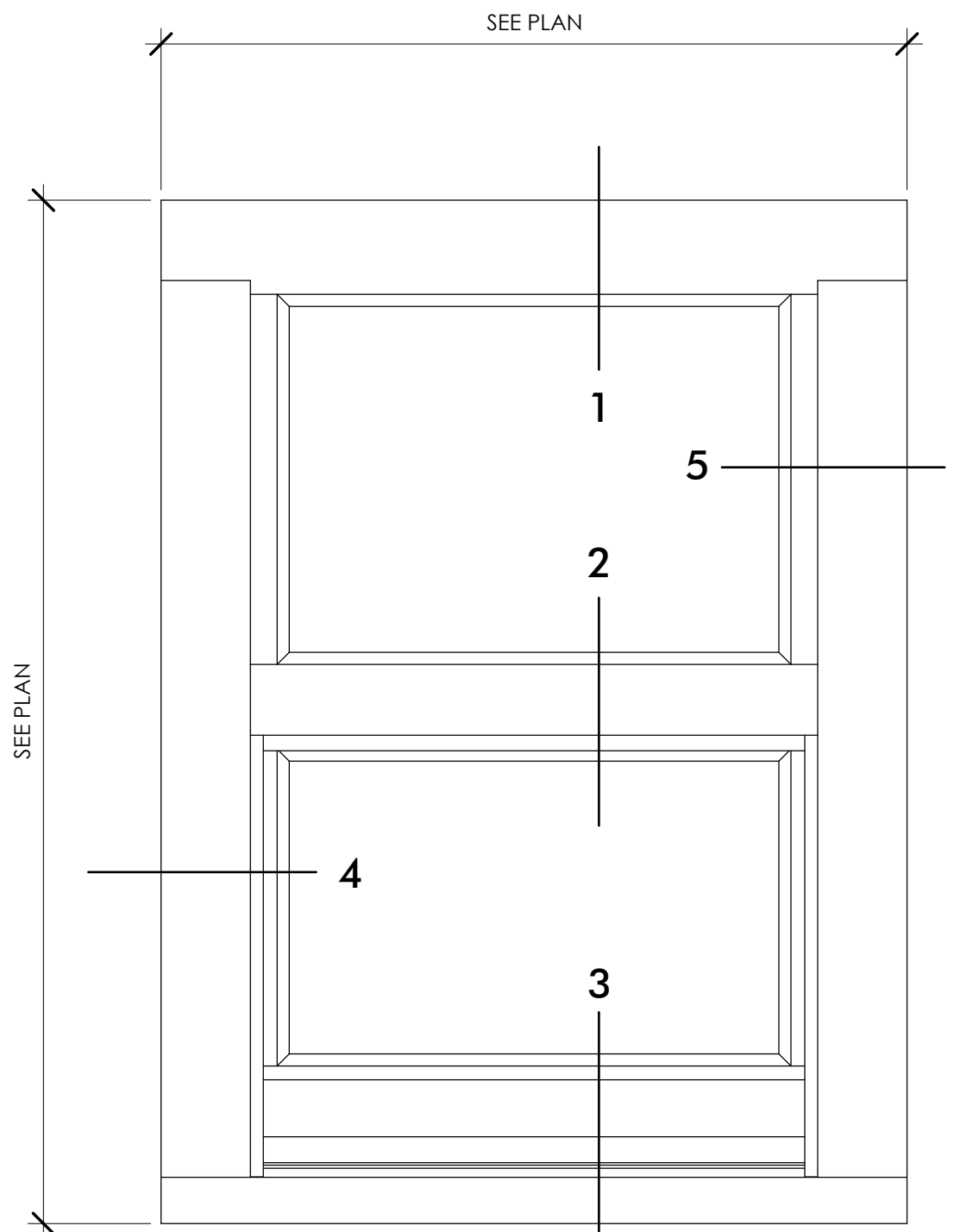
**7 H MTL WINDOW JAMB - GYP**  
 A410 1 1/2" = 1'-0"



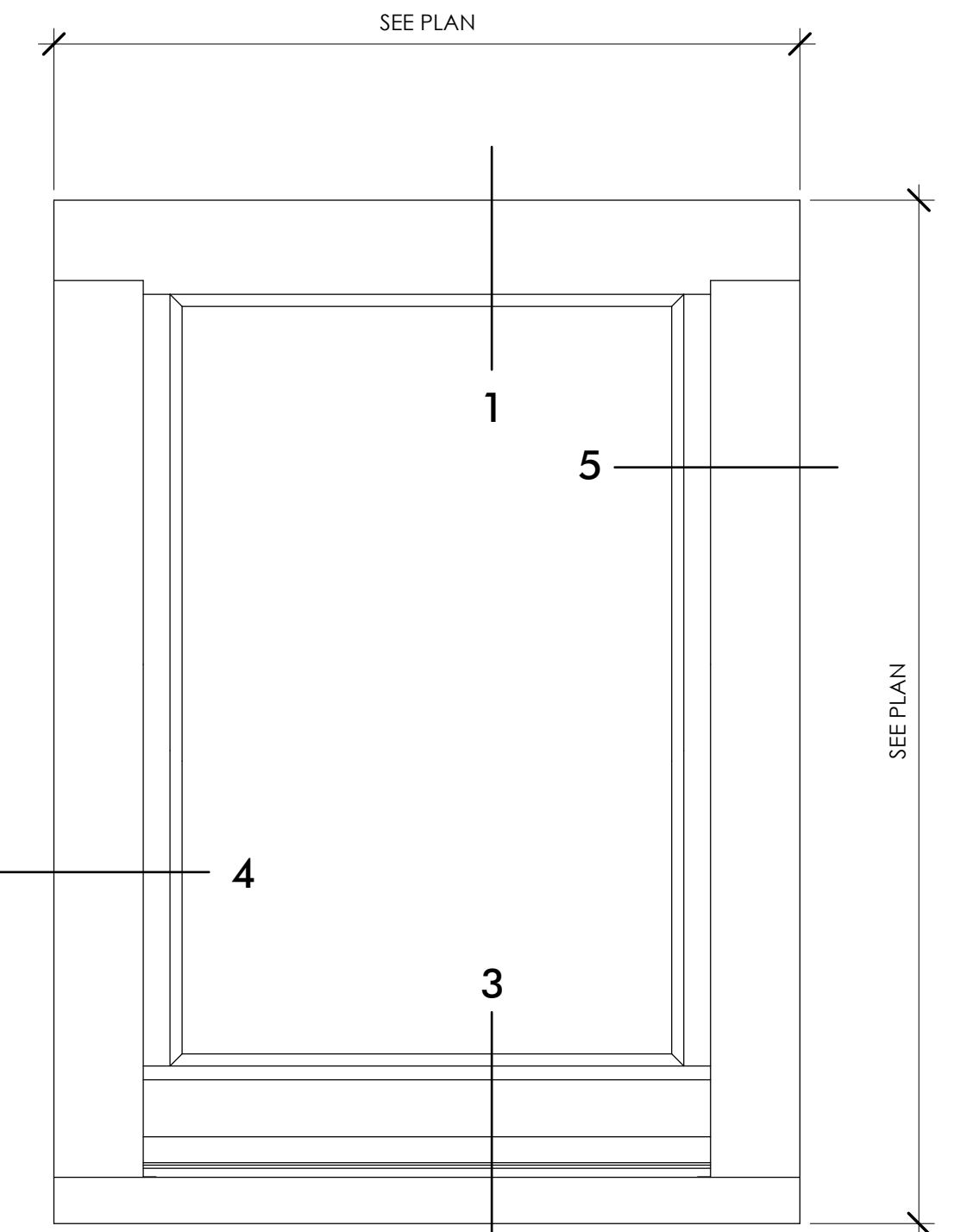
**9 H MTL WINDOW SILL**  
 A410 1 1/2" = 1'-0"



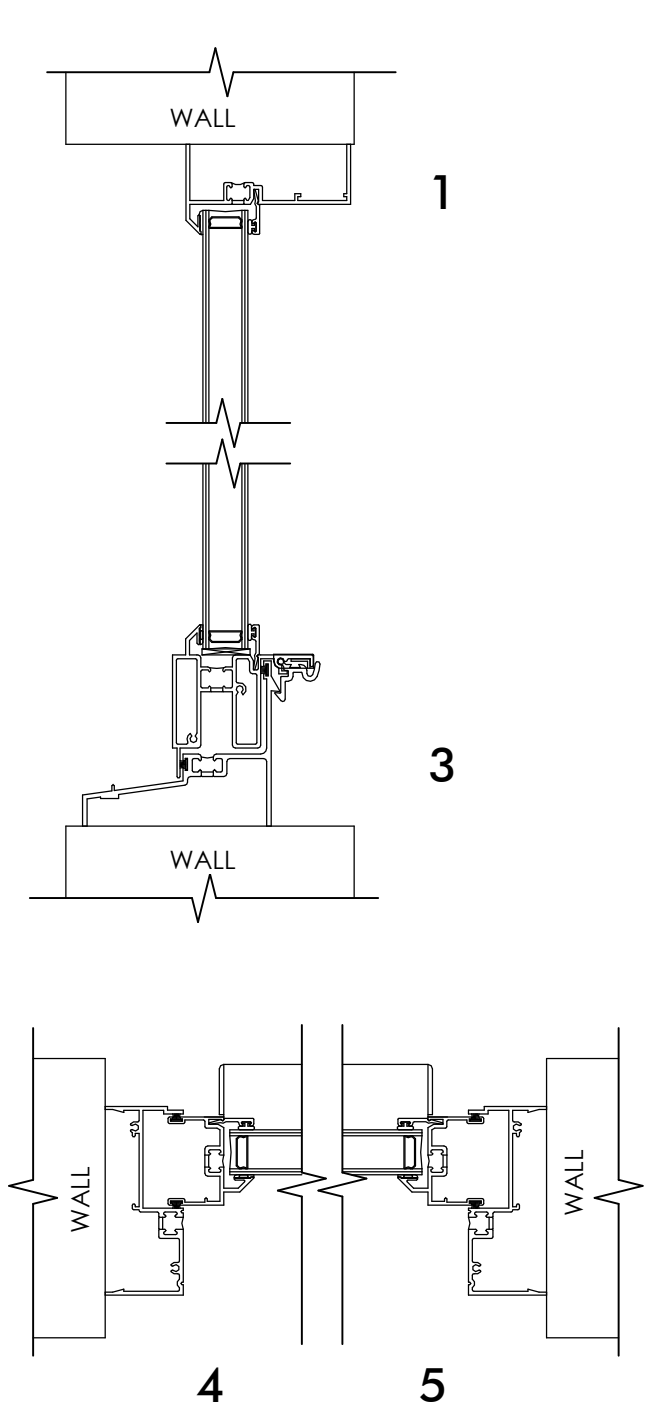
**SINGLE HUNG DETAILS**



**SINGLE HUNG ELEVATION**



**CASEMENT ELEVATION**



**CASEMENT DETAILS**

ANDERSEN A - ARCHITECTURAL SERIES ARE TO BE THE BASIS OF DESIGN

**1 CASEWORK AND SINGLE HUNG DETAILS**  
 A410 1 1/2" = 1'-0"

THIS DOCUMENT IS THE EXCLUSIVE PROPERTY OF DRIVEN DESIGN. THE DOCUMENT & THE INFORMATION IT CONTAINS MAY NOT BE REPRODUCED OR USED FOR OTHER THAN THE SPECIFIC PROJECT FOR WHICH IT WAS PREPARED WITHOUT THE EXPLICIT CONSENT OF DRIVEN DESIGN.

**PROJECT NAME**  
211 + 213 E MICHIGAN AVE  
**PROJECT ADDRESS**  
211 + 213 E MICHIGAN AVE, MARSHALL, MI

**ISSUE**  
DESIGN DEVELOPMENT

**DRAWN BY** CMN  
**DATE** 12/16/2024 3:11:03 PM  
**SCALE** As indicated  
**STAMP**

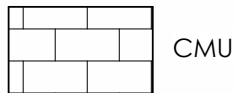
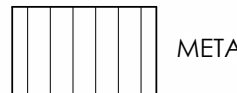
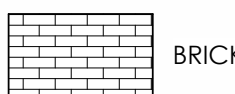
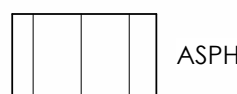

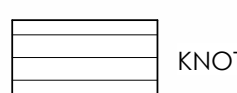
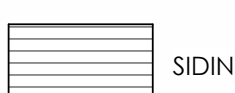
**PROJECT NUMBER**  
2024.125

**EXTERIOR ELEVATIONS**  
**A500**

**GENERAL NOTES**

1. REFER TO MATERIAL LEGEND FOR EXTERIOR FINISH PANEL TYPES AND COLOR.
2. REFER TO MATERIAL LEGEND FOR ROOF TYPES AND COLOR.
3. ALL GLAZING SHALL BE LOW-E GLASS. TINT TO BE RECOMMENDED BY MANUFACTURER.
4. ALL FINISH MATERIALS TO BE VERIFIED WITH OWNER AND ARCHITECT PRIOR TO CONSTRUCTION. ALL SUBSTITUTIONS NEED TO BE APPROVED IN WRITING.

**EXTERIOR ELEVATION SYMBOL LEGEND**

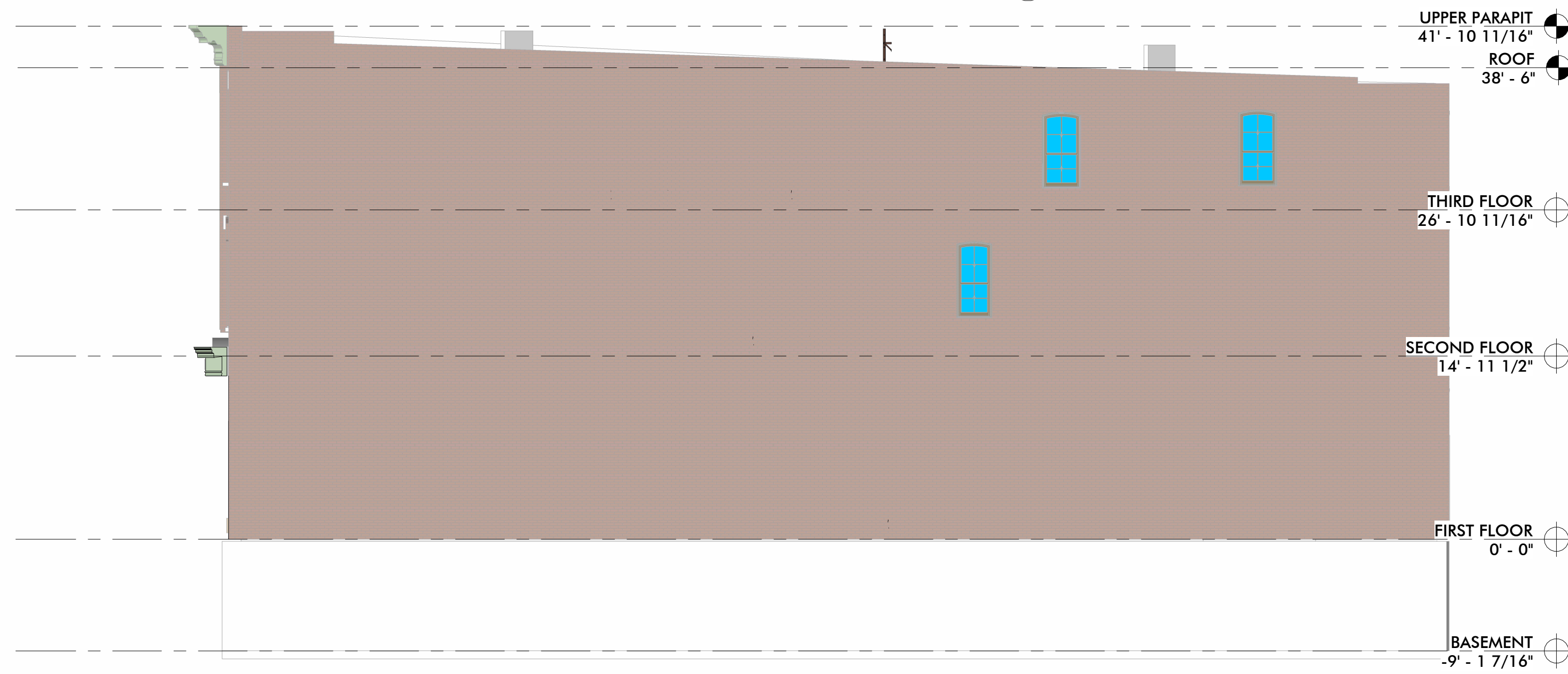
 CMU	 METAL ROOFING
 BRICK	 ASPHALT ROOFING
 STONE	 KNOT WOOD
 SIDING / METAL SIDING	



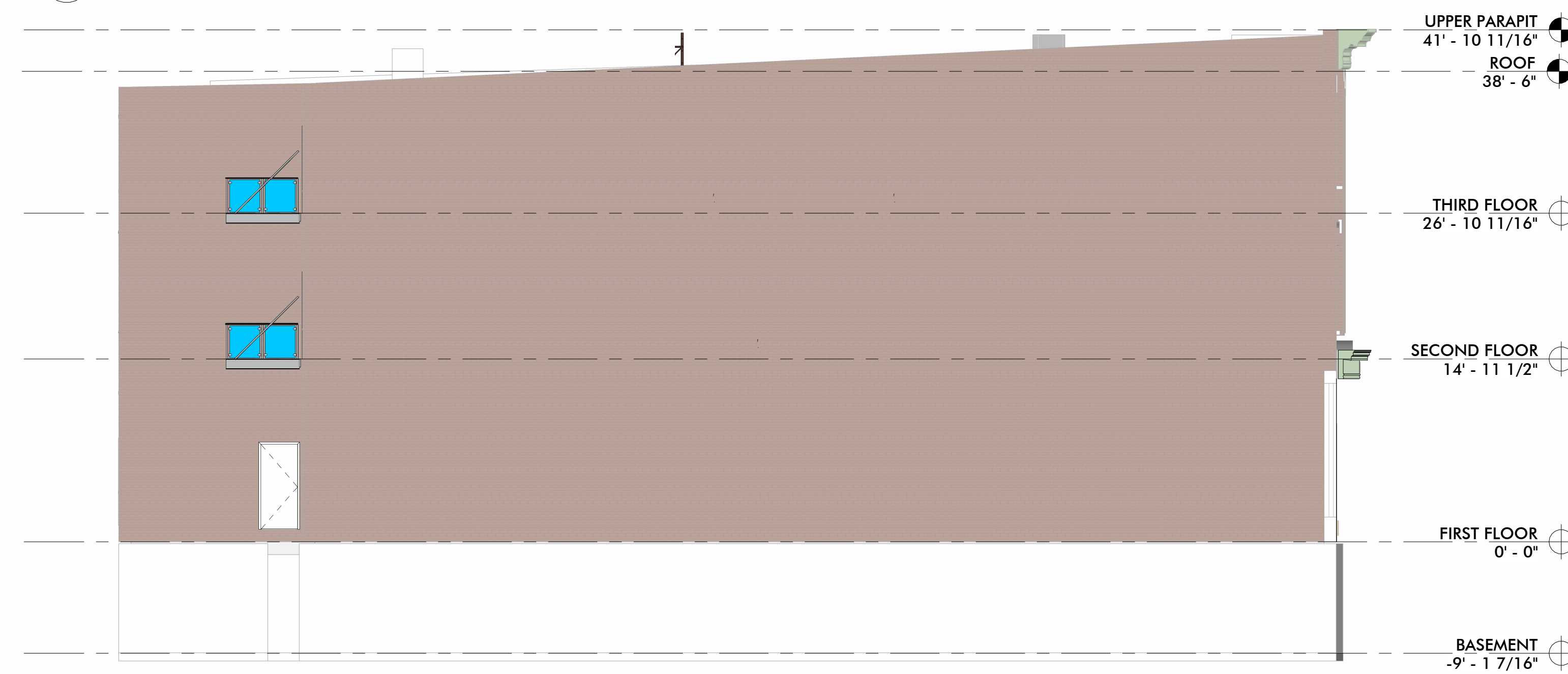
**1 NORTH ELEVATION**  
 A500 1/8" = 1'-0"



**2 SOUTH ELEVATION**  
 A500 1/8" = 1'-0"



**3 EAST ELEVATION**  
 A500 1/8" = 1'-0"



**4 WEST ELEVATION**  
 A500 1/8" = 1'-0"



## ITEM 8.B

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**TO:** Zoning Board of Appeals  
**FROM:** Marcia Strange, Director of Community Development  
**DATE:** January 16, 2025  
**SUBJECT:** Appeal #25.02 112 N Eagle St- Dimensional Variance

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### INCREASE SIGN SIZE

Schuler's has submitted for a variance related to two signs that are both too large. The front sign is a projection sign and the back sign is an awning sign.

1. Strict compliance with the specified dimensional standard(s) will deprive the applicant of rights commonly enjoyed by other property owners in the same zoning district, create an unnecessary burden on the applicant, or unreasonably prevent the owner from using the property for a permitted purpose.

A (FRONT): The request is beyond the maximum allowed size. There is no impeding on any rights to visibility. The Owner could have a wall sign plus a projection sign which could result in even more signage exposure. The shape of the proposed sign reduces the mass of the sign but that is the choice of the Owner.

B (BACK): The request is beyond the maximum allowed size.

2. The variance will do substantial justice to the applicant, as well as to other property owners, and a lesser variance than requested will not give substantial relief to the applicant or be consistent with justice to other property owners.

The signs that are being requested are larger than would be allowed to any of the other property owners.

3. The need for the variance is due to unique circumstances peculiar to the land or structures involved that are not applicable to other land or structures in the same district.

A (FRONT): The distance from Michigan Avenue is a driving factor for the desired size of the signage.

B (BACK): Visibility from the public parking, where the target audience is anticipated, would only be slightly reduced if the size requirements are enforced.

4. The problem and resulting need for the variance has not been self-created by the applicant or the applicant's predecessors. The variance will not cause significant adverse impacts to adjacent properties, the neighborhood or the city, and will not create a public nuisance or materially impair

public health, safety, comfort, morals or welfare.

A (FRONT): The proposed front sign is larger than allowed but there is no concern regarding health, safety, comfort, morals or welfare.

B (BACK): The desired size is driven by the fascia depth of the awning.

5. The alleged hardship and practical difficulties that will result from a failure to grant the variance include substantially more than mere inconvenience, or an inability to attain a higher financial return.

Neither of the proposed signs is larger to avoid a hardship or for practical reason.

**RECOMMENDATION:**



City of Marshall
ZONING BOARD OF APPEALS VARIANCE APPLICATION

Telephone (269) 781-3985

Address: 323 W Michigan Ave, Marshall, Michigan 49068

Fax (269) 789-4628

RESIDENTIAL FEE: \$400
COMMERCIAL FEE: \$400

Petitioner Name: Joe Caron
Address: 115 S Eagle Street
Phone: 269.781.0602 Email: jcaron@schulersrestaurant.com

Property Address for Variance: 112 N Eagle Street

Are you the owner? Yes [ ] No [x] (Owner is required to sign this form)

Current Zone B-3 Current Use Under Const

Zoning of abutting parcels B-3/1Res PSP Dimensional Variance [x] Use Variance [ ]

Required attachments

- Plot Plan Attached (According to ordinance, you must include a plot plan of the site, drawn to scale, with a north arrow, all lot lines shown, street right-of-ways, any easements, any structures, setback dimensions, any parking areas, driveways, sidewalks, and any other site improvements)
Reasons for variance (A letter must be submitted with this application addressing how you feel you meet the criteria for a Dimension or Use variance-see back)

\*The ZBA meets on the 3rd Thursday of each month. Application must be received on or before the deadline date for the next scheduled meeting.

I understand that I am expected to attend the ZBA public hearing pertaining to this matter. If I am unable to attend, I will send a representative in my place. I understand that the application fee is non-refundable and does not apply to any future permits. Furthermore, if the variance is granted, I agree to obtain the appropriate permits before commencing work.

Signature of Petitioner: [Signature] Date: 12/18/2024
Signature of Owner: [Signature] Date: 12/18/2024

Questions concerning these requirements should be directed to the Planning and Zoning Office

Zoning Administrator- 269-781-3985

## **DIMENSIONAL VARIANCE**

***Please attach a letter addressing how your situation meets these criteria:***

*The granting of a variance from particular area, setback, frontage, height, bulk, density or other dimensional (non-use) standards of this Ordinance shall require a finding of practical difficulties based upon the following criteria:*

1. Strict Compliance with the specified dimensional standard(s) will deprive the applicant of rights commonly enjoyed by other property owners in the same zoning district, create an unnecessary burden on the applicant, or unreasonably prevent the owner from using the property for a permitted purpose.
2. The variance will do substantial justice to the applicant, as well as to other property owners, and a lesser variance than requested will not give substantial relief to the applicant or be consistent with justice to other property owners.
3. The need for the variance is due to unique circumstances peculiar to the land or structures involved that are not applicable to other land or structures in the same district.
4. The problem and resulting need for the variance has not been self-created by the applicant or the applicant's predecessors.
5. The variance will not cause significant adverse impacts to adjacent properties, the neighborhood or the City and will not create a public nuisance or materially impair public health, safety, comfort, morals or welfare.
6. The alleged hardship and practical difficulties that will result from a failure to grant the variance include substantially more than mere inconvenience, or an inability to attain a higher financial return.

## **USE VARIANCE**

***Please attach a letter addressing how your situation meets these criteria:***

*The granting of a variance from the use provisions of this Ordinance shall require a finding of unnecessary hardship, based upon the following criteria:*

1. The current zoning ordinance prohibits the property owner from securing any reasonable economic return or making any reasonable use of the property. Under this standard, the ZBA must find that the property (land, structures and other improvements) is not suitable for uses permitted in the zoning district.
2. The landowner's plight is due to unique circumstances peculiar to the property and not to general neighborhood conditions. Circumstances common to the larger neighborhood may reflect the unreasonableness of the zoning itself, which should be addressed through a rezoning or other legislative action.
3. The use variance, if granted, would not alter the essential character of the neighborhood. This standard requires consideration of whether the intent and purpose of the Ordinance and zoning district will be preserved, and the essential character of the area will be maintained.
4. The hardship is not the result of the applicant's actions. Under this standard, the ZBA must determine that the hardship that led to the use variance request was not self-created by the applicant. Purchase of a property with a pre-existing hardship does not constitute a self-created hardship. Financial hardships that would prevent reasonable use of the property shall be considered, but shall not be the only determining factor in granting a use variance.

Questions concerning these requirements should be directed to Trisha Nelson, Planning & Zoning Administrator at: (269) 781-5183.

See back for permit fees

Plan Reviewer Signature

Building Permit Required Yes  No   
 Electric Permit Required Yes  No

Types of Signs	Directional	Ground
	Pylon	Wall

Type of Sign	Length & Width	Sq. Ft.	Height
Projecting Sign	46" x 65"		8" deep
Front wall			Sign 1
New			

Type of Sign	Length & Width	Sq. Ft.	Height
Existing			
0			

Circle one:  Approved  Denied

Reason for Denial:

Zoning District: \_\_\_\_\_ Sign Cost: \_\_\_\_\_

Submit the following information:  
 1. Drawing(s) showing the dimensions of the sign(s) and overlay on property or on building.  
 2. Location of sign with dimensions showing distances from lot lines and structures.  
 3. Material Sign is being made of and how it will be anchored.  
 4. Freestanding and Business Center signs must have an engineer or architects stamp with wind load calculations and require a building permit.  
 5. If a new foundation is being proposed, a building permit is required in addition to the sign permit.

Name of Owner or Company: Sign Writer - Signs  
 Address (Street No. and Name): 633 W. Michigan Ave Kalamazoo  
 City: MI State: MI Zip Code: 49007  
 Email Address: lane@signwriterk200.com  
 Cell Phone Number: 269-720-1795 (home)  
 Fax Phone number: \_\_\_\_\_  
 Phone number with Area Code: 269-207-0514 - Mark

2. Contractor/Property Owner Information

Name of Owner/Agent: Sue Damon owner  
 Street Address & Job Location (Street No. and Name): 112 N Eagle St. Venice  
 Business Name: Nicketa Zero Nine

Date of Application: 10/16/24

Any work covered before permit was pulled will require contractor/owner to uncover work.

AS OF JULY 1, 2023 ANY WORK COMPLETED BEFORE PERMIT IS ISSUED WILL BE SUBJECT TO A FEE OF DOUBLE THE PERMIT FEE, UP TO \$5000

Address: 323 W Michigan Ave, Marshall, Michigan 49068

City of Marshall  
 SIGN PERMIT APPLICATION



① Front projecting wall sign



Address: 323 W Michigan Ave, Marshall, Michigan 49068

City of Marshall  
SIGN PERMIT APPLICATION

Front property  
Back flat  
Wall sign on  
overhang -  
per art

AS OF JULY 1, 2023 ANY WORK COMPLETED BEFORE PERMIT IS ISSUED WILL BE SUBJECT TO A FEE OF DOUBLE

THE PERMIT FEE, UP TO \$5000

Any work covered before permit was pulled will require contractor/owner to uncover work.

Date of Application: 11/16/24

1. Job Location

Name of Owner/Agent Sue Darnon - owner	Business Name Vene 19 2ere9
Street Address & Job Location (Street No. and Name) 118 N. Eagle St. Marshall MI	

2. Contractor/Property Owner Information

Name of Owner or Company Sign Writer - Signs	Email Address Jane@signwriterk200.com
Address (Street No. and Name) 633 W. Michigan Ave	City Kalamazoo
State MI	Zip Code 49007
Cell Phone Number 269-720-1795	Fax Phone number 269-207-0514

Submit the following information:

1. Drawing(s) showing the dimensions of the sign(s) and overlay on property or on building.
2. Location of sign with dimensions showing distances from lot lines and structures.
3. Material Sign is being made of and how it will be anchored.
4. Freestanding and Business Center signs must have an engineer or architects stamp with wind load calculations and require a building permit.
5. If a new foundation is being proposed, a building permit is required in addition to the sign permit.

Zoning District: Sign Cost:

New		Existing	
Type of Sign	Length & Width	Sq. Ft.	Height
Wall sign	4" deep	3' x 2.5'	9"
	going on awning		
	internal illumination		

Existing		New	
Type of Sign	Length & Width	Sq. Ft.	Height

Types of Signs	Directional	Pylon	Ground	Wall
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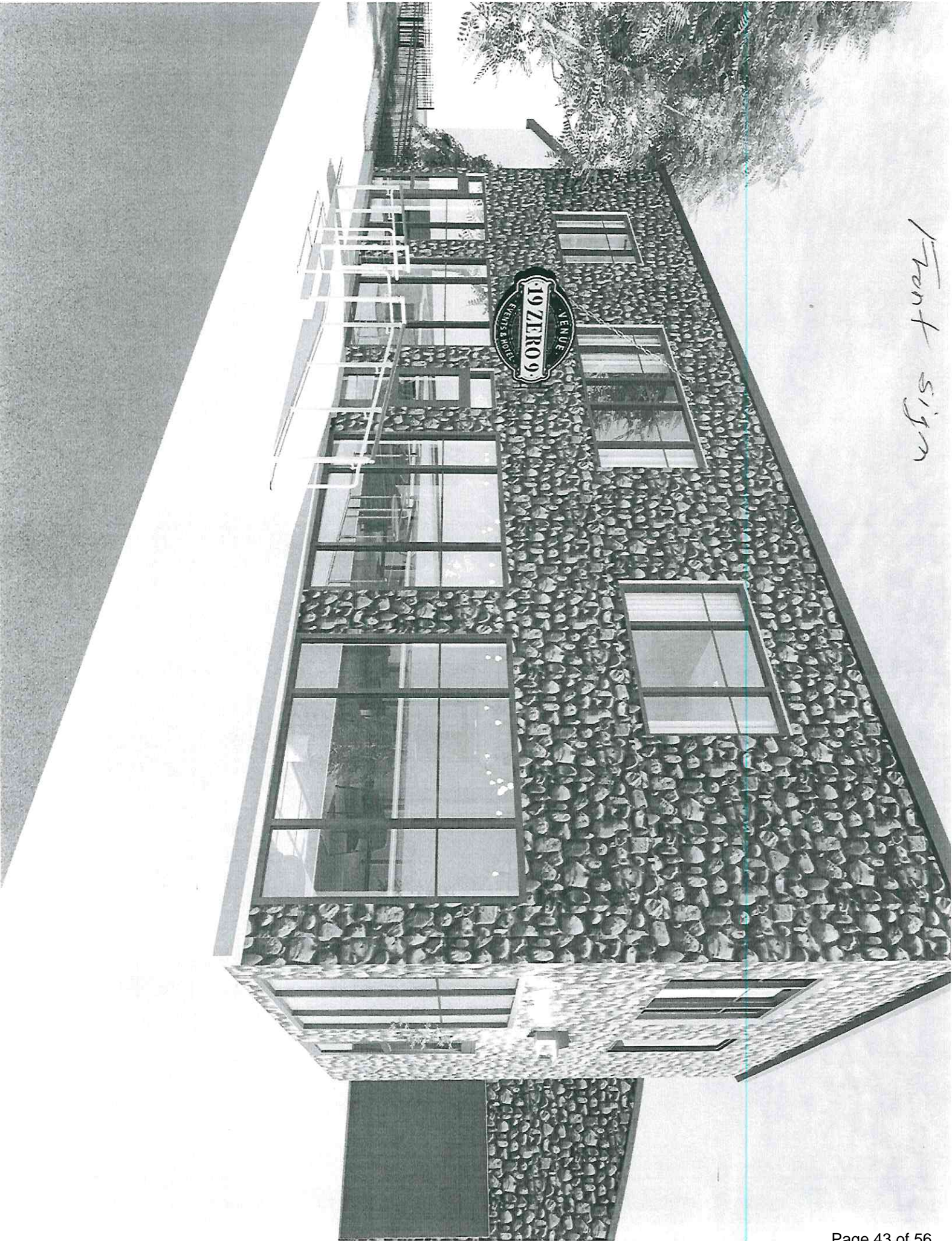
Building Permit Required Yes  No   
Electric Permit Required Yes  No

Reason for Denial:

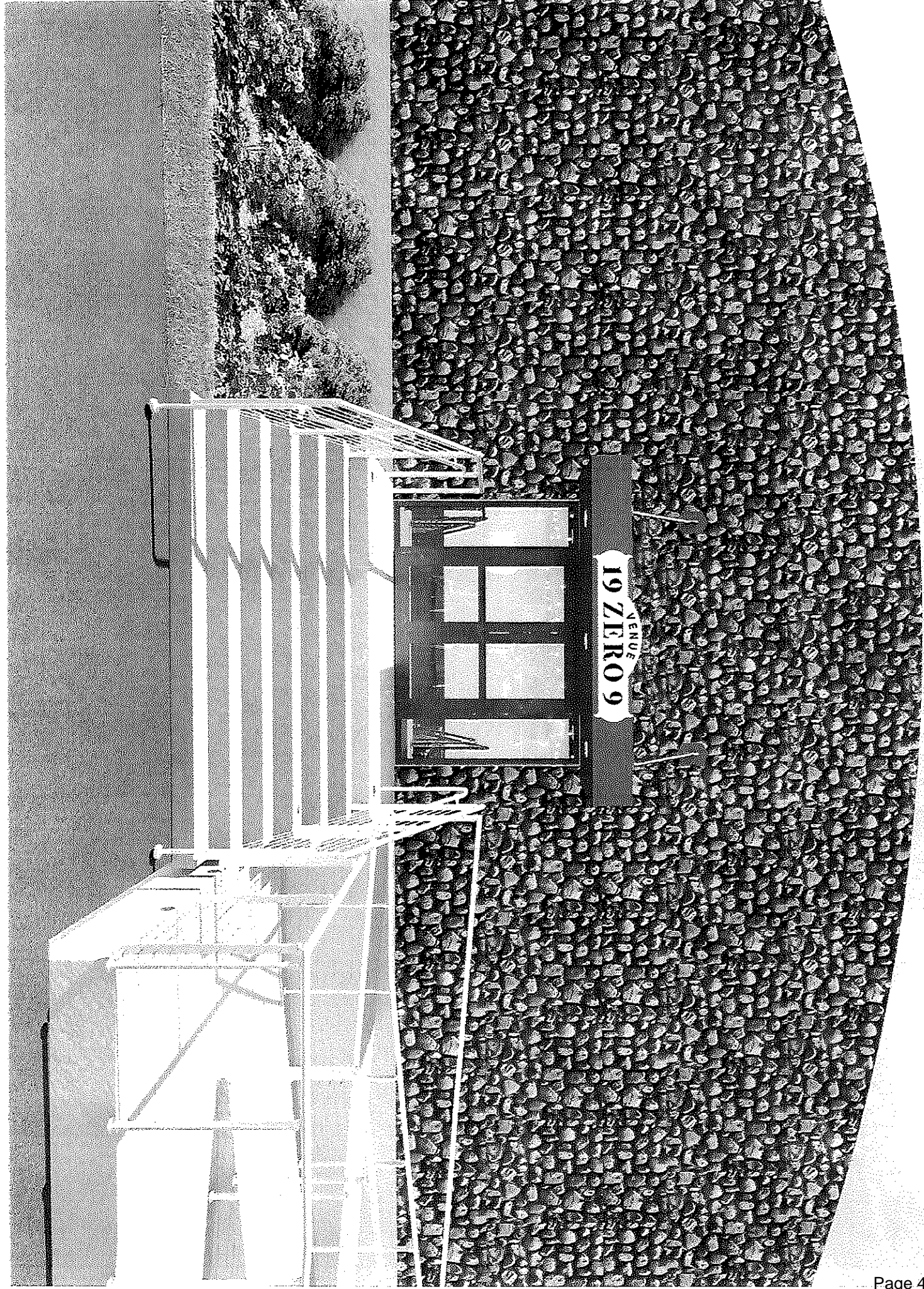
Circle one: Approved  Denied

Plan Reviewer Signature

See back for permit fees



Front sign

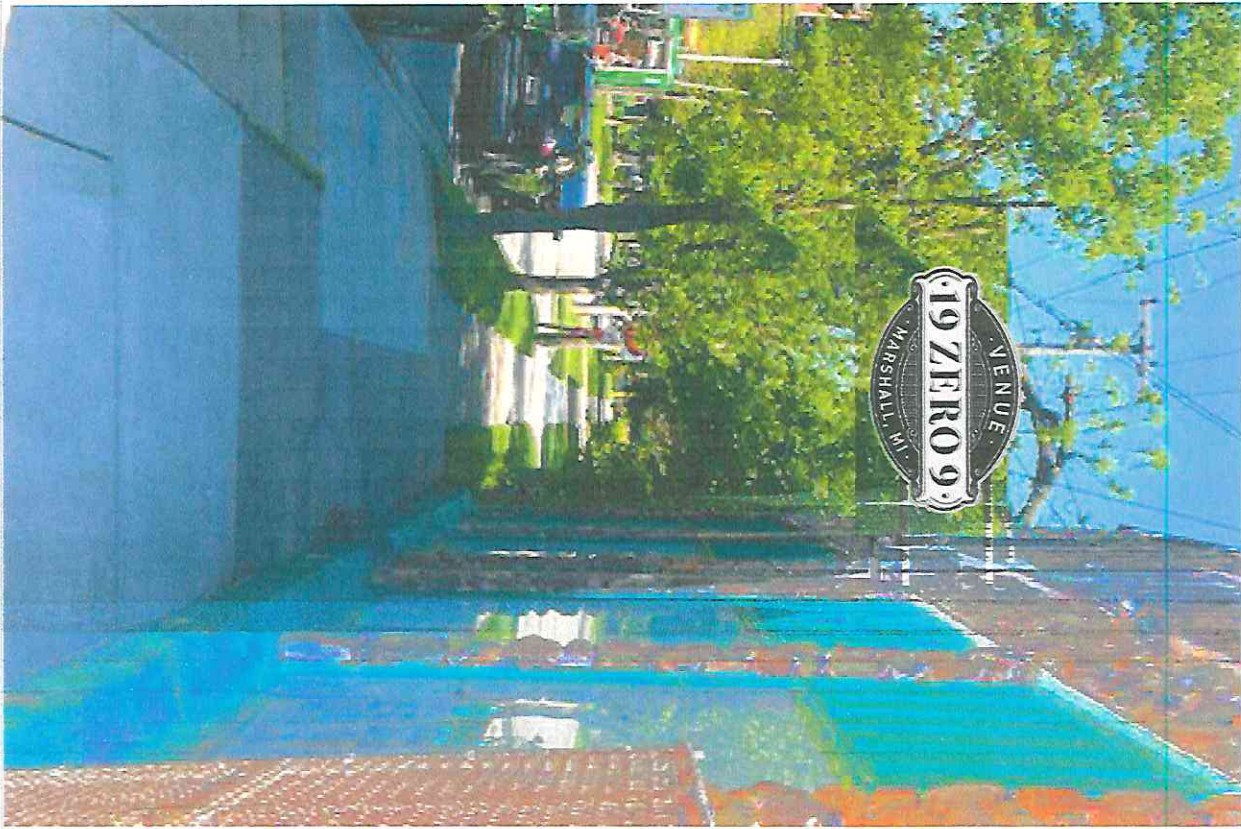


*Back 5197*

Venue 19 ZERO 9

front -  
back -

SignWriter



SignWriter  
SIGNS OF DISTINCTION  
633 W RICHFIELD AVE  
TOLAMON, MI 48067  
269-373-6640

Sign Writer  
Mark Wrench  
269-207-2514



19 ZERO 9  
BACK ENTRANCE SIGN

SIMULATED FROSTED GLASS BACKGROUND  
RAISED BLACK LETTERS WITH LIGHTS BEHIND LETTERS CREATING A GLOW AROUND LETTERS

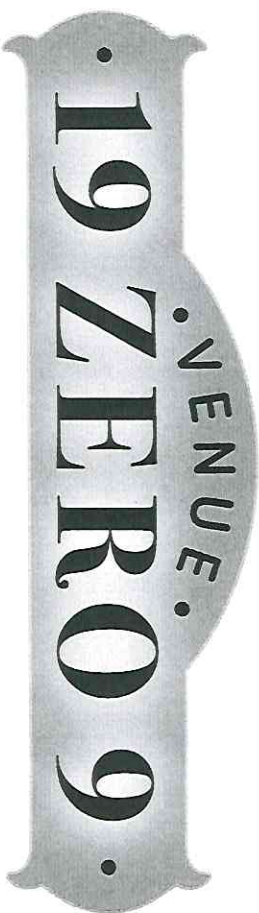
*Signs Whiter  
Back sign for  
attachment to  
awning.*



DAY



NIGHT



SCALE: 1MM = 1"



ZBA Dimensional Variance Request  
1.16.2025

### **Front Sign – N. Eagle St.**

1. Strict Compliance with the specified dimensional standard(s) will deprive the applicant of rights commonly enjoyed by other property owners in the same zoning district, create an unnecessary burden on the applicant, or unreasonably prevent the owner from using the property for a permitted purpose.

- We aim for the signage to be visible from both Michigan Avenue and North Eagle. Given the distance from Michigan Avenue, a larger sign is necessary, exceeding the size permitted by the current sign ordinance. The original sign, which was recently removed, measured 21 square feet—larger than the 18-square-foot sign now proposed (40" x 65"). Unfortunately, the original sign was too deteriorated to be refurbished or repurposed.

2. The variance will do substantial justice to the applicant, as well as to other property owners, and a lesser variance than requested will not give substantial relief to the applicant or be consistent with justice to other property owners.

- The variance will enhance the venue's visibility while maintaining a reasonable size for the property. As mentioned earlier, the proposed sign has less square footage than the previous one. Additionally, the new design features a rounded shape rather than a rectangular one, which can make square footage calculations appear larger than how the sign will actually look on the building. A smaller variance would not provide adequate relief.

3. The need for the variance is due to unique circumstances peculiar to the land or structures involved that are not applicable to other land or structures in the same district.

- The building's location and the desired visibility of the signage are key factors. The objective is to help visitors in the community easily find the venue from Michigan Avenue, turning it into a destination that attracts newcomers to Marshall. The variance will also create a visual connection with Schuler's Restaurant, acting as a recognizable landmark and simplifying directions for guests. Prominent and clear signage is crucial to achieving this visual and functional connection.

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Marshall, MI 49068**

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4. The problem and resulting need for the variance has not been self-created by the applicant or the applicant's predecessors.

- Our original plan was to retain and refurbish the existing sign to suit our needs. However, upon closer inspection, we found that the sign's condition was too deteriorated to be rebuilt.

5. The variance will not cause significant adverse impacts to adjacent properties, the neighborhood or the City and will not create a public nuisance or materially impair public health, safety, comfort, morals or welfare.

- The requested variance will not create any negative impacts or compromise public health, safety, comfort, morals, or welfare. The plan is for the sign to be illuminated similarly to the Rustica sign included in the provided materials. The proposed small, downward-facing lights will not affect the surrounding neighbors or neighborhood but will enhance visibility from Michigan Avenue during evening hours. The brightness of these lights will remain comparable to the required entrance lighting which will be directly below the sign.

6. The alleged hardship and practical difficulties that will result from a failure to grant the variance include substantially more than mere inconvenience, or an inability to attain a higher financial return.

- Signage is a crucial element in helping our guests locate the space, and having a sign that aligns with the quality and aesthetic of the building is essential. Significant investment, time and care have gone into restoring this once-dilapidated building in our downtown, and the sign should reflect the same level of attention and detail.

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### **Rear/Parking Lot Sign**

1. Strict Compliance with the specified dimensional standard(s) will deprive the applicant of rights commonly enjoyed by other property owners in the same zoning district, create an unnecessary burden on the applicant, or unreasonably prevent the owner from using the property for a permitted purpose.

- Our goal is for the signage to be easily visible from the alley and city parking lot. To achieve this, a larger sign is required, which exceeds the size allowed under the current sign ordinance.

2. The variance will do substantial justice to the applicant, as well as to other property owners, and a lesser variance than requested will not give substantial relief to the applicant or be consistent with justice to other property owners.

- The variance will improve the venue's visibility while keeping the sign appropriately scaled for the property. Although the sign exceeds the permitted size, it aligns with the signage used by other businesses in the parking lot and alley area.

3. The need for the variance is due to unique circumstances peculiar to the land or structures involved that are not applicable to other land or structures in the same district.

- The location of the building and the need for clear signage visibility are crucial considerations. The goal is to ensure visitors from the community can easily locate and recognize the venue from the city parking lot.

4. The problem and resulting need for the variance has not been self-created by the applicant or the applicant's predecessors.

- There was no prior signage on this side of the building. The plan is to install this sign within the awning above the door, minimizing the coverage of the natural stone that would otherwise be obscured by a flat sign.

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5. The variance will not cause significant adverse impacts to adjacent properties, the neighborhood or the City and will not create a public nuisance or materially impair public health, safety, comfort, morals or welfare.

- The requested variance will have no negative impact on public health, safety, comfort, morals, or welfare. The sign will be internally illuminated, ensuring it does not disrupt the surrounding neighbors or neighborhood. Its brightness will be comparable to the required entrance lighting directly below the sign and significantly dimmer than the newly installed streetlight located approximately 25 feet away on the southeast corner of the building.

6. The alleged hardship and practical difficulties that will result from a failure to grant the variance include substantially more than mere inconvenience, or an inability to attain a higher financial return.

- Signage is a crucial element in helping our guests locate the space, and having a sign that aligns with the quality and aesthetic of the building is essential. Significant investment, time and care have gone into restoring this once-dilapidated building in our downtown, and the sign should reflect the same level of attention and detail.

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