

PLANNING COMMISSION AGENDA

Regular Meeting

January 8, 2025 at 7:00 PM



- 1) **CALL TO ORDER**
- 2) **ROLL CALL**
- 3) **APPROVAL OF MINUTES** - Items can be added or deleted from the Agenda by board action.
 - A. Approval of December 11, 2024 Meeting Minutes
- 4) **APPROVAL OF AGENDA** - Items can be added or deleted from the Agenda by board action.
- 5) **PUBLIC COMMENT ON AGENDA ITEMS** Persons addressing the board are required to give their name and address for the record when called upon by the Chair. Members of the public shall be limited to speaking for a maximum of five (5) minutes. Comments should address AGENDA ITEM topics. Public Hearing items should be addressed during the PUBLIC HEARING portion of the meeting agenda. Non-Agenda items should be addressed during the PUBLIC COMMENT-NON-AGENDA ITEMS portion of the meeting agenda.
- 6) **COMMISSION ORGANIZATION**
 - A. ELECTION OF OFFICERS
 - B. JOINT PLANNING COMMISSION APPOINTMENTS
- 7) **PUBLIC HEARINGS & SUBSEQUENT BOARD ACTION**
 - A. 2025 - CAPITAL IMPROVEMENT PLAN PUBLIC HEARING
- 8) **OLD BUSINESS**
- 9) **REPORTS AND RECOMMENDATIONS/NEW BUSINESS**
 - A. 1154 WEST MICHIGAN AVE SITE DEVELOPMENT PLANS - INTRODUCE AND SET PUBLIC HEARING
 - B. DISCUSS EAST PROSPECT VACATION
- 10) **PUBLIC COMMENT ON NON-AGENDA ITEMS** Persons addressing the board are required to give their name and address for the record when called upon by the Chair. Members of the public shall be limited to speaking for a maximum of five (5) minutes. Comments should address NON-AGENDA ITEM topics. Public Hearing items should be addressed during the PUBLIC HEARING portion of the meeting agenda. Agenda items should be addressed during the PUBLIC COMMENT-AGENDA ITEMS portion of the meeting agenda.
- 11) **BOARD REPORTS**
- 12) **ADJOURNMENT**

PLANNING COMMISSION MINUTES

December 11, 2024
Regular Meeting - 7:00 PM

1) CALL TO ORDER

IN A REGULAR SESSION held on Wednesday, December 11, 2024 at 7:00 PM in the Council Chambers of City Hall, 323 West Michigan Ave, Marshall, MI 49068, the Marshall Planning Commission was called to order by Chair McNiff.

2) ROLL CALL

Roll was called:

Present: Chair McNiff, Vice Chair Banfield, Bright, Fitzgerald, Hodo, Stewart, Zuck

Also Present: Council Liaison Wolferberger, Deputy Clerk Cary

Absent: Longyear

3) APPROVAL OF MINUTES - Items can be added or deleted from the Agenda by board action.

A. Approval of September 11, 2024 Meeting Minutes.

Moved by Aron Hodo, supported by Ian Stewart to approve the September 11, 2024 meeting minutes. On a voice vote: **Motion carried.**

B. Approval of November 13, 2024 Meeting Minutes

Moved by Tim Banfield, supported by Tim Fitzgerald to amend the minutes to correct the spelling of Banfield in the Call to Order and approve the November 13, 2024 minutes as amended. On a voice vote: **Motion carried.**

4) APPROVAL OF AGENDA - Items can be added or deleted from the Agenda by board action.

Moved by Jim Zuck, supported by Aron Hodo to approve the agenda as presented. On a voice vote: **Motion carried.**

5) PUBLIC COMMENT ON AGENDA ITEMS Persons addressing the board are required to give their name and address for the record when called upon by the Chair. Members of the public shall be limited to speaking for a maximum of three (3) minutes. Comments should address AGENDA ITEM topics. Public Hearing items should be addressed during the PUBLIC HEARING portion of the meeting agenda. Non-Agenda items should be addressed during the PUBLIC COMMENT-NON-AGENDA ITEMS portion of the meeting agenda.

6) PUBLIC HEARINGS & SUBSEQUENT BOARD ACTION

NONE

7) OLD BUSINESS

8) REPORTS AND RECOMMENDATIONS/NEW BUSINESS

A. SET PUBLIC HEARING FOR CAPITAL IMPROVEMENT PLAN.

Director of Community Development Strange presented the proposed 2025-31 Capital Improvement Plan, with the intent of having a Public Hearing for the 2025-31 Capital Improvement Plan.

Moved by Tim Banfield, supported by Ian Stewart to Introduce the 2025-31 Capital Improvement Plan and set a Public Hearing for January 8, 2025. On a voice vote: **Motion carried.**

B. Approve meeting schedule for 2025.

Moved by Tim Banfield, supported by Tim Fitzgerald to approve the presented schedule of meetings for the Planning Commission and the joint Planning Commission meetings for 2025.

On a voice vote: **Motion Carried.**

- 9) PUBLIC COMMENT ON NON-AGENDA ITEMS** Persons addressing the board are required to give their name and address for the record when called upon by the Chair. Members of the public shall be limited to speaking for a maximum of three (3) minutes. Comments should address NON-AGENDA ITEM topics. Public Hearing items should be addressed during the PUBLIC HEARING portion of the meeting agenda. Agenda items should be addressed during the PUBLIC COMMENT-AGENDA ITEMS portion of the meeting agenda.

NONE

10) BOARD REPORTS

Director Strange introduced the new Deputy Clerk Brandie Cary.

Banfield questioned electing the chair and vice chair of the board and appointing members to the Joint Planning Commission.

Wolfersberger stated that it would be his last meeting with the board and thanked them.

11) ADJOURNMENT

The meeting was adjourned at 7:19 pm.

Respectfully submitted by,

Brandie Cary
Deputy Clerk



ITEM 7.A

TO: Planning Commission
FROM: Marcia Strange, Director of Community Development
William Dopp, Finance Director/ City Treasurer

DATE: January 8, 2025
SUBJECT: 2025 - CAPITAL IMPROVEMENT PLAN PUBLIC HEARING

This is the public hearing for the 2025 Capital Improvement Plan for the City of Marshall. Approval is being requested for the plan which outlines the anticipated

RECOMMENDATION:
Approve the 202 Capital Improvement Plan for the City of Marshall.

FUND	Department	Project Title	Priority Ranking	Estimated Useful Life	Source of Funding	Project Narrative/Purpose	2025-2026 Expenditure	2026-2027 Expenditure	2027-2028 Expenditure	2028-2029 Expenditure	2029-2030 Expenditure	2030-2031 Expenditure	City Expenditure	Other Funds or Grant Share	Total Expenditure
101	DPW	Facility Needs Assessment	2	10	General Fund	Facility Assessment and Planning The DPW building does not meeting the City's needs due to design and condition. The first step in determining how to move forward is to complete an assessment/review of the Departments needs.	\$40,000						\$40,000		\$40,000
101	DPW	Facility: Material Storage Building		175	General Fund	New Storage Building Material Storage for Salt, Sand, Top Soil, Gravel.		\$100,000					\$100,000		\$100,000
101	DPW	Equipment		15	General Fund	Asphalt Hot Box Trailer Replace inoperable hot box Without hot box, asphalt patch material cools very quickly which results in bad pothole patching and material waste.	\$50,000						\$50,000		\$50,000
101	Engineering	GIS and Cityworks Support		20	Various	GIS & Cityworks Support Anticipated growth will result in the need for GIS and Cityworks supports in the engineering department.	\$30,000	\$30,000	\$30,000	\$30,000			\$120,000		\$120,000
101	Engineering	MAJOR Campus Stormwater District		20	Various	Stormwater District The City of Marshall will be responsible for the operation and maintenance of a stormwater management system that supports the MAJOR Campus. The system consists of stormwater conveyance infrastructure and two large stormwater basins. The conveyance infrastructure includes open swales and ditches and a variety of culverts, all of which total over 5,000 feet of conveyance structures. The stormwater basins total approximately 60 acres in size.	\$75,000	\$75,000	\$75,000	\$75,000	\$75,000	\$75,000	\$450,000		\$450,000
101	Engineering	Engineering Standards		20	Various	Engineering Standards Develop standard details and specifications for water, wastewater, stormwater, and roads.	\$50,000						\$50,000		\$50,000
101	Engineering	Asset Management Plan(s)		20	Various	Asset Management Program and Plans Develop a city-wide asset management program that would identify the level of service, goals, and overall standardization of Asset Management Plans. Complete the water, sewer, stormwater, and roads asset management plans.		\$60,000	\$70,000				\$130,000		\$130,000
101	PSB	Building Expansion	2	10	General Fund	Building Expansion Planning Analyze existing building for current and future use. Use facility assesment to determine future needs. Develop conceptual plan for expansion of facility to meet needs.			\$75,000				\$75,000		\$75,000
101	PSB	Facility Assessment	2	10	General Fund	Building Expansion Planning Analyze existing building for current and future use. Use facility assesment to determine future needs. Develop conceptual plan for expansion of facility to meet needs		\$50,000					\$50,000		\$50,000
101	PSB	Building Improvements	1	40	General Fund	Building Expansion Planning Analyze existing building for current and future use. Use facility assesment to determine future needs. Develop conceptual plan for expansion of facility to meet needs	\$30,000						\$30,000		\$30,000
101	PSB	Building Roof	1	35	General Fund	Building Expansion Planning Analyze existing building for current and future use. Use facility assesment to determine future needs. Develop conceptual plan for expansion of facility to meet needs				\$300,000			\$300,000		\$300,000
101	PSB	Engineering- Office HVAC	1	5	General Fund	Building Expansion Planning Analyze existing building for current and future use. Use facility assesment to determine future needs. Develop conceptual plan for expansion of facility to meet needs	\$25,000						\$25,000		\$25,000
101	PSB	Replace Garage/Warehouse Heat and Lighting	1	25	General Fund	Building Expansion Planning Analyze existing building for current and future use. Use facility assesment to determine future needs. Develop conceptual plan for expansion of facility to meet needs	\$250,000						\$250,000		\$250,000
101	PSB	Replace HVAC	2	5	General Fund	Building Expansion Planning Analyze existing building for current and future use. Use facility assesment to determine future needs. Develop conceptual plan for expansion of facility to meet needs		\$50,000					\$50,000		\$50,000

FUND	Department	Project Title	Priority Ranking	Estimated Useful Life	Source of Funding	Project Narrative/Purpose	2025-2026 Expenditure	2026-2027 Expenditure	2027-2028 Expenditure	2028-2029 Expenditure	2029-2030 Expenditure	2030-2031 Expenditure	City Expenditure	Other Funds or Grant Share	Total Expenditure
101	PSB	Carpet Replacement	2	12	General Fund	Building Expansion Planning Analyze existing building for current and future use. Use facility assesment to determine future needs. Develop conceptual plan for expansion of facility to meet needs		\$30,000					\$30,000		\$30,000
101	PSB	Parking and Driveways	1	12	General Fund	Building Expansion Planning Analyze existing building for current and future use. Use facility assesment to determine future needs. Develop conceptual plan for expansion of facility to meet needs				\$25,000			\$25,000		\$25,000
101	PSB	Parking and Driveways	1	25	General Fund	Building Expansion Planning Analyze existing building for current and future use. Use facility assesment to determine future needs. Develop conceptual plan for expansion of facility to meet needs						\$100,000	\$100,000		\$100,000
101	City wide	S Kalamazoo Pathway - River District	2	20	General Fund	Building Expansion Planning Analyze existing building for current and future use. Use facility assesment to determine future needs. Develop conceptual plan for expansion of facility to meet needs						\$1,000,000	\$500,000	\$500,000	\$1,000,000
101	City wide	Sidewalk repairs		20	General Fund	Building Expansion Planning Analyze existing building for current and future use. Use facility assesment to determine future needs. Develop conceptual plan for expansion of facility to meet needs	\$50,000	\$50,000	\$50,000	\$50,000	\$50,000	\$50,000	\$300,000		\$300,000
							\$600,000	\$445,000	\$300,000	\$480,000	\$125,000	\$1,225,000	\$2,675,000	\$500,000	\$3,175,000
101	Parks	Stuarts Landing Improvements	3	30	Grants & other	Rehabilitation of Stuart's Landing including the following updates: replace canoe/kayak launch, a new shelter, a linear path around the site, improved shoreline and river access, and related improvements.			\$910,000				\$0	\$910,000	\$910,000
101	Parks	Repair Brooks Fountain	1	25	General Fund	The Brooks Fountain structural repairs.			\$750,000	\$750,000	\$500,000		\$2,000,000		\$2,000,000
101	Parks	Carver Park Fountain Replacement/Repair	2	30	General Fund	Carver Park Fountain replacement.						\$100,000	\$100,000		\$100,000
101	Parks	Riverwalk Repairs Phase 1B			General Fund	Replace structural beams along riverwalk. Fix and replace fencing and deckboards. Trim and remove trees throughout riverwalk.	\$200,000						\$50,000	\$150,000	\$200,000
101	Parks	Riverwalk Repairs Phase 2			General Fund	Replace structural beams along riverwalk. Fix and replace fencing and deckboards. Trim and remove trees throughout riverwalk.		\$200,000					\$50,000	\$150,000	\$200,000
101	Parks	Riverwalk Repairs Phase 2B			General Fund	Replace structural beams along riverwalk. Fix and replace fencing and deckboards. Trim and remove trees throughout riverwalk.			\$500,000				\$200,000	\$300,000	\$500,000
101	Parks	Riverwalk Repairs Phase 3			General Fund	Replace structural beams along riverwalk. Fix and replace fencing and deckboards. Trim and remove trees throughout riverwalk.				\$500,000			\$200,000	\$300,000	\$500,000
101	Parks	Riverwalk Repairs Phase 3B			General Fund	Replace structural beams along riverwalk. Fix and replace fencing and deckboards. Trim and remove trees throughout riverwalk.					\$500,000		\$200,000	\$300,000	\$500,000
101	Parks	Riverwalk Extension	3	30	General Fund	Extend Riverwalk west of Kalamazoo towards Historic Bridge Park, partner with County.						\$3,500,000	\$0	\$3,500,000	\$3,500,000
101	Parks	Athletic Field Renovations	2	7	General Fund	Athletic Field Resurface, clay replacement for pitching areas and batters boxes, level outfield with sand, replace all base pegs, new bases for all fields, fencing repairs.		\$150,000					\$50,000	\$100,000	\$150,000
101	Parks	Ketchum Park Great Lawn	2	50	General Fund	LOWER KETCHUM COMMONS AND PROMENADE Work related to the establishment of the lower lawn commons, drainage system, and its perimeter pedestrian walkway. Also included is the main path between parking on Montgomery Street and the Rotary Bridge. Construction Cost: \$143,000 Construction and Soft Costs: \$185,900.						\$1,285,900	\$0	\$1,285,900	\$1,285,900
101	Parks	North & South Ketchum Park Parking Lot	4	15	General Fund	Mill and repave parking lot/paint parking spots.			\$35,000				\$35,000		\$35,000
101	Parks	Sand Volleyball Court Renovations	2	20	General Fund	Replace all fencing at Volleyball courts, remove current sand and equipment. Replace with sugar sand. Replace post with new. Replace nets.		\$250,000					\$100,000	\$150,000	\$250,000
101	Parks	Skate Park Equipment	2	30	General Fund	Adding up to date & safe skateboard equipment to existing skatepark.	\$100,000						\$25,000	\$75,000	\$100,000
101	Parks	Athletic Field Playground Replacement	2	20	General Fund	Replace Old playground equipment.		\$75,000					\$25,000	\$50,000	\$75,000
101	Parks	North Ketchum Park Playground Replacement	2	20	General Fund	Replace Old playground equipment.			\$75,000				\$25,000	\$50,000	\$75,000
101	Parks	Shearman Park Playground Replacement	2	20	General Fund	Replace Old playground equipment.				\$75,000			\$25,000	\$50,000	\$75,000
101	Parks	Kids Kingdom Renovation	2	30	General Fund	Replace dilapidated equipment with new equipment @ Kids Kingdom. Update with state of the art play structure with accessible equipment for all.					\$1,000,000		\$0	\$1,000,000	\$1,000,000
TOTAL							\$300,000	\$675,000	\$2,270,000	\$1,325,000	\$2,000,000	\$4,885,900	\$3,085,000	\$8,370,900	\$11,455,900

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101	Clerk	Election Tabulators	1	10	General Fund	Replace existing 3 tabulators and Voter Assist Terminal, which have reached end of life, with new State and County approved equipment.		\$30,000					\$30,000		\$30,000
TOTAL							\$0	\$30,000	\$0	\$0	\$0	\$0	\$30,000	\$0	\$30,000
101	Fire	Self-Contained Breathing Apparatus	3	10	General Fund/Grants	Our current Self Contained Breathing Apparatus was purchased in the beginning of 2018. They have a life expectancy of 10 to 15 years. This is mandated by MIOSHA and is National Fire Protection Association and Manufactures recommendations. We will need to replace these by the end of 2031.						\$250,000	\$250,000		\$250,000
101	fire	Fire Hose	2	25 Years	General Fund	Replace Fire Hose.		\$30,000					\$30,000		\$30,000
101	Fire	Fire Station Roof	2	25 Years	General Fund	Repair Fire station Roof that was not installed Properly.	\$110,000						\$110,000		\$110,000
101	Fire	Auxiliary Fire Equipment	4	25	General Fund	We have auxiliary equipment such as compressor and fill station for SCBA Bottles and Oxygen Bottles and a hose washer for cleaning soiled fire hose after fires. These are items that will eventually need replaced in the future. They last a long time be we need to plan for replacement through the CIP. Is it better to plan a yearly contribution to CIP or just fund we needed if they need replaced.						\$75,000	\$75,000		\$75,000
TOTAL							\$110,000	\$30,000	\$0	\$0	\$0	\$325,000	\$465,000	\$0	\$465,000
101	Police	Taser Upgrade	3	5-7 years	General Fund	The Police Department issues each sworn officer the Axon Taser X-2 weapon as a less than lethal use of force option. National studies have shown the Taser as an effective means of applying force at a distance, thus minimizing the risks of injury to patrol officers from a physical altercation. Axon only warranties their devices for 5 years, and have typically phased in a newer model every five years. As they are a weapon that can cause injury or death, we should strive to keep the warranty in place. This is both for officer safety (if Taser malfunctions due to age), and to some degree of liability mitigation, as Taser may not legally support us if we are using an out of warranty device.			\$35,000				\$35,000		\$35,000
101	Police	Firearm Replacement	3	10-15 years	General Fund	Replacement of glock pistols and shot guns. Includes red dot sights, holsters and accessories.		\$30,000					\$30,000		\$30,000
101	Police	Community Camera Project	2	5-7 years	General Fund	A community camera program is an integrated camera system that will improve the safety of the Marshall Communtiy. The program includes surveillance cameras at the city parks, traffic cameras to monitor high traffic areas, and software that will use LPR, AI, and dispatch integration to assist law enforcement and first responders.		\$250,000					\$0	\$250,000	\$250,000
101	Police	MVR/Body Camera Change Over	1	5-7 years	General Fund	Moble Car Camera and Body Camera replacement.	\$140,000						\$140,000		\$140,000
TOTAL							\$140,000	\$280,000	\$35,000	\$0	\$0	\$0	\$205,000	\$250,000	\$455,000
202	Major Streets	Road Reconstruction		100	Act 51	South Marshall Street Michigan to Spruce Street Reconstruction the street from curb to curb, analyze for non-motorized improvements. Engineering Design FY26.	\$54,200	\$487,800					\$542,000		\$542,000
202	Major Streets	Partial Reconstruction		15	Act 51	East Green Street Marshall Ave - City Boundary Full reconstruction in area over the watermain, repair patches from franchise utility work, improveme non-motorized assets.				\$562,000			\$562,000		\$562,000
202	Major Streets	Road Reconstruction		100	Act 51	South Marshall Street Spruce to Clinton Reconstruction the street from curb to curb, analyze for non-motorized improvements, and assess the intersection of Spruce, S Marshall, and Exchange; will use MDOT Small Urban Program Funding Engineering Design FY26; application for Small Urban Grant FY26.	\$63,200	\$953,800					\$632,000	\$385,000	\$1,017,000

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202	Local Streets	Partial Reconstruction		15	Street Millage	Mulberry Prospect to Hanover Pair with watermain project						\$376,000	\$376,000		\$376,000
202	Local Streets	Partial Reconstruction		15	Street Millage	Forest St Allen to Sibley Pair with watermain project Possible new sidewalk installation						\$210,000	\$210,000		\$210,000
202	Local Streets	Partial Reconstruction		15	Street Millage	Sibley Lane Okeefe to Forest Partial Reconstruction Pair with Watermain Project						\$405,000	\$405,000		\$405,000
202	Local Streets	Road Partial Reconstruction	2	100	Street Millage	North Gordon Street Mansion to Forest Full reconstruction for watermain trench, Partial reconstruction on remaining road area.					\$535,000		\$535,000		\$535,000
202	Local Streets	Road Reconstruction		25	Street Millage	Rose St & Oak St Full Reconstruction Potential non-motorized improvements Pair with Watermain Project						\$497,000	\$497,000		\$497,000
203	Local Streets	Road Partial Reconstruction	2	25	Act 51	High Street Forest to Michigan Ave Full reconstruction for portion of watermain replacement. Partial reconstruction on remainder of road.					\$566,000		\$566,000		\$566,000
203	Local Streets	Fountain St. Paving	2	25	Act 51	Fountain Street Michigan to Hanover Rehabilitation Construction to follow completion of the Recreation Fields Pickleball and Splash Pad Project.		\$130,000					\$130,000		\$130,000
TOTAL							\$117,400	\$1,571,600	\$0	\$562,000	\$1,101,000	\$1,488,000	\$4,455,000	\$385,000	\$4,840,000
207	MRLEC	Front Parking Lot Expansion	3	40	MRLEC Operations	A need for additional parking has been identified at MRLEC. There are numerous times each month where the parking lot is overflowing because of trainings or events at MRLEC. The expansion will help solve this issue. The estimated cost (with assistance of the Marshall DPW) of expanding the parking lot is \$50,000. The new section will be added to the 5 year maintenance schedule for resurfacing.	\$100,000						\$35,000	\$65,000	\$100,000

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207	MRLEC	MRLEC Barn Expansion	1	40	MRLEC Operations	The MRLEC agencies have identified a need for an added secured storage area for vehicles held for evidence. Currently we are all being asked to hold vehicles for evidence when involved in major crimes. The delayed time frame is leading to vehicles being parked in the storage area of our shared barn. An addition is being proposed to be added to the MRLEC barn to individually secure 8-10 vehicles. The building would be on the east side of the building and would require new construction.		\$250,000					\$87,500	\$162,500	\$250,000
TOTAL							\$100,000	\$250,000	\$0	\$0	\$0	\$0	\$122,500	\$227,500	\$350,000
208	Recreation	Replacement of Athletic Field Light System	3	30	Recreation Fund	The current lights on diamond #1 & #2 are approaching the end of their expected life. The entire system should be replaced.			\$350,000				\$350,000		\$350,000
208	Recreation	Seal Coating Athletic Field Parking Lot & Pathways. Striping of Parking Lot	4	12	Recreation Fund	Seal Coating Athletic Field Parking Lot & Pathways is considered routine maintenance.	\$50,000				\$50,000		\$100,000		\$100,000
208	Recreation	Athletic Fields- Batting Cages	2	15	Recreation Fund	Two batting cages-35'x70'			\$30,000				\$30,000		\$30,000
208	Recreation	Recreation Athletic Facility	4	30	Grants/Fund Raising	Construction of a Recreation Center that would include 2 basketball courts, community room, etc.						\$6,000,000	\$6,000,000		\$6,000,000
TOTAL							\$50,000	\$0	\$380,000	\$0	\$50,000	\$6,000,000	\$6,480,000	\$0	\$6,480,000
211	Farmer's Market	Farmers Market Project	2	20	Grants / Fundraising	Replace old storage shed w/ newer larger shed 12x20 add electric throughout market area.	\$25,000							\$25,000	\$25,000
211	Farmer's Market	Farmer's Market Pavilion	3	40	Farmer's Market/Donations	Farmer's Market pavilion will include a covered area for the farmer's market. The space design will consider supporting a winter market, event space (in conjunction with social district), and maintaining parking.			\$1,000,000				\$500,000	\$500,000	\$1,000,000
TOTAL							\$25,000	\$0	\$1,000,000	\$0	\$0	\$0	\$500,000	\$525,000	\$1,025,000
247	NE NIA	Eastside Redevelopment Infrastructure	1	20	NIA TIF Capture	Infrastructure necessary to allow the redevelopment of the Land Bank property off of East Dr/Mann. Extension of water, sewer, storm sewer, roads, and sidewalks for the development. Does not include electric or fiber extension at this time.		\$1,341,900					\$1,341,900		\$1,341,900
247	NE NIA	Mann Extension	3	20	NIA TIF Capture	Infrastructure necessary to allow the extension of Mann to O'Keefe allowing the development of 10 acres for additional housing opportunities. Extension of water, sewer, storm sewer, roads, and sidewalks for the development.	\$1,520,700						\$1,520,700		\$1,520,700
247	NE NIA	Pratt Park Future Phases	3	20	NIA TIF Capture	Infrastructure necessary to allow for the development of future phases of Pratt Park for housing opportunities. Extension of water, sewer, storm sewer, roads, and sidewalks for the development.				\$3,172,800			\$3,172,800		\$3,172,800
TOTAL							\$1,520,700	\$1,341,900	\$0	\$3,172,800	\$0	\$0	\$6,035,400	\$0	\$6,035,400
248	Downtown Development Authority	North Activation Zone	2	30	DDA Revenues/Grants	The proposed Social Area will be a 4,000 square foot community area with tables and chairs in the northern portion of lot 10 along the south alley. The proposed trash component will be a coral for business use. The businesses to be served are those located along Michigan Avenue between Eagle Street and Jefferson Streets.			\$500,000	\$100,000			\$600,000		\$600,000
248	Downtown Development Authority	DDA Parking Lots (8,13,14,15)	2	15	DDA Revenues	Mill and pave downtown parking lots #8, 13, 14, 15.		\$78,400					\$78,400		\$78,400
248	Downtown Development Authority	DDA Parking Lots (1, 4, 5, 6, 7)	2	20	DDA Revenues	Mill and pave downtown parking lots #1, 4, 5, 6, 7.	\$115,200						\$115,200		\$115,200
248	Downtown Development Authority	Sound System Upgrades	3	15	DDA Revenues	Improve the downtown sound system and incorporate cameras for events and security. This is an estimate as this has not been explored with vendors at this time.	\$90,000						\$90,000		\$90,000

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TOTAL							\$205,200	\$78,400	\$500,000	\$100,000	\$0	\$0	\$883,600	\$0	\$883,600
250	LDFA	Oliver Drive Extension	3	30	LDFA reserves and possible Bond	Extension of Oliver Drive, water, and sewer infrastructure to serve over 100 acres of undeveloped Industrial zoned property.				\$550,000			\$550,000		\$550,000
250	LDFA	Udell Property Lift Station	3	30	LDFA reserves and possible Bond	Addition of a new sanitary lift station to serve 100+ acres of Industrial zoned property. Exact location of station on property to be determined.			\$400,000				\$400,000		\$400,000
250	LDFA	Land Acquisition	2	50	LDFA reserves and possible Bond	Explore land aquisition possibilities.	\$500,000						\$500,000		\$500,000
250	LDFA	Pedestrian Path LDFA	2	15	LDFA reserves and possible Bond	Construction of an 10' wide patch connecting the Industrial Park to the south NIA and rest of town. Council has made a goal of increased walkability and we have seen an increased level of pedestrian activity to and from the Industrial Park.		\$166,700					\$166,700		\$166,700
250	LDFA	Pratt Avenue Rehabilitation	2	15	LDFA reserves and possible Bond	Mill and overlay of Pratt Avenue as it will be in need of maintenance due to age and condition.	\$413,500						\$413,500		\$413,500
TOTAL							\$913,500	\$166,700	\$400,000	\$550,000	\$0	\$0	\$2,030,200	\$0	\$2,030,200
251	S NIA	Hughes Street Infrastructure Extension	3	30	S NIA TIF Capture	Extension of sewer, electric, fiber, streets, etc. to add or create buildable lots.	TBD						\$0		TBD
251	S NIA	Emerald Hills Phase 2	1	20	S NIA TIF Capture	Extension of sewer, electric, fiber, streets, etc. to add or create buildable lots.	\$2,161,700						\$2,161,700		\$2,161,700
251	S NIA	Emerald Hills Phase 3	1	20	S NIA TIF Capture	Infrastructure necessary to allow the construction of the third phase of the emerald hills subdivision which includes the planned multi-family units (6 buildings). Extension of water, sewer, storm sewer, roads, and sidewalks for the development.		\$780,000					\$780,000		\$780,000
251	S NIA	Emerald Hills Phase 4	1	20	S NIA TIF Capture	Infrastructure necessary to allow the construction of the fourth phase of the emerald hills subdivision which includes 42 housing units. Extension of water, sewer, storm sewer, roads, and sidewalks for the development.				\$1,142,100			\$1,142,100		\$1,142,100
251	S NIA	Emerald Hills Phase 5	1	20	S NIA TIF Capture	Infrastructure necessary to allow the construction of the fifth phase of the emerald hills subdivision which is 98 housing units. Extension of water, sewer, storm sewer, roads, and sidewalks for the development.					\$3,550,600		\$3,550,600		\$3,550,600
251	S NIA	Emerald Hills Pedestrian Path	3	15	S NIA TIF Capture	10' wide path built between Circle Drive and the Airport on the east side of South Kalamazoo. This would improve walkability for the proposed development, Fairway meadows, and the surrounding neighborhood. This would be a connection between downtown and the extension of a path from the airport to the industrial park (which is included in LDFA CIP).		\$118,300					\$118,300		\$118,300
TOTAL							\$2,161,700	\$898,300	\$0	\$1,142,100	\$3,550,600	\$0	\$7,752,700	\$0	\$7,752,700
295	Airport	Pavement Marking and Crack Sealing	1	10	General Fund 5%, FAA Allocation 90%, State 5%	Replacement of pavement markings and crack sealing as necessary. Participation in the MDOT crack sealing program to prolong the life of the airport runway and taxiways.	\$4,350			\$60,000			\$2,600	\$61,750	\$64,350
295	Airport	North Perimeter Fence	2	20	General Fund 5%, FAA Allocation 90%, State 5%	Design and installation of a fence on the north perimeter of the airport property for safety reasons (wildlife and proximity to new Emerald Hills Development.			\$21,500	\$350,000			\$19,000	\$352,500	\$371,500
295	Airport	North Apron and West Parallel Taxiway Rehabilitation	1	15	General Fund 5%, FAA Allocation 90%, State 5%	Engineering and Construction of North Apron and West Parallel Taxiway.	\$790,000						\$39,500	\$750,500	\$790,000
295	Airport	Airport Master Plan (ALP Update)	2	20	General Fund 5%, FAA Allocation 90%, State 5%	Update of the Airport Master Layout Plan which is used as a guide for future development on the airport grounds. Funding is \$225,000 Federal, \$12,500 State, and \$12,500 City.		\$250,000					\$12,500	\$237,500	\$250,000

FUND	Department	Project Title	Priority Ranking	Estimated Useful Life	Source of Funding	Project Narrative/Purpose	2025-2026 Expenditure	2026-2027 Expenditure	2027-2028 Expenditure	2028-2029 Expenditure	2029-2030 Expenditure	2030-2031 Expenditure	City Expenditure	Other Funds or Grant Share	Total Expenditure
295	Airport	Construction Hangar Taxiway	3	20	General Fund 5%, FAA Allocation 90%, State 5%	Construct a new hangar taxiway to provide access to new T-hangar buildings east of the current buildings. New hangars would be a partnership with a third party. Project would only move forward if hangars were constructed.	\$25,000	\$225,000					\$12,500	\$237,500	\$250,000
295	Airport	Main Hangar Improvements	1	25	General Fund 0%, FAA Allocation 95%, State 5%	The roof over the main hangar and the space leased by Griswold Aviation is nearing the end of life and needs to be replaced. The City would need to fund \$13,000 (2023 \$1250 and 2024 \$11,750) of the improvements and the Feds/State \$247,000 (2023 \$23,750 and 2024 \$223,250).	\$25,000	\$235,000					\$15,000	\$245,000	\$260,000
295	Airport	Land Acquisition	3	50	General Fund/LDFA	Purchase of 66.34 acres from the Udell Trust for airport and Industrial Park expansion. Purchase would have to be funded by City/LDFA and reimbursement for portion used by airport can be pursued using our annual allocation.		TBD	TBD						\$0
TOTAL							\$844,350	\$710,000	\$21,500	\$410,000	\$0	\$0	\$101,100	\$1,884,750	\$1,985,850
570	FiberNet	Vehicle	1	15	FiberNet Fund	Service Van	\$115,000						\$115,000		\$115,000
570	FiberNet	Vehicle	3	15	FiberNet Fund	Bucket Truck			\$125,000				\$125,000		\$125,000
570	FiberNet	Vehicle	3	15	FiberNet Fund	Bucket Truck					\$125,000		\$125,000		\$125,000
570	FiberNet	Network	1	10	FiberNet Fund	Equipment Network Upgrades	\$150,000	\$150,000	\$150,000				\$450,000		\$450,000
582	Electric	Network	4	10	FiberNet Fund	Expansion of Network				\$150,000	\$150,000	\$150,000	\$450,000		\$450,000
TOTAL							\$265,000	\$150,000	\$275,000	\$150,000	\$275,000	\$150,000	\$1,265,000	\$0	\$1,265,000
582	Electric	Replace Tie 1 and 2 underground cable	4	40 years	Electric Fund	A portion of the two main express feeder cables from Pearl St. Substation to the Powerhouse are underground and in a duct system. They have been in service for 35 years and have met their life expectancy. The feeder cables are the main source of power to the City's electric load and are the connection to the grid for the City's internal generation. Because they are a critical component of the electric system the cables should be modernized.						\$2,500,000	\$2,500,000		\$2,500,000
582	Electric	Replace Windows	3	50	Electric Fund	Existing Powerhouse windows are the original single pane steel framed and not energy efficient. Many of the window sills and frames are deteriorated to the point that water is coming in and further damaging the building. Architect plans will be done in 2024/2025 with replacments done in stages starting in 2025.	\$50,000	\$50,000	\$50,000	\$50,000	\$50,000	\$50,000	\$300,000		\$300,000
582	Electric	Pearl St. Substation 7.2/12.5 KV Upgrade	1	40	Electric Fund - Revenue Bond	Modernize obsolete 7.2/12.5 KV cubicle breaker and bus systems with open-air system to improve operations and increase safety.	\$1,050,000						\$1,050,000		\$1,050,000
582	Electric	Pole Replacement and Line Reconstruction	2	40	Electric Fund	Wooden poles have an estimated service life of 33-40 years. To maintain safe, reliable electric service, replacement of old and unsafe poles must be performed on an annual basis.	\$75,000	\$77,250	\$79,568	\$81,955	\$84,413	\$86,946	\$485,131		\$485,131
582	Electric	AMI Project	4	20	Electric Fund - Bond	The Automated Metering Infrastructure (AMI) Project consists of hardware, software, communications and metering that will allow electric meters to be read remotely, in the same manner that water meters are now read. The system is designed to reduce operating expenses and provide additional services to customers.						\$1,000,000	\$1,000,000		\$1,000,000
582	Electric	Underground Cable Replacement	2	40	Electric Fund	Replace 40 year old underground electric system in the Waldon Pond Apartment Complex, Homer Road, Circle/Rose/Lowe Subdivision & Polo Club Apartments, Hospital circiut.	\$530,450	\$546,364	\$562,754	\$579,637	\$597,026	\$614,937	\$3,431,168		\$3,431,168

FUND	Department	Project Title	Priority Ranking	Estimated Useful Life	Source of Funding	Project Narrative/Purpose	2025-2026 Expenditure	2026-2027 Expenditure	2027-2028 Expenditure	2028-2029 Expenditure	2029-2030 Expenditure	2030-2031 Expenditure	City Expenditure	Other Funds or Grant Share	Total Expenditure
582	Electric	Additional Local Generating Resources	3	50	Bond	The Power Plant's primary functions include emergency backup power in the event of a transmission system or substation failure, as well as helping meet Midcontinent Independent System Operator (MISO) capacity requirements that are based on the City's peak electric demand. The City's average demand is approximately 20 MW, and 2022 peak demand exceeded 29 MW. Additional generation to continue to help meet the City's MISO capacity obligations while also providing additional emergency backup service.						\$3,600,000	\$3,600,000		\$3,600,000
582	Electric	Distribution Tranformer Replacements	3	40	Electric Fund	The estimated service life of electric distribution system transformers is 25-40 years. The City has numerous electric distribution system transformers that are approaching or exceed 40 years of service. Some are live-front transformers with exposed cable and terminals, which are dangerous to staff and the public. In addition to new growth and voltage conversion, proactively replacing old transformers rather than running to failure is a goal of the department.	\$210,000	\$220,500	\$231,525	\$243,101	\$255,256	\$268,019	\$1,428,402		\$1,428,402
582	Electric	Rewind Hydroelectric Generating Units #1 and #3	1	50	Electric Fund	Hydroelectric Generating Unit #3 was installed in 1919. Unit #1 was installed in 1928. Neither unit appears to have been rewound since they were installed. Unit #1 generator windings were tested and inspected earlier this year. Visual inspection shows insulating material flaking off of the generator windings. Based on megger tests, the windings insulation appears to be failing. The City received two 2023 quotes for rewinding Hydroelectric Unit #1 generator at a cost of approximately \$250,000. Rewinding the generator will improve its reliability and also result in increased capacity, and energy and Renewable Energy Credits/Certificates (RECs) production. Unit #1 generator rewind is scheduled for FY2025, followed by Unit #3 rewind in FY2026.		\$250,000					\$250,000		\$250,000
582	Electric	Circuit Upgrade / Voltage Upgrade	2	50	Electric Fund	The municipal electric distribution system currently has two operating voltages, 4,160 volts and 12,470 volts. Circuits on each system cannot be directly tied together for maintenance and reliability purposes, limiting operational flexibility and reliability. The 4,160-volt system has greater resistance losses and less power-carrying capability than if its circuits were operated at 12,470 volts. Staff estimates approximately one-half of the electric distribution system operates at 4,160 volts. These 4,160-volt circuits should be upgraded to 12,470-volt operation as time and funds allow.	\$412,000	\$424,360	\$437,091	\$450,204	\$463,710	\$477,621	\$2,664,985		\$2,664,985
582	Electric	Vehicle and Equipment Replacement	2	15	Electric Fund	Electric Department vehicles are no longer in motorpool; therefore, their replacment needs to be planned into Capital Outlay. Each year, vehicles will be identified for replacement. 2025:Truck 301, car 126 2026:Truck 114, dump truck #310 2027: wire trailer, pole trailer 2028:Light tower, 2029:Digger #300 2030: car #125	\$325,000	\$130,000	\$60,000	\$25,000	\$300,000	\$35,000	\$875,000		\$875,000
TOTAL							\$2,652,450	\$1,698,474	\$1,420,938	\$1,429,896	\$1,750,405	\$8,632,523	\$17,584,685	\$0	\$17,584,685
590	Wastewater	Facility	2	50	Wastewater Fund	Garage Building A new 4-bay garage building on the WWTP premises for storage of equipment owned by the Wastewater Department. The current buildings that make up the Wastewater Plant are inadequate to store all the mobile equipment assigned to the Wastewater Department.		\$500,000					\$500,000		\$500,000
590	Wastewater	Planning	2	4	Wastewater Fund	Utility Rate Study The last rate study completed in 2023 will require an update leading into the 2026 fiscal year. City Staff will be involved with the process but a consultant with appropriate experience will be hire to perform the evaluation and provide rate recommendations.			\$35,000				\$35,000		\$35,000

FUND	Department	Project Title	Priority Ranking	Estimated Useful Life	Source of Funding	Project Narrative/Purpose	2025-2026 Expenditure	2026-2027 Expenditure	2027-2028 Expenditure	2028-2029 Expenditure	2029-2030 Expenditure	2030-2031 Expenditure	City Expenditure	Other Funds or Grant Share	Total Expenditure
590	Wastewater	Facility	2	25	Wastewater Fund	Laboratory Remodel Full remodel of outdated laboratory built in 1975, including cabinets, counter tops, fixtures, flooring, lighting, and lab safety equipment. We plan on retaining much of the existing lab equipment as that has been updated regularly.			\$250,000				\$250,000		\$250,000
590	Wastewater	Vehicle	2	15	Wastewater Fund	Wastewater Truck Wastewater staff currently have two assigned vehicles. There are times when department staff utilize their personal vehicles to go to meetings or conduct field work, especially when the Department Superintendent is utilizing a vehicle.			\$50,000				\$50,000		\$50,000
590	Wastewater	Treatment	2	5	Wastewater Fund	Replace Muffin Monster Cutters Replace the cutter cartridge in the in-line Muffin Monsters as recommended by the manufacture.			\$30,000				\$30,000		\$30,000
590	Wastewater	Treatment	1	15	MAJOR Campus Developer	Aeration Blower Replacement The current aeration blowers were installed in 1999. Since that time our aeration needs have changed and these blowers provide more air than necessary. Technology has advanced to a level that we can meet today's needs and retain the ability to meet future needs by replacing our current centrifugal blower with one that may be controlled by VFD. The current blowers cannot be controlled by a VFD and must run and full speed.	\$700,000							\$700,000	\$700,000
590	Wastewater	Treatment	1	20	MAJOR Campus Developer	Headworks & Equalization Basin Improvements Headworks improvements including grit removal and fine screening will extend the life of the downstream equipment.	\$20,000,000							\$20,000,000	\$20,000,000
590	Wastewater	Planning	2	15	Wastewater Fund	Wastewater Collection Plan The wastewater utility needs to complete a Collection Plan. The plan will include analysis of lift stations, expansion areas, capacity, and future flows.			\$150,000				\$150,000		\$150,000
590	Wastewater	Planning	2	15	Wastewater Fund	Wastewater Facilities Plan The wastewater utility needs to complete a Facilities Plan. The plan will include analysis of treatment systems, lift stations, capacity, future flows, land planning, and emerging technology.		\$250,000					\$250,000		\$250,000
590	Wastewater	Collection System	1	30	Wastewater Fund	Sewer Lining Project will line sewers which have experienced failure and root penetration.	\$200,000	\$200,000	\$200,000	\$200,000	\$200,000	\$200,000	\$1,200,000		\$1,200,000
590	Wastewater	Treatment	2	20	Wastewater Fund	New Sludge Thickening/De-watering Process The current equipment (2000) is beyond its estimated useful life. With a new system, Class A biosolids may be achieved. Class A biosolids may offer the Departmentthe ability to recover some costs of operation.				\$500,000			\$500,000		\$500,000
590	Wastewater	Engineering - Service Area Planning				Conceptual Service Area Expansion With an influx of infrastructure built in 2023 and 2024, the Department has several request for water service or is aware of multiple future residential development areas. A conceptual plan on how we serve these areas with water is needed.	\$75,000						\$75,000		\$75,000
590	Wastewater	Engineering - System Collection Model		25	Wastewater Fund	Sanitary Sewer Collection System Model The utility needs a flow model to better assess current trends and needs in the system. Furture development will be dependent on the sanitary sewer collection system so accuracy is its operation is paramount.	\$200,000	\$100,000					\$300,000		\$300,000
TOTAL							\$21,175,000	\$1,050,000	\$715,000	\$700,000	\$200,000	\$200,000	\$3,340,000	\$20,700,000	\$24,040,000
591	Water	Engineering - Risk and Resiliency & ERP		5	Water Fund	Risk and Resiliency Assessment Emergency Response Plan Both of these plans are regulatory requirements. They provide an opportunity for the Water Department to analyze their operations and ensure that a current and effective emergency response plan is created.	\$ 25,000.00						\$25,000		\$25,000

FUND	Department	Project Title	Priority Ranking	Estimated Useful Life	Source of Funding	Project Narrative/Purpose	2025-2026 Expenditure	2026-2027 Expenditure	2027-2028 Expenditure	2028-2029 Expenditure	2029-2030 Expenditure	2030-2031 Expenditure	City Expenditure	Other Funds or Grant Share	Total Expenditure
591	Water	Engineering - Water Reliability Study		5		Update Water Reliability Study The first study was complete in 2020 when the regulation requiring it was created. An update to the plan is required every 5 years.	\$ 35,000.00						\$35,000		\$35,000
591	Water	Engineering - Service Area Planning		20		Conceptual Service Area Expansion With an influx of infrastructure built in 2023 and 2024, the Department has several request for water service or is aware of multiple future residential development areas. A conceptual plan on how we serve these areas with water is needed.	\$ 25,000.00						\$25,000		\$25,000
591	Water	Watermain Replacement	2	100	Water Fund	South Marshall Street Michigan to Spruce Street (2b)Replace undersized 6" cast iron water main on S. Marshall from Michigan to Spruce St. This main was installed in 1958 and will be past it's useful life. Engineering Design FY26.	\$46,000	\$414,000					\$460,000		\$460,000
591	Water	Watermain Lining				South Marshall Street Clinton to Kalamazoo River Bridge		\$250,000					\$250,000		\$250,000
591	Water	Watermain Replacement	2	100	Water Fund	South Marshall Street Spruce to Clinton (2A)Replace 4" main on S. Marshall from Spruce to Clinton. This main is undersized and past its useful life. Engineering Design FY26	\$53,500	\$481,500					\$535,000		\$535,000
591	Water	Watermain Lining	2	50	Water Fund	S Kalamazoo Michigan Ave to Railroad Tracks Line water main from Brooks Fountain south to Railroad tracks. Replacement of valves, hydrants and services through the entire area.				\$550,000			\$550,000		\$550,000
591	Water	Watermain Replacement	2	100	Water Fund	Hanover Street Marshall to Kalamazoo Replace/line aging 6" water main on Hanover from S. Marshall to S. Kalamazoo. This main is past it's useful life and is known to be in poor condition. Includes a significant number of lead service lines (possibly).				\$2,000,000			\$2,000,000		\$2,000,000
591	Water	Watermain Replacement	2	100	Water Fund	High Street Michigan to Forest Street (4) Replace 10" water main on High St. from Michigan Ave. to Forest St. Also replace all lead services, hydrants, valves, and connections. The size of the water main and amount of flow is causing water quality issues.					\$681,000		\$681,000		\$681,000
591	Water	Watermain Replacement	2	100	Water Fund	Fountain Street Hanover to Arms Street Line 6" cast iron pipe			\$675,000				\$675,000		\$675,000
591	Water	Water Storage	1	25	Water Fund	500,000 Gallong Tower; 2019 Maintenance Inspection identified several items that needed to be addressed. 2024 Inspection will occur in Q1 of 25. Definite rehab list will come out of that inspection for work in FY26.	\$40,000.00						\$40,000		\$40,000
591	Water	Water Storage	1	15	Water Fund	200,000 Gallon Tower; 2019 Water Tower inspection identified that the water tower would need an exterior overcoat in approximately 5-6 years.	\$150,000.00						\$150,000		\$150,000
591	Water	Watermain Replacement	2	100	Water Fund	North Gordon Street Mansion to Forest 6" cast iron, 1950s Undersized, pipe age lead service line replacements					\$568,000		\$568,000		\$568,000
591	Water	Water Treatment Plant	1	60	Water Fund Bond	Build new iron removal plant. Existing plant has reached the end of its useful life.						\$5,000,000	\$5,000,000		\$5,000,000
591	Water	Watermain Replacement	1	100	Water Fund	East Michigan Ave (2D) Replace 6" water main on E. Michigan with 8". This is the only section of Michigan Ave that has not been replaced. This replacemnt would complete the Michigan Ave loop through the City. The existing water main was installed in 1950, and is past its useful life.			\$358,000				\$358,000		\$358,000

FUND	Department	Project Title	Priority Ranking	Estimated Useful Life	Source of Funding	Project Narrative/Purpose	2025-2026 Expenditure	2026-2027 Expenditure	2027-2028 Expenditure	2028-2029 Expenditure	2029-2030 Expenditure	2030-2031 Expenditure	City Expenditure	Other Funds or Grant Share	Total Expenditure
591	Water	Watermain Replacement	1	100	Water Fund	Rose St & Oak St 6" cast iron, 1950s Undersized, Pipe Age Pair with Street Millage Work						\$479,000	\$479,000		\$479,000
591	Water	Watermain Replacement	2	100	Water Fund	Waldon Ponds Apartments Line watermain through Walden Pond Apartments from Verona to Arms. This section of water main is known to have poor water quality and is aging past it's useful life.			\$700,500				\$700,500		\$700,500
591	Water	Water Withdrawal	1	N/A	Water Fund	Expand Source Water Capacity The 2020 Water Reliability Study identified a furture shortfall of permitted groundwater withdrawal for the utility's 20-year outlook. Work on expanding this water withdrawal capacity is necessary for the future of the City's water supply.	\$75,000						\$75,000		\$75,000
591	Water	Watermain Replacement	1	100	Water Fund	Sibley Lane Okeefe to Forest 6" Cast Iron, 1950s Undersized, Pipe Age						\$405,000	\$405,000		\$405,000
591	Water	Watermain Replacement			Water Fund	East Green Street Marshall Ave - WTP 8" Cast Iron, 1950s Undersized, pipe age				\$571,000			\$571,000		\$571,000
591	Water	Watermain Replacement			Water Fund	Forest St Allen to Sibley 6" & 8" Cast Iron, 1960s Pipe age, Frequent Breaks						\$237,000	\$237,000		\$237,000
591	Water	Watermain Replacement	1	100	Water Fund	Mulberry Prospect to Hanover 6" Cast Iron, 1960s Undersized, Pipe Age, Break History Lead Service Line Replacements						\$433,000	\$433,000		\$433,000
TOTAL							\$449,500	\$1,145,500	\$1,733,500	\$3,121,000	\$1,249,000	\$6,554,000	\$14,252,500	\$0	\$14,252,500
661	Motor Pool	Fleet Management Software Implementation	1	15	Motor Pool	Fleet Maintenance Software The need for fleet maintenance software accessible to all staff is growing. The reliance on our fleet to perform services to the level of service expected continues to expand. The complexity and cost of vehicle repairs continues to increase. For these reasons, a fleet maintenance and tracking software is needed.	\$25,000	\$30,000	\$30,000				\$85,000		\$85,000
661	Motor Pool	Annual Vehicle Replacement	1	Variable	Motor Pool	City vehicles and equipment are critical in the level of service staff provide residents. Vehicles are schedule for replacement at the end of their useful life. Staying on schedule with replacements minimized unplanned downtime and impacts to resident's level of service. 2026; 7 units 2027; 6 units 2028; 4 units 2029; 6 units 2030; 2 units 2031; 5 units	\$1,500,000	\$450,000	\$250,000	\$300,000	\$150,000	\$375,000	\$3,025,000		\$3,025,000
TOTAL							\$1,500,000	\$450,000					\$3,025,000		\$3,025,000

FUND	Department	Project Title	Priority Ranking	Estimated Useful Life	Source of Funding	Project Narrative/Purpose	2025-2026 Expenditure	2026-2027 Expenditure	2027-2028 Expenditure	2028-2029 Expenditure	2029-2030 Expenditure	2030-2031 Expenditure	City Expenditure	Other Funds or Grant Share	Total Expenditure
711	Cemetery	Cemetery Road Paving Project	2	20	Cemetery Trust Fund	Finishing the drives in the cemetery will provide a clean and solid surface during inclement weather for those visiting their loved ones during a funeral service. 1,400 feet.	\$18,000			\$25,000	\$25,000		\$68,000		\$68,000
711	Cemetery	Cemetery Water Line Replacement		100		The water lines throughout the have failed at various times over the last 3 years. The complete replacement of the waterlines and upgrade to current standards is necessary for the future operation and maintenance of the cemetery.		\$30,000	\$30,000	\$30,000			\$90,000		\$90,000
711	Cemetery	Cemetery Expansion to Meet Future Demand	2	150	Cemetery Trust Fund	Cemetery has two sections left holding 500 spaces for purchase. The number available will shrink exponentially as families begin having trouble finding blocks of spaces available for family plots. This will drive many to seek alternate locations. \$35,000 Design - \$100,000 Construction. Columbarium - \$75,000.			\$35,000	\$100,000	\$75,000		\$210,000		\$210,000
TOTAL							\$18,000	\$30,000	\$65,000	\$155,000	\$100,000	\$0	\$368,000	\$0	\$368,000
GRAND TOTAL							\$33,160,300	\$11,015,874	\$9,255,938	\$13,447,796	\$10,476,005	\$29,647,923	\$74,698,185	\$32,843,150	\$107,541,335
GENERAL FUND TOTALS							\$1,150,000	\$1,460,000	\$2,605,000	\$1,805,000	\$2,125,000	\$6,435,900	\$6,460,000	\$9,120,900	\$15,580,900



ITEM 9.A

TO: Planning Commission
FROM: Marcia Strange, Director of Community Development
DATE: January 8, 2025
SUBJECT: 1154 WEST MICHIGAN AVE SITE DEVELOPMENT PLANS - INTRODUCE
AND SET PUBLIC HEARING

Site development plans have been submitted for a new hotel at 1154 West Michigan. We are introducing the project and asking for a public hearing to be set for February 12, 2025 Planning Commission meeting.

Staff has done a preliminary review of the submitted drawings and items of note include:

This hotel project required a Zoning Variance (approved at ZBA 4/19/24) for a 4-story height variance. The submitted notes that the building height will be 4 stories.

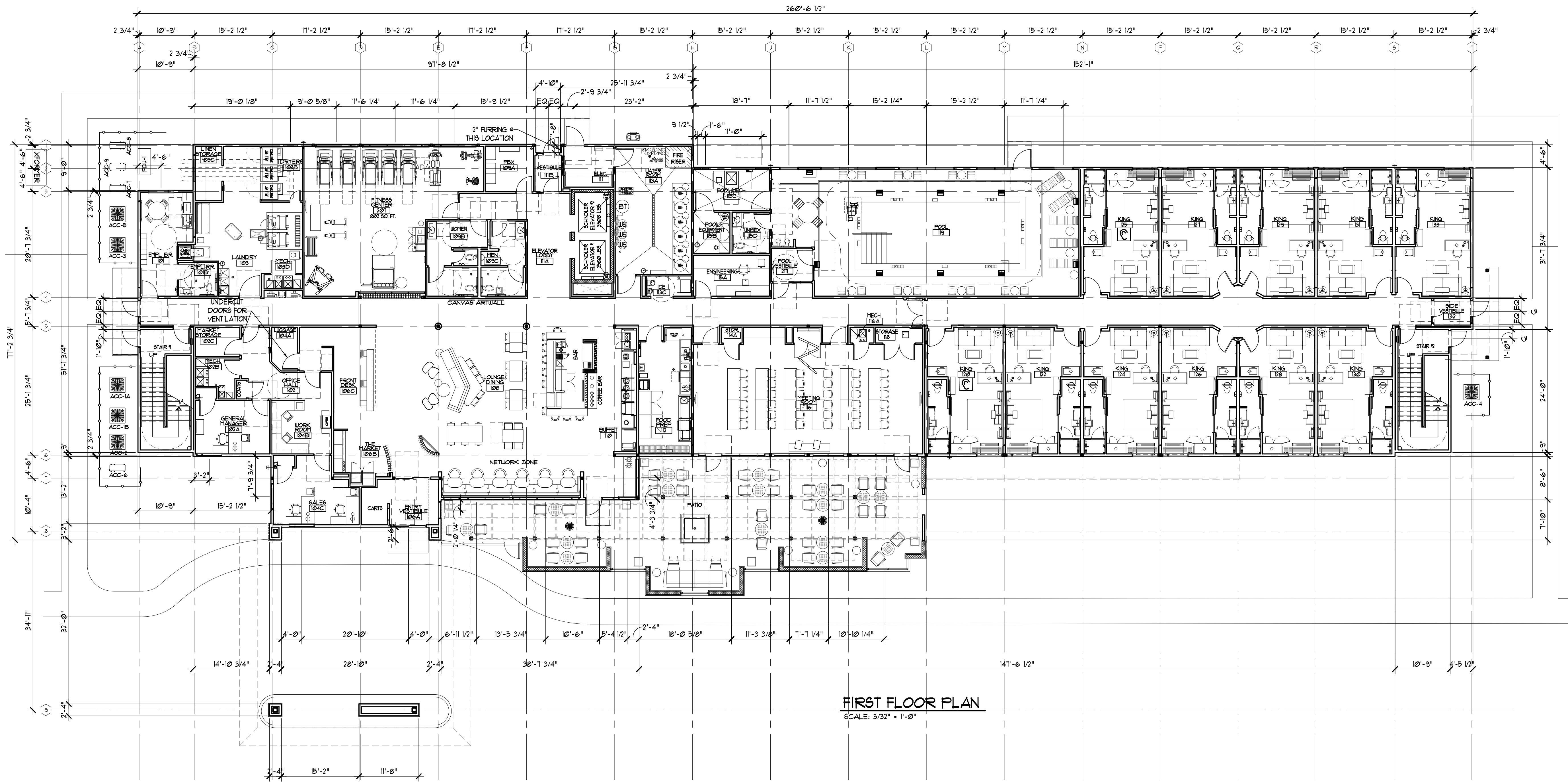
Parking has been designed based upon hotel recommendations for quantity. Additional parking area will be allocated, but not paved, and the City will assess the need based on adjacent property parking use. The City reserves the right to require additional parking areas be paved.

MDOT has requested modifications to the island in Michigan Avenue immediately in front of this site access. The City and project engineers are meeting with MDOT to understand MDOT requirements.

Solar panels are anticipated as a cover some of the parking (see example from SolarMount in Marshall).

RECOMMENDATION:

Introduce 1154 West Michigan Avenue Site Development Plans and set a Public Hearing for February 12, 2025 at the regularly scheduled Planning Commission meeting.



ARCHITECTURAL GROUP III
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SPRINGHILL SUITES
by MARRIOTT
MARRIOTT JOB #XXXX
MARSHALL, MI
A NEW 101 ROOM HOTEL

JOB NO.
24119

DATE
12/05/24

REVISIONS

**PRELIMINARY NOT
FOR CONSTRUCTION**

SHEET NO.

A1.1

FIRST FLOOR
PLAN



These design guidelines and all materials, procedures, systems and content herein contained or depicted (the "Design Guidelines") have been prepared for and/or developed by Marriott International, Inc. or its affiliate ("Marriott"), and are the sole and exclusive property of Marriott, which owns all right, title and interest therein, including all copyright, and which reserves all rights herein. All contents should be used only as authorized by Marriott and should not be copied either in whole or in part without its written consent.

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Marriott International, Inc.
7750 Wisconsin Avenue
Bethesda, MD 20814



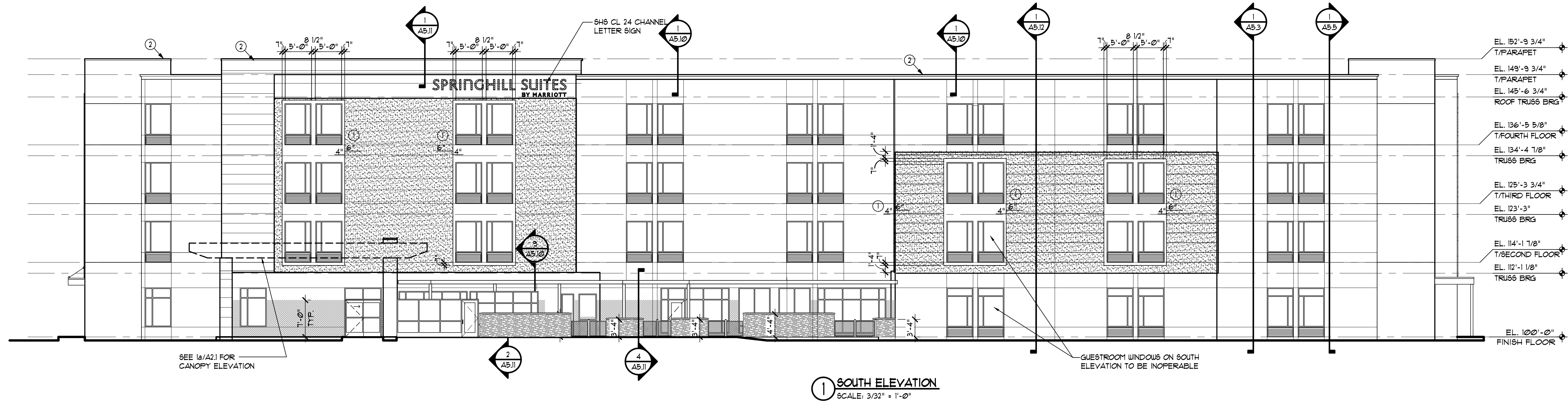
SPRINGHILL SUITES
BY MARRIOTT

Design Guideline Drawings	
ISSUE DATE:	12/01/15
REVISION DATE:	01/31/24
GENERATION:	GEN 4.5
DECOR:	PANORAMA

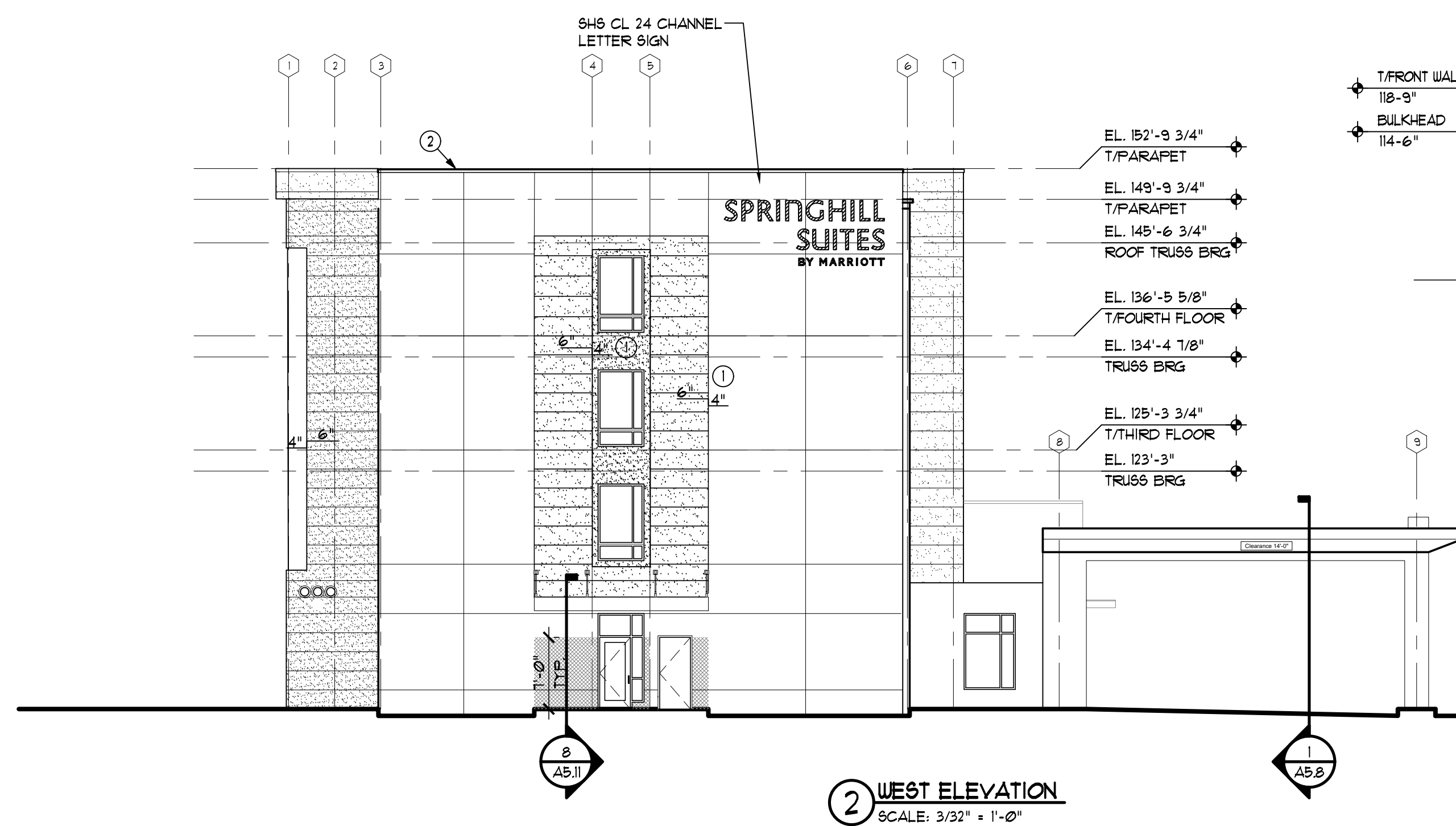
EXTERIOR
PERSPECTIVES

210

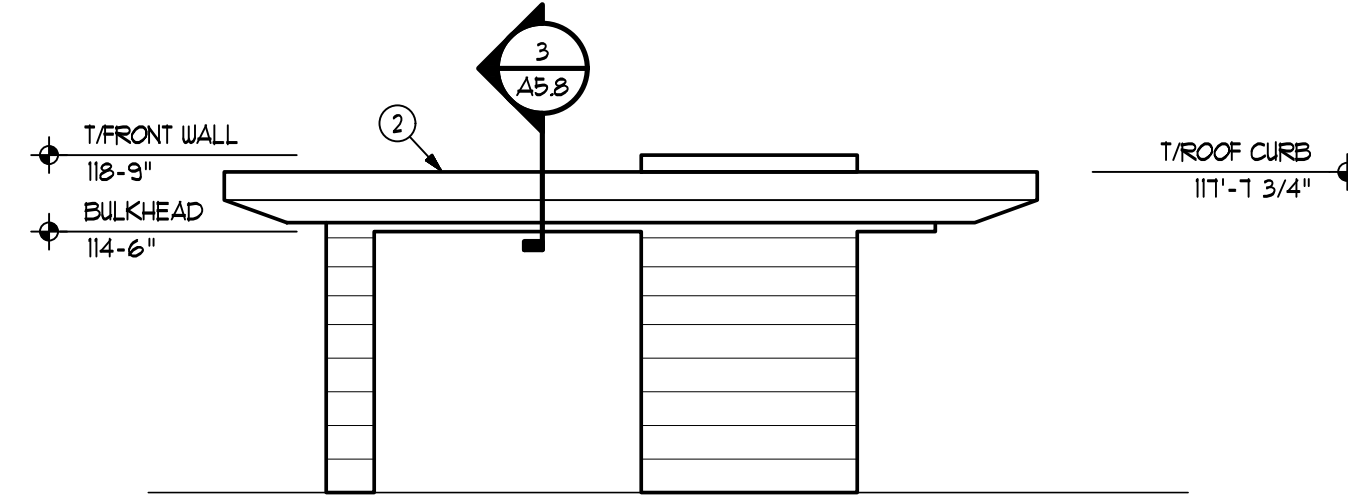
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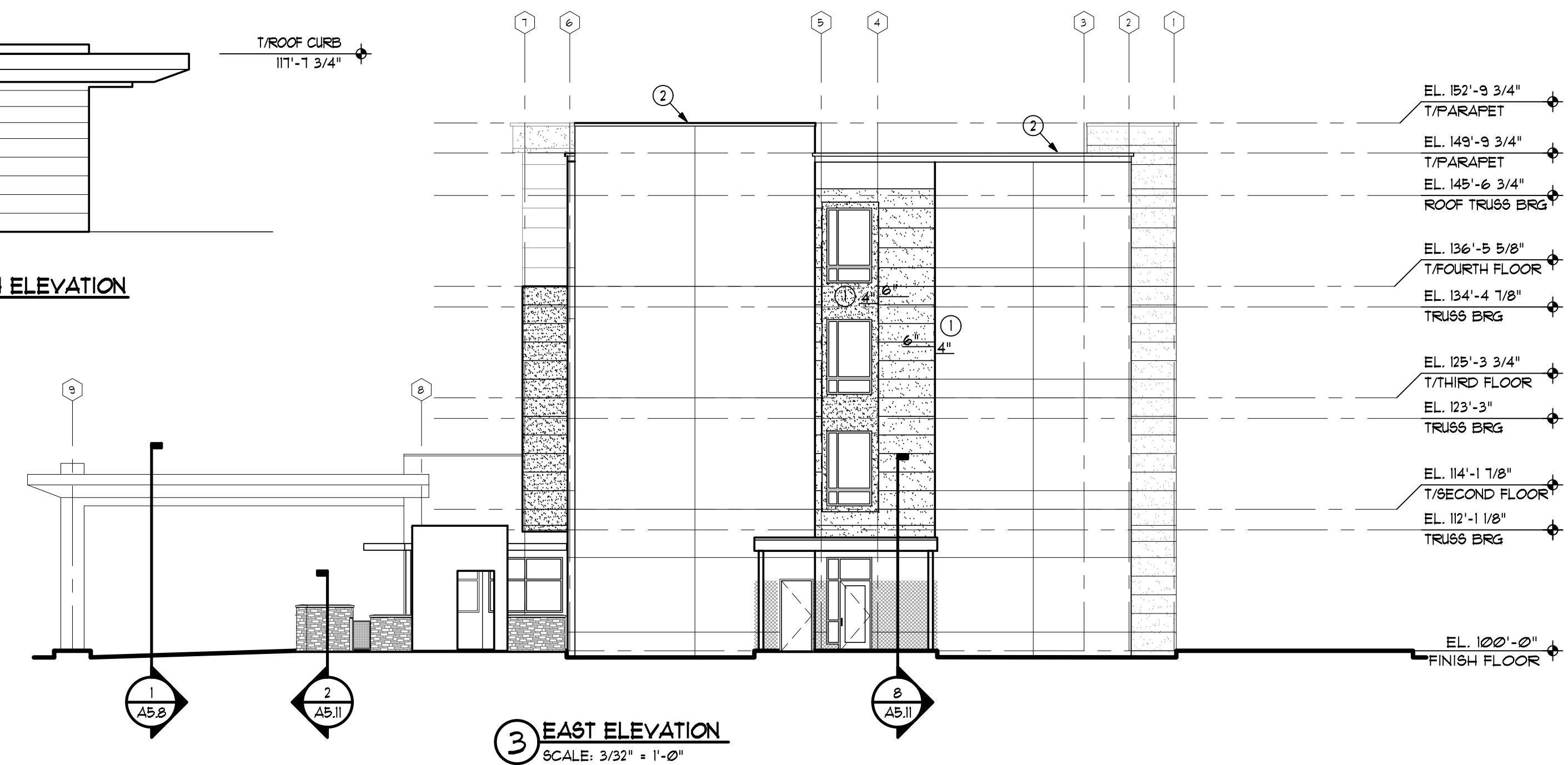
1 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



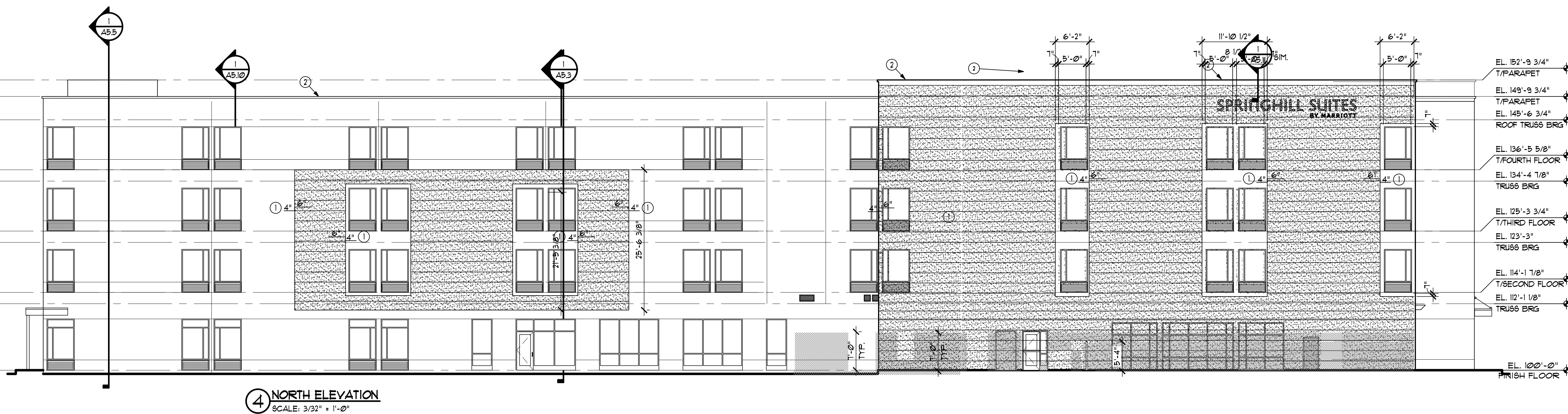
2 WEST ELEVATION
SCALE: 3/32" = 1'-0"



1a CANOPY SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



3 EAST ELEVATION
SCALE: 3/32" = 1'-0"



4 NORTH ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL KEY:	
	EIFS 2 COLOR: SUE022 INDIGO BATIK
	EIFS 5 COLOR: SUE030 JAVA
	EIFS 1 COLOR: SUE028 INCREDIBLE WHITE
	BORAL CULTURED STONE COUNTRY LEDGESTONE CARMEL
NOTES:	
① TYPICAL EASE EDGE ALL AROUND	
② ALL COPINGS AND GRAVEL STOPS TO MATCH ADJACENT WALL/TRIM COLOR	
PROVIDE HIGH IMPACT EIFS AROUND DOORS, PATIOS, AND WALKWAYS. REFERENCE DETAIL 15/A5.1	

ARCHITECTURAL GROUP III

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JOB TITLE

SPRINGHILL SUITES
by MARRIOTT
MARRIOTT JOB #XXXX
MARSHALL, MI
A NEW 101 ROOM HOTEL

JOB NO.
24119

DATE
12/05/24

REVISIONS

SHEET NO.

A2.1

EXTERIOR
ELEVATIONS

PRELIMINARY NOT
FOR CONSTRUCTION

JOB TITLE

SPRINGHILL SUITES
by MARRIOTT
MARRIOTT JOB #XXXX
MARSHALL, MI
A NEW 101 ROOM HOTEL

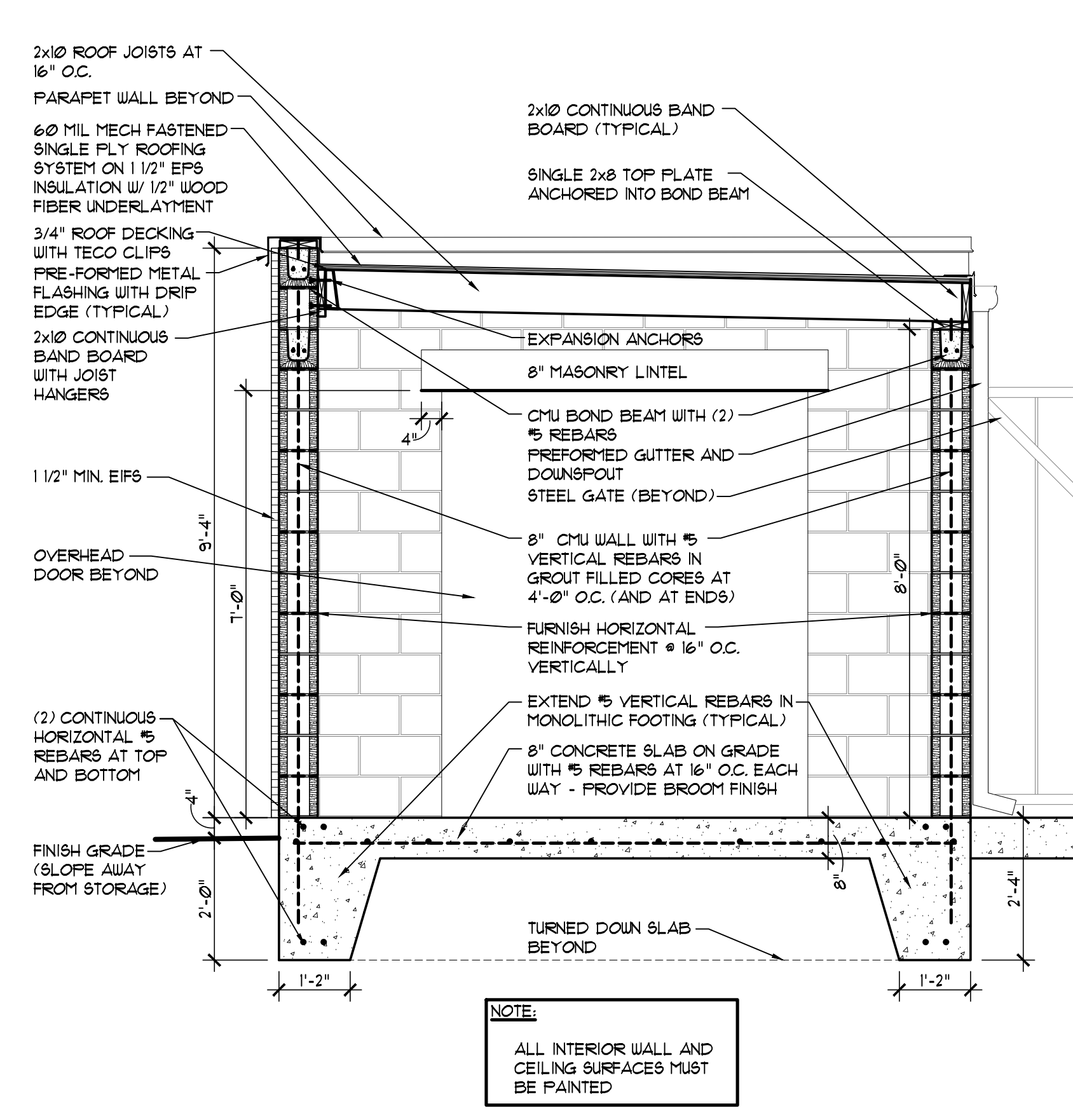
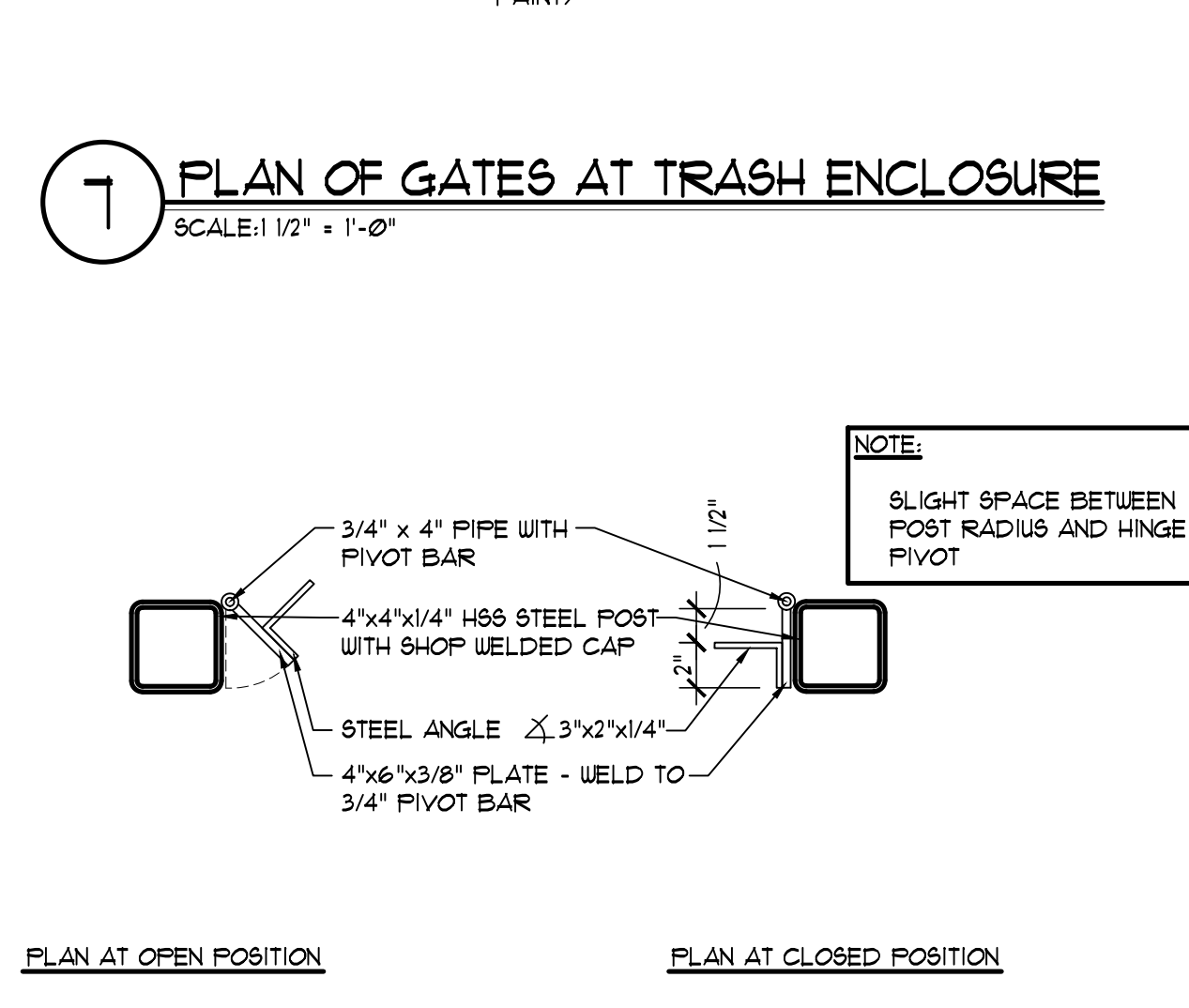
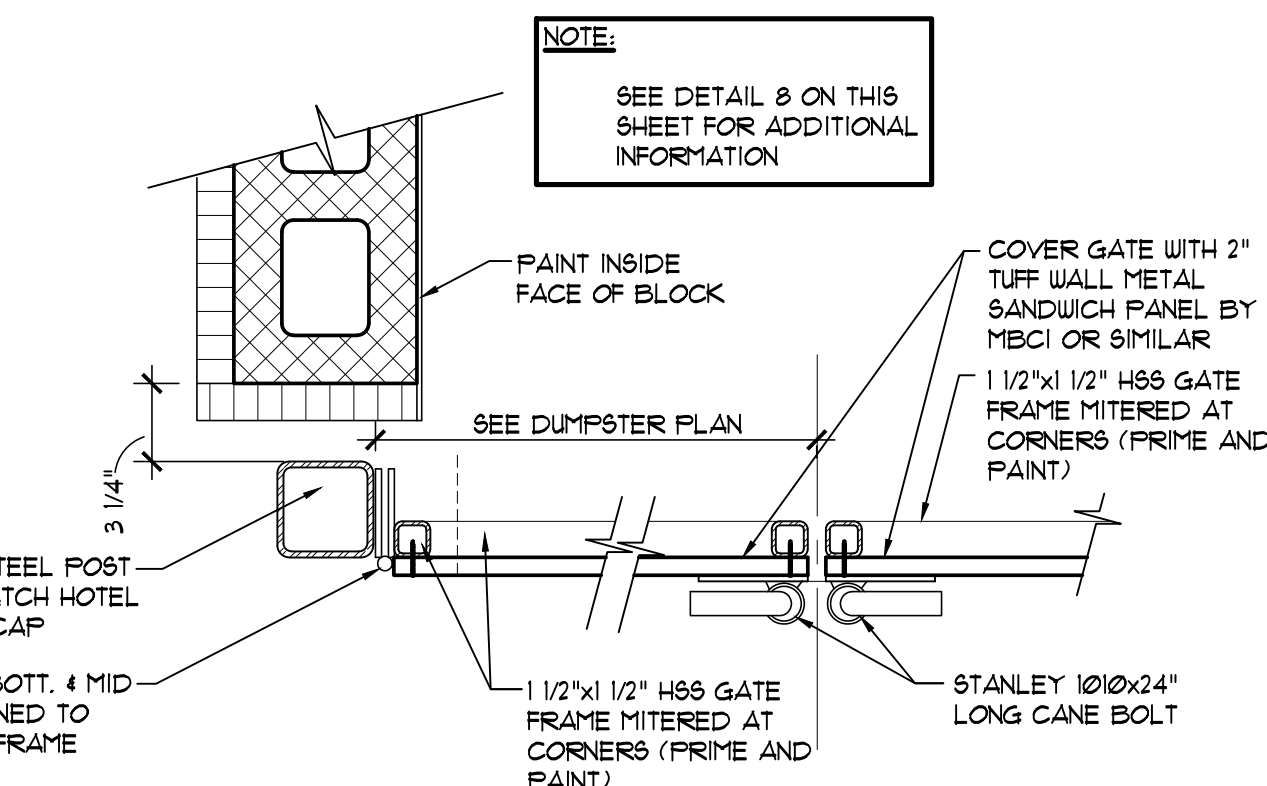
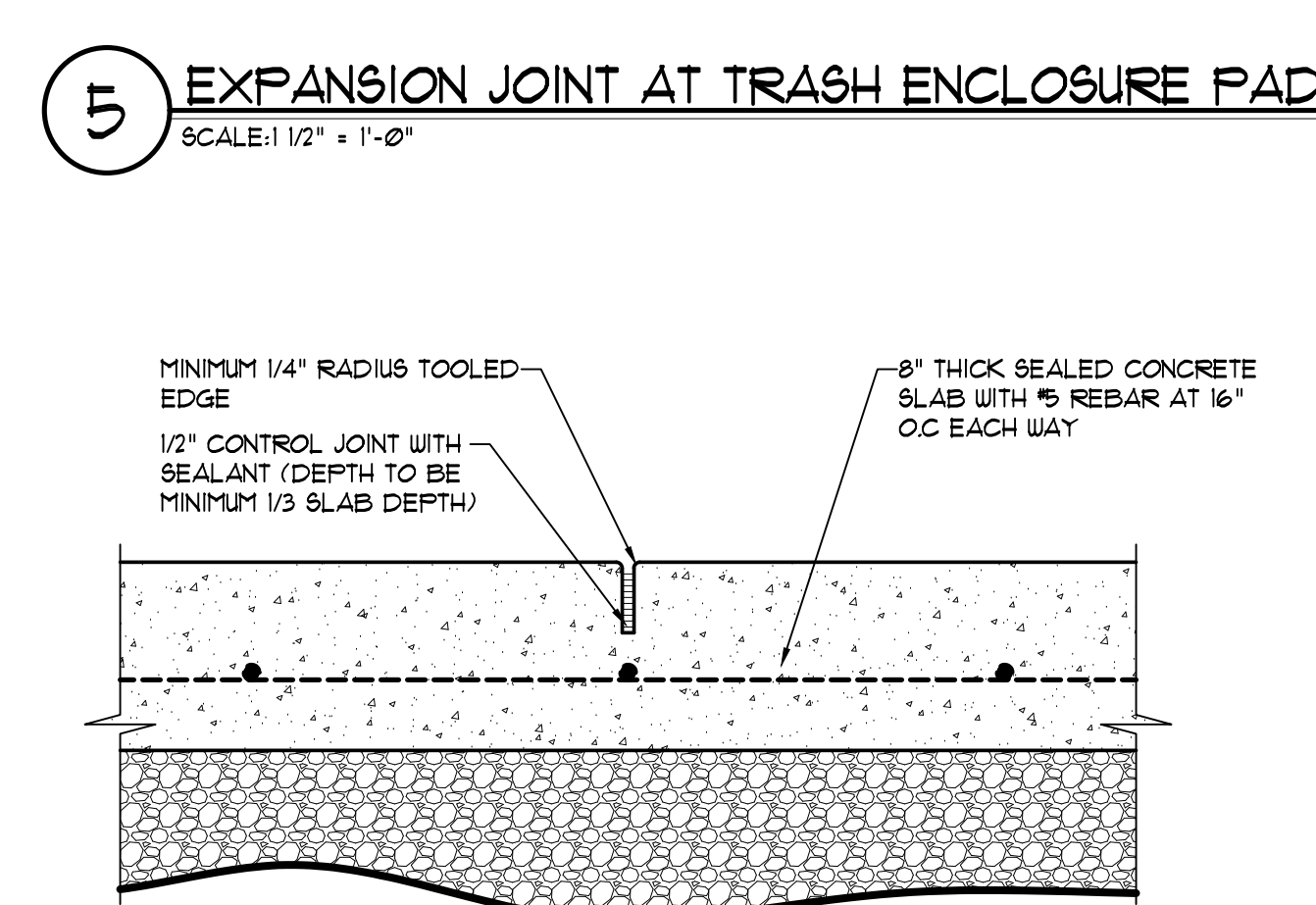
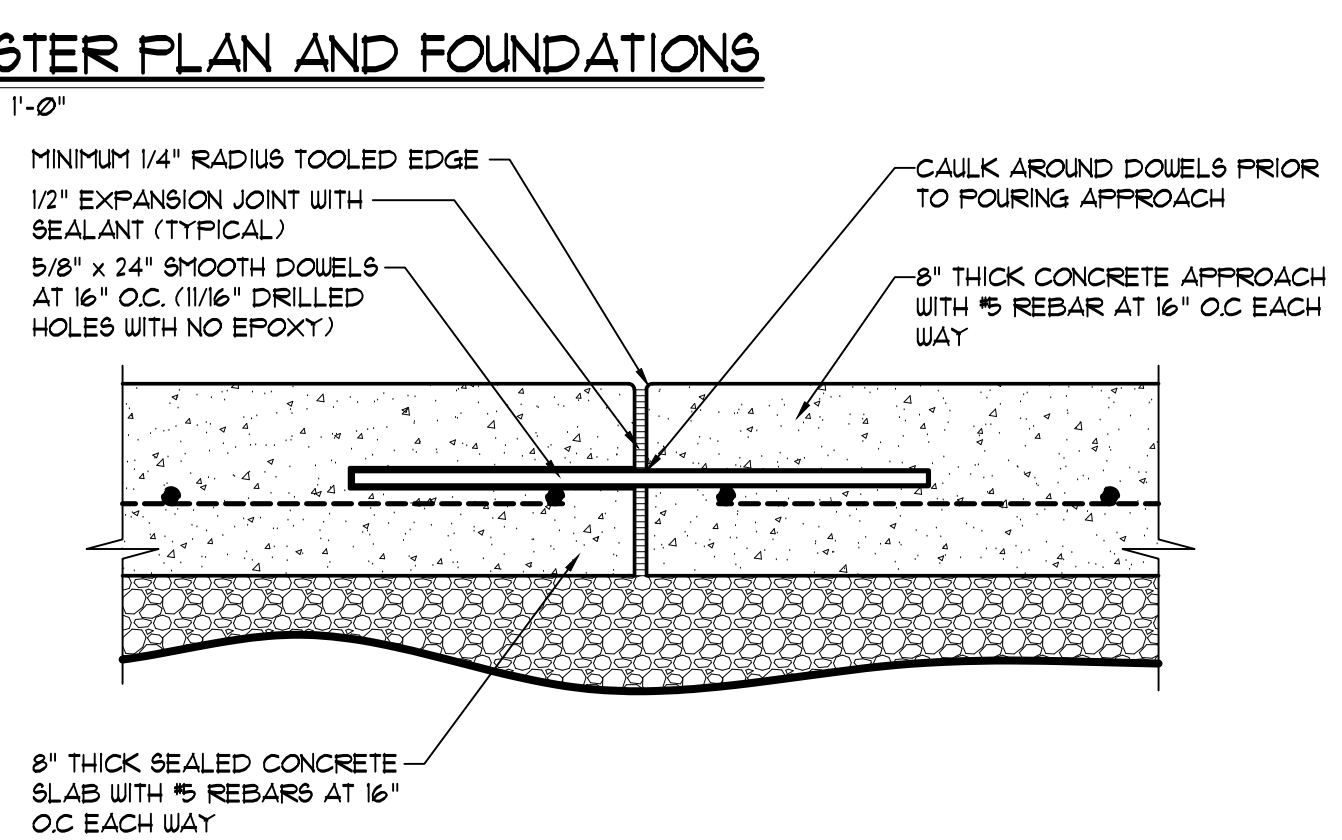
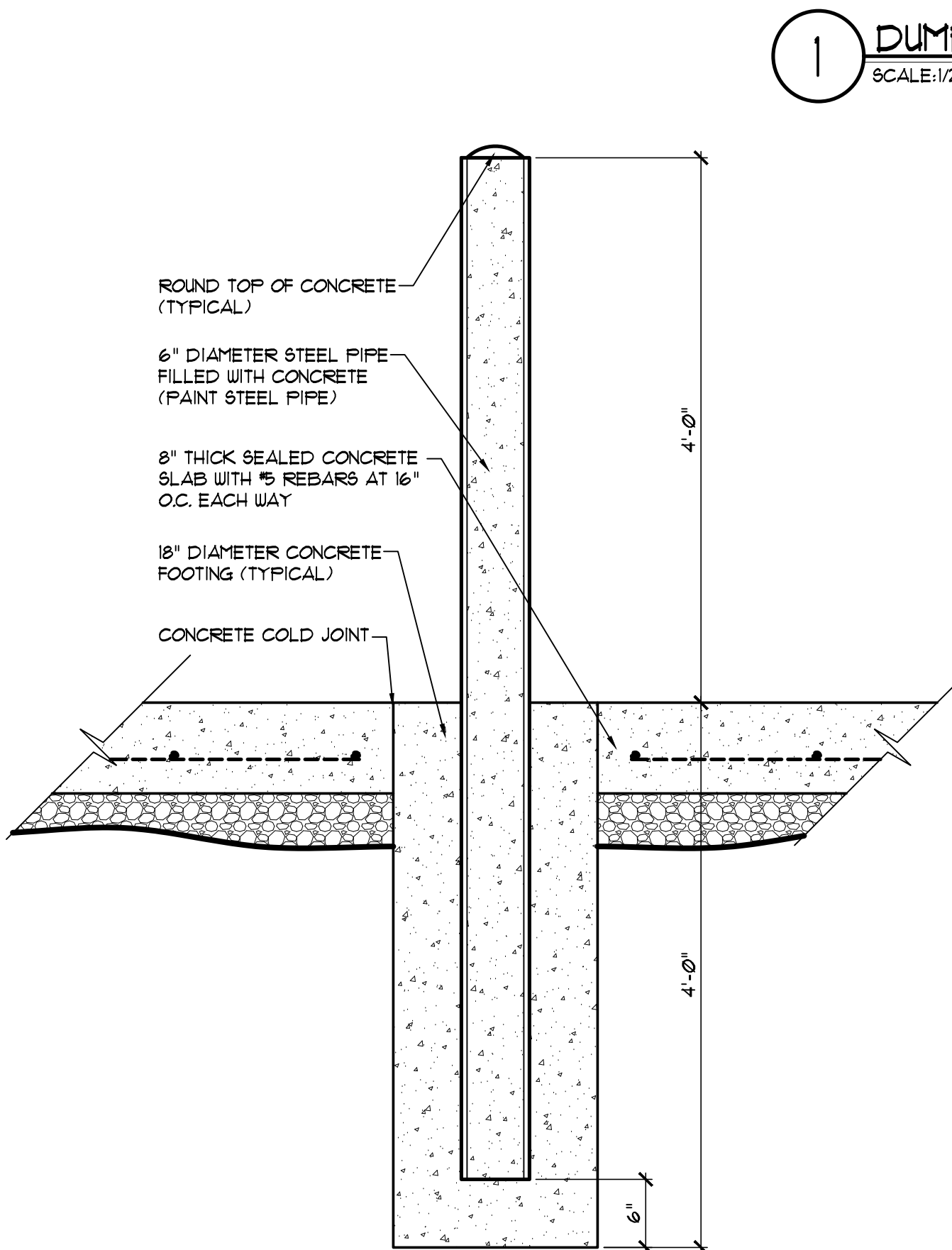
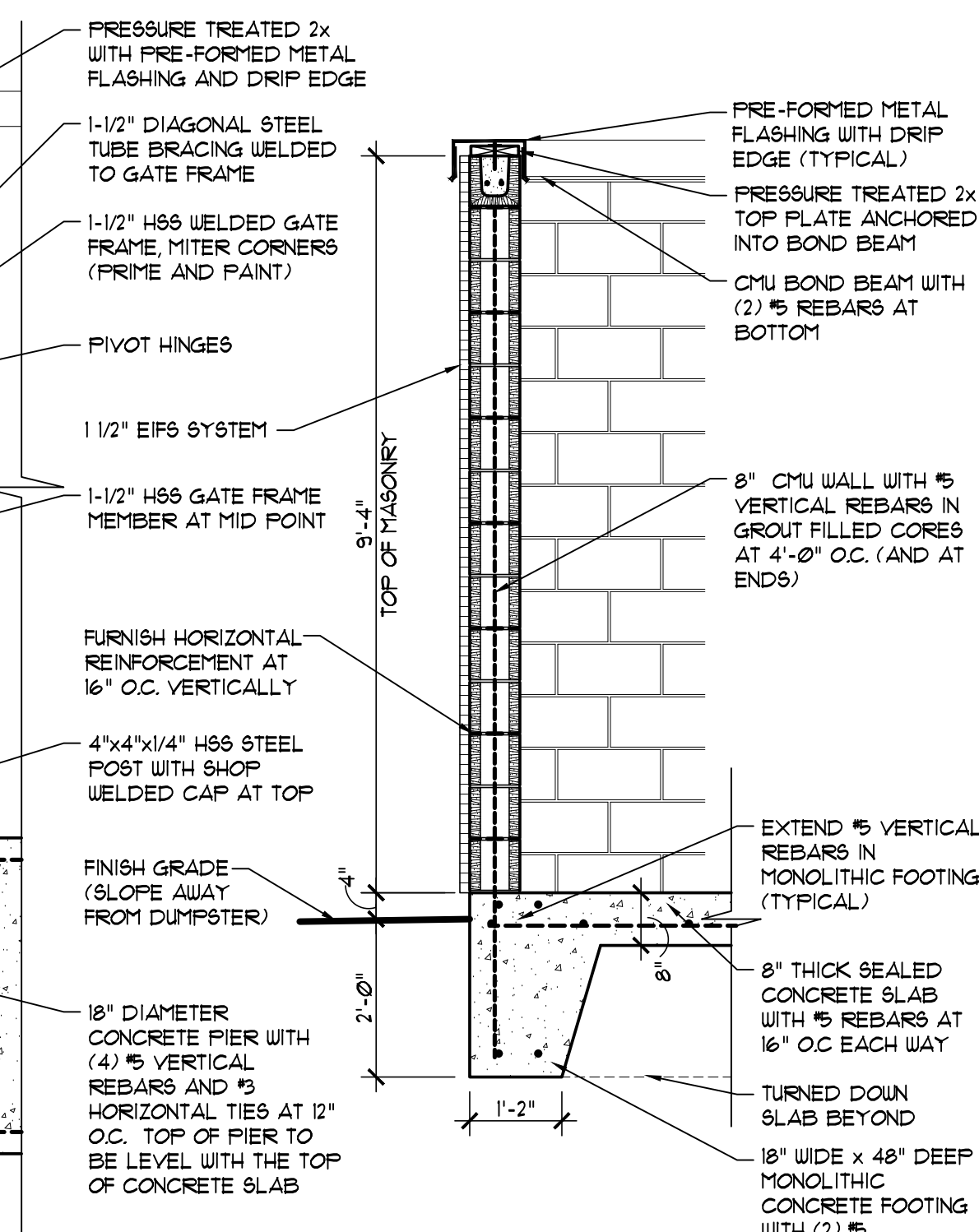
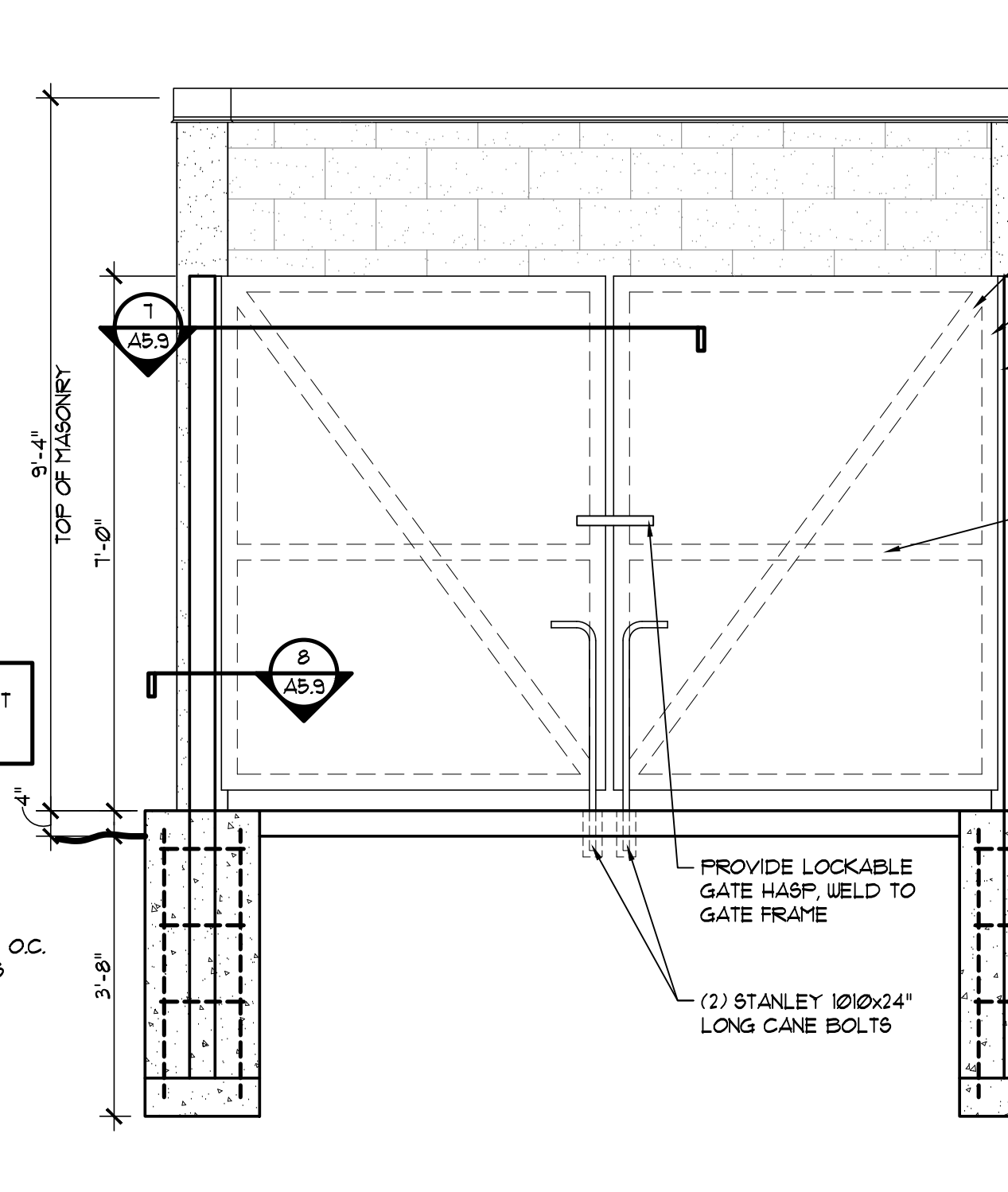
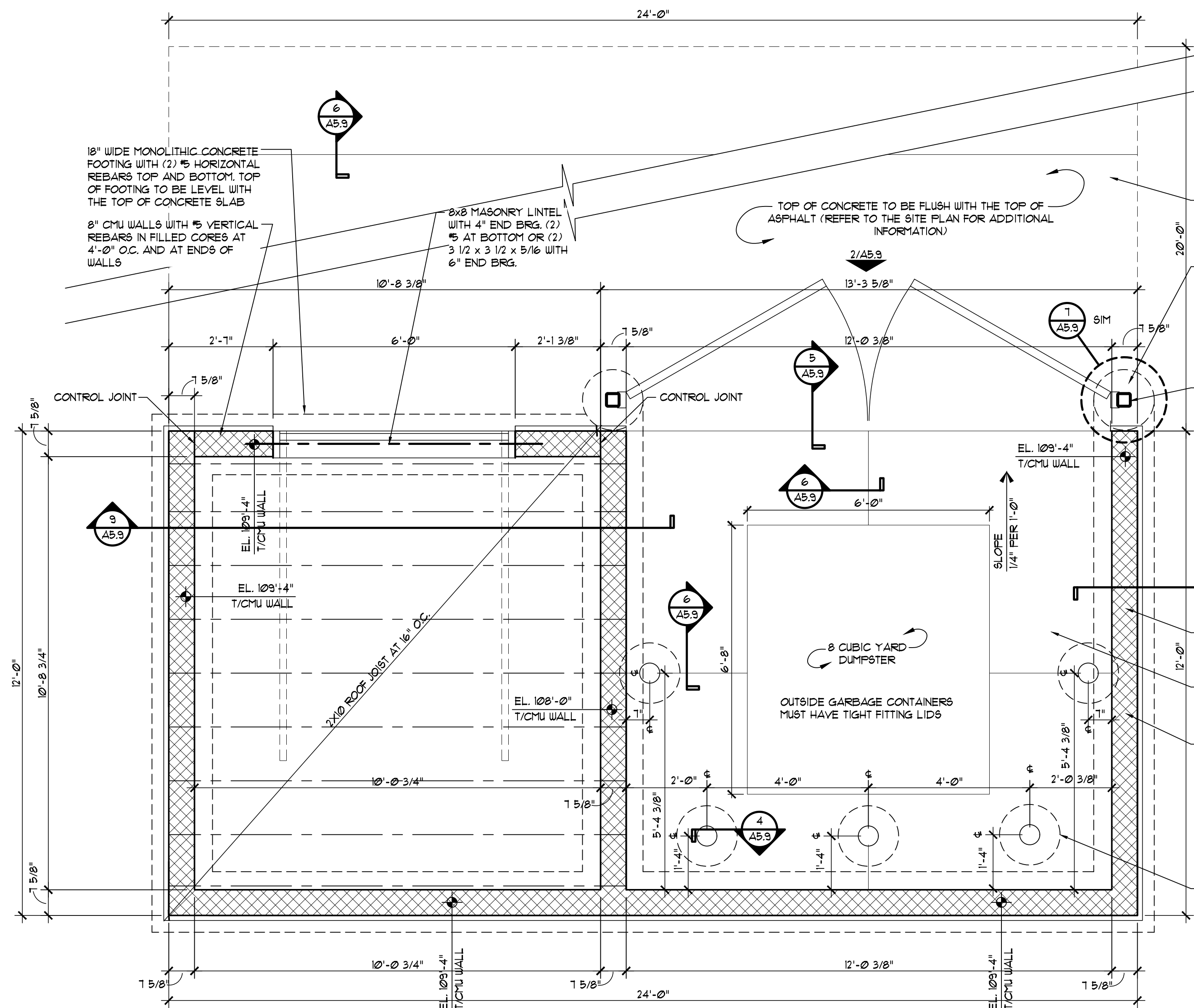
JOB NO.
24119

DATE
12/05/24

REVISIONS

SHEET NO.
A5.9
DUMPSTER
SECTIONS AND
DETAILS

PRELIMINARY NOT
FOR CONSTRUCTION



SPRINGHILL SUITES BY MARRIOTT

***1154 W. MICHIGAN AVENUE
SECTION 26, T.2S, R.6W
CITY OF MARSHALL
CALHOUN COUNTY, MI***

SITE DEVELOPMENT PLANS DECEMBER 26, 2024

ISSUED FOR: PRELIMINARY REVIEW

SHEET INDEX

No.	SHEET TITLE
T1.0	TITLE SHEET
C1.0	EX CONDITIONS - DEMO PLAN
C2.0	SITE LAYOUT
C2.1	SOLAR CARPORT LAYOUT
C3.0	UTILITY PLAN
C4.0	OVERALL GRADING - SESC PLAN
C4.1	GRADING NORTH PLAN
C4.2	GRADING SOUTH PLAN
C5.0	DETAILS
L1.0	LANDSCAPE PLAN
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.	.

OWNER/DEVELOPER:

SUHA HOTELS, LLC
SAVINDER SINGH
savoker@gmail.com
(269) 300-7489

CIVIL ENGINEER:

AR ENGINEERING, LLC.
5725 VENTURE PARK DR, SUITE A
KALAMAZOO, MI 49009
TEL. (269) 250-5991 FAX. (866) 569-0604

JASON RALEIGH P.E.

DATE

REVISIONS

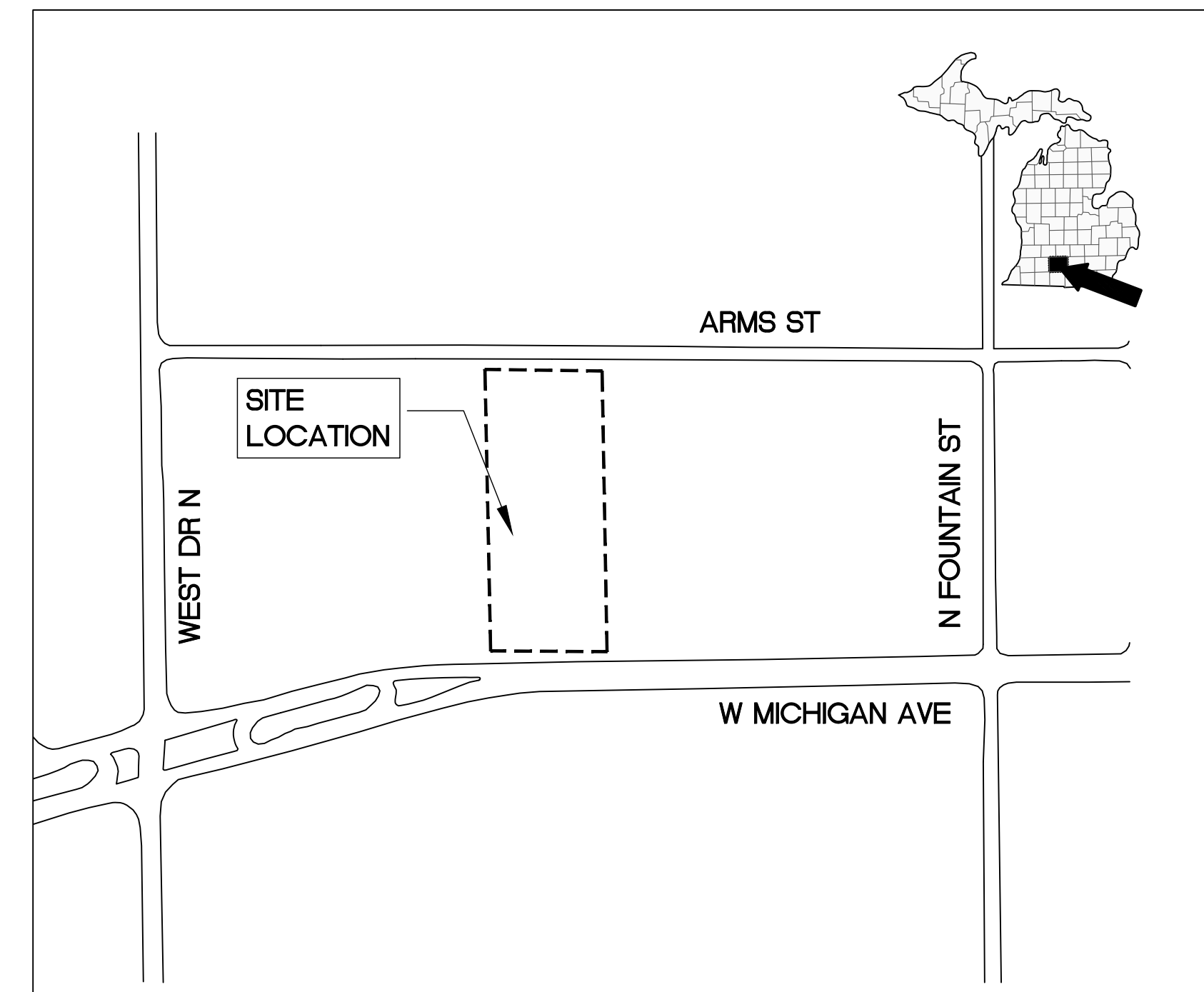
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UTILITY CONTACTS:

CABLE	FIBERNET CITY OF MARSHALL 900 S MARSHALL AVE MARSHALL, MI 49068 269-781-3985	TELEPHONE	AT&T 15869 W MICHIGAN AVE MARSHALL, MI 490068 269-558-8040
WATER	CITY OF MARSHALL 832 E GREEN STREET MARSHALL, MI 49068 269-781-4678	SEWER	CITY OF MARSHALL 801 INDUSTRIAL ROAD MARSHALL, MI 49068 269-781-3289
GAS	CONSUMERS ENERGY 1220 S KALAMAZOO AVE MARSHALL, MI 49068 (800) 477-5050	ELECTRIC	CITY OF MARSHALL 900 S MARSHALL AVE MARSHALL, MI 49068 269-781-3985
		MISS DIG	811

LOCATION MAP

NOT TO SCALE



42°16'19.51"N 84°58'51.70"W

LEGAL DESCRIPTION:

PARCEL #: 53-004-910-00

LAND SITUATED IN THE CITY OF MARSHALL, CALHOUNCOUNTY, MICHIGAN:

PARCEL 1:
COMMENCING AT THE SOUTHWEST CORNER OF LOT 11 OF THE FARMER'S LOAN & TRUST COMPANY SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN LIBER 30 OF PLATS, PAGE 454; THENCE EAST 6 RODS; THENCE NORTH 20 RODS TO THE TRUE PLACE OF BEGINNING OF THIS DESCRIPTION; THENCE NORTH TO THE NORTH LINE OF SAID LOT 11, THENCE WEST ALONG THE NORTH LINE OF SAID LOT 11AND LOT 10, OF SAID SUBDIVISION, 7 RODS; THENCE SOUTH TO A POINT THAT IS 7 RODS WEST OF THE PLACE OF BEGINNING; THENCE EAST 7 RODS TO THE PLACE OF BEGINNING.
13-53-004-910-10

PARCEL 2:
ALL THAT CERTAIN PIECE OR PARCEL OF LAND SITUATED IN AND BEING IN THE CITY OF MARSHALL, FOUND IN LOT NO. 11 AND LYING BETWEEN THE FOLLOWING DESCRIBED PROPERTY:

PARCEL NO. 1:
COMMENCING AT THE SOUTHWEST CORNER OF LOT 11 OF THE FARMER'S LOAN & TRUST COMPANY SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN LIBER 30 OF PLATS, PAGE 454; THENCE EAST 6 RODS; THENCE NORTH 20 RODS TO THE TRUE PLACE OF BEGINNING OF THIS DESCRIPTION; THENCE NORTH TO THE NORTH LINE OF SAID LOT 11, THENCE WEST ALONG THE NORTH LINE OF SAID LOT 11 AND LOT 10, OF SAID SUBDIVISION, 7 RODS; THENCE SOUTH TO A POINT THAT IS 7 RODS WEST OF THE PLACE OF BEGINNING; THENCE EAST 7 RODS TO THE PLACE OF BEGINNING.

PARCEL NO. 2:
BEGINNING AT THE NORTHEAST CORNER OF LOT 12, FARMER'S LOAN & TRUST COMPANY SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN LIBER 30 OF PLATS, PAGE 454; THENCE WEST ALONG THE NORTH LINE OF LOTS 11 AND 12 OF SAID PLAT, 529.16 FEET; THENCE SOUTH 00 DEGREES 40 MINUTES EAST, 336.93 FEET; THENCE NORTH 89 DEGREES 05 MINUTES EAST, 529.13 FEET MORE OR LESS TO THE EAST LINE OF SAID LOT 12; THENCE NORTH ALONG SAID EAST LOT LINE 328.43 FEET TO THE PLACE OF BEGINNING.
13-53-004-910-20

PARCEL 3:
THE EAST 41 FEET OF THE WEST 140 FEET OF THE SOUTH 330 FEET OF LOT 11 OF FARMER'S LOAN & TRUST COMPANY'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN LIBER 30 OF PLATS, PAGE 454.
13-53-004-910-30

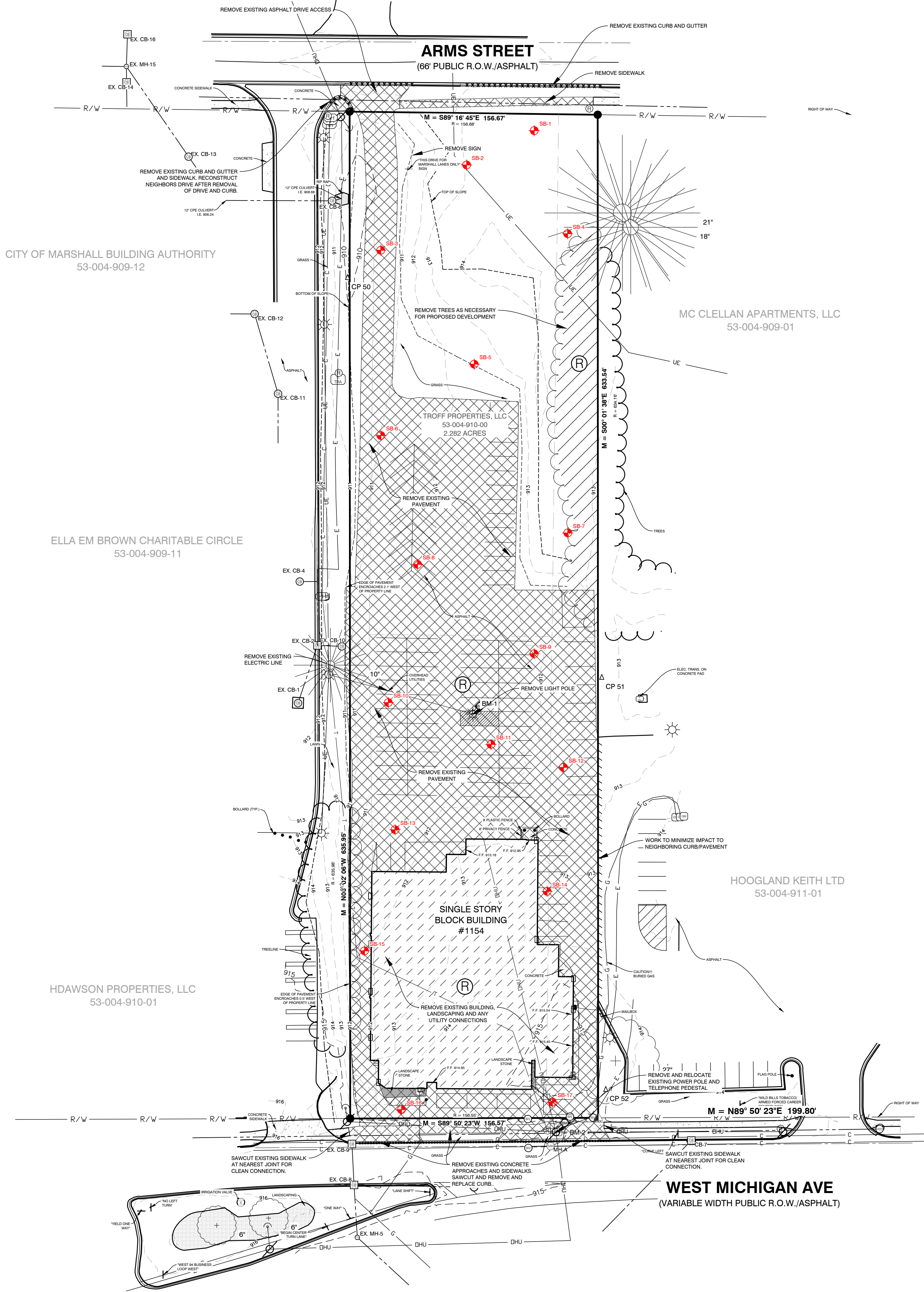
PARCEL 4:
COMMENCING AT A POINT 6 RODS EAST OF THE SOUTHWEST CORNER OF LOT 11 OF FARMER'S LOAN & TRUST COMPANY'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN LIBER 30 OF PLATS, PAGE 454, THENCE NORTH 20 RODS; THENCE WEST 7 RODS; THENCE SOUTH 20 RODS; THENCE EAST 7 RODS TO THE PLACE OF BEGINNING.
13-53-004-910-40

DEMOLITION NOTES

- ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT TIME OF CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, PERMIT COSTS, TAP FEES, METER DEPOSITS, PERMANENT UTILITY APPLICATIONS, BONDS, AND OTHER FEES REQUIRED FOR PROPOSED WORK. THIS SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO THOSE REQUIRED BY THE CITY OF MARSHALL, MDT AND CALHOUN COUNTY.
- CONTACT "MISS DIG 811" AT 1-800-482-7171 FOR LOCATION OF UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS BEFORE COMMENCING EXCAVATION WORK. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO ARE NOT PART OF THE "811" ALERT SYSTEM. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.
- DEMOLISH & REMOVE ALL EXISTING SITE FEATURES AS REQUIRED.
- ALL SOIL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO DEMOLITION.
- ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS AND GEOTECHNICAL REPORT.
- ALL EXISTING ELEVATIONS ARE TO BE VERIFIED AND ACCEPTED AS SHOWN PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR SHALL TAKE PRECAUTIONS TO AVOID TRACKING SOIL ONTO ADJACENT ROADWAYS. CONTRACTOR SHALL SWEEP IMMEDIATELY IF OCCURS.
- ANY DISTURBED AREA WHICH WILL BE LEFT UNWORKED 15 DAYS OR LONGER MUST BE SEEDED TO ESTABLISH VEGETATION FOR TEMPORARY STABILIZATION. BASINS TO BE SEEDED AND MULCH BLANKETS APPLIED IMMEDIATELY TO PROVIDE A STABLE BASE AND AVOID EXCESSIVE EROSION.
- REVIEW ALL THE REMOVALS AND PROTECTION WITH OWNER PRIOR TO COMMENCING CONSTRUCTION. INSTALL TEMPORARY SNOW FENCE AROUND ALL TREES REQUIRING PROTECTION. SNOW FENCE SHALL BE PLACED AT EDGE OF DRIP LINE.
- SAWCUT ALL CURB, SIDEWALK, AND PAVEMENTS PRIOR TO REMOVAL. ADDITIONAL SAWCUT MAY BE NECESSARY PRIOR TO REPLACEMENT TO ENSURE CLEAN EDGE.
- ALL REMOVALS SHALL BE TAKEN OFF-SITE AND DISPOSED OF PROPERLY. NO STOCKPILE OR BURNING OF DEBRIS IS ALLOWED.
- ALL REMOVALS SHALL BE TO THE LIMITS INDICATED ABOVE UNLESS OTHERWISE DIRECTED BY THE ENGINEER. UNAUTHORIZED REMOVALS AND SUBSEQUENT REPLACEMENT SHALL BE AT THE CONTRACTOR'S EXPENSE.
- REMOVE, STORE, AND RESET ANY EXISTING SIGNS AS DIRECTED BY THE ENGINEER/OWNER.
- REMOVE ALL TREES TO THE CLEARING LIMITS AS SHOWN. REMOVE ALL EXISTING TREES, STUMPS AND BRUSH FROM THE SITE AS NECESSARY TO CONSTRUCT THE IMPROVEMENTS.
- THE CONTRACTOR SHALL DEMOLISH AND REMOVE ANY ITEMS REMAINING FROM THE EXISTING BUILDING, IN ITS ENTIRETY, INCLUDING WALLS, FOUNDATIONS AND FOOTINGS. ALL BUILDING DRAINS AND UTILITY LEADS SHALL BE LOCATED AND PROPERLY PLUGGED. UTILITY LEAD WORK SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
- BACKFILL EXCAVATED AREAS WITH CLEAN GRANULAR FILL COMPACTED TO 95% OF THE MATERIAL UNIT WEIGHT BY MODIFIED PROCTOR.
- CONTROL SHALL BE MAINTAINED OVER THE SITE AND OPERATION TO ELIMINATE HAZARDS TO THE PUBLIC. NAILS OR OTHER TIRE PUNCTURING ITEMS SHALL NOT BE DROPPED ON STREETS, ALLEYS AND ADJACENT PROPERTY. PUBLIC STREETS, CURBS AND SIDEWALKS SHALL BE PROTECTED FROM DAMAGE. THE PERSON ENGAGED IN THE DEMOLITION WORK SHALL BE LIABLE FOR ANY AND ALL DAMAGE TO CURBS, STREETS, SIDEWALKS AND OTHER PUBLIC OR PRIVATE PROPERTY AND FOR ANY BODILY INJURY OCCURRING AS A RESULT OF THE DEMOLITION WORK.

SOIL BORING DATA

SOIL BORING SB #1 SURFACE ELEVATION 0.0' - 1.3' SAND 1.3' - 4.5' SAND 4.5' - 5.0' SAND END OF BORING	913.35 WATER ELEVATION: NOT ENCOUNTERED SAND, VERY LOOSE, DARK BROWN, FINE GRAINED, MOIST CLAYEY SAND, VERY LOOSE TO LOOSE, BROWN, FINE GRAINED, TRACE GRAVEL, MOIST SAND, LOOSE, BROWN, FINE TO MEDIUM GRAINED, MOIST END OF BORING	SOIL BORING SB #10 SURFACE ELEVATION 0.0' - 0.3' ASPHALT 0.3' - 1.0' GRAVEL 1.0' - 4.0' CLAY 4.0' - 6.5' SAND 6.5' - 9.0' SAND 9.0' - 20.0' SAND 20.0' - 25.0' SAND END OF BORING	911.23 WATER ELEVATION: 11.5' ASPHALT 4 INCHES GRAVEL 10 INCHES CLAY, STIFF, BROWN, MOIST CLAYEY SAND, LOOSE TO MEDIUM DENSE, BROWN, FINE GRAINED, TRACE SILT, MOIST CLAYEY SAND, MEDIUM DENSE, BROWN, MEDIUM TO COARSE GRAINED, TRACE GRAVEL, TRACE COBBLE, MOIST SAND, MEDIUM DENSE, BROWN, MEDIUM TO COARSE GRAINED, TRACE GRAVEL, TRACE COBBLE, MOIST TO WET SAND, MEDIUM DENSE, BROWN, FINE TO MEDIUM GRAINED, TRACE GRAVEL WET END OF BORING
SOIL BORING SB #2 SURFACE ELEVATION 0.0' - 0.6' SAND 0.6' - 5.0' SAND 5.0' - 7.8' SAND 7.8' - 20.0' SAND GRAINED, END OF BORING	913.05 WATER ELEVATION: 14.0' SAND, LOOSE, DARK BROWN, FINE GRAINED, MOIST CLAYEY SAND, LOOSE TO MEDIUM DENSE, BROWN, FINE TO MEDIUM GRAINED, TRACE GRAVEL, MOIST SAND, DENSE, BROWN, FINE GRAINED, MOIST SAND, MEDIUM DENSE TO DENSE, BROWN, MEDIUM TO COARSE TRACE GRAVEL, TRACE COBBLE, MOIST TO WET END OF BORING	SOIL BORING SB #11 SURFACE ELEVATION 0.0' - 0.2' ASPHALT 0.2' - 1.1' GRAVEL 1.1' - 4.5' SAND 4.5' - 21.0' SAND 21.0' - 25.0' SAND END OF BORING	911.73 WATER ELEVATION: 11.5' ASPHALT 3 INCHES GRAVEL 11 INCHES CLAYEY SAND, LOOSE, BROWN, FINE TO MEDIUM GRAINED, TRACE GRAVEL, MOIST SAND LOOSE TO VERY DENSE, BROWN, MEDIUM TO COARSE GRAINED, A LITTLE GRAVEL, TRACE COBBLE, MOIST TO WET SAND, MEDIUM DENSE, BROWN, MEDIUM TO COARSE GRAINED, TRACE GRAVEL, TRACE COBBLE, WET END OF BORING
SOIL BORING SB #3 SURFACE ELEVATION 0.0' - 1.0' SAND 1.0' - 8.0' SAND 8.0' - 12.5' SAND 12.5' - 20.0' SAND END OF BORING	910.41 WATER ELEVATION: 11.5' SAND, LOOSE, DARK BROWN, FINE GRAINED, TRACE GRAVEL, MOIST SILT, SAND, LOOSE, BROWN, FINE GRAINED, TRACE CLAY, MOIST SAND, MEDIUM DENSE, BROWN, FINE TO COARSE GRAINED, A LITTLE GRAVEL, TRACE COBBLE, MOIST TO WET SAND, MEDIUM DENSE, BROWN, FINE GRAINED, TRACE GRAVEL, WET END OF BORING	SOIL BORING SB #12 SURFACE ELEVATION 0.0' - 0.2' ASPHALT 0.2' - 1.5' GRAVEL 1.5' - 5.0' SAND 5.0' - 6.5' SAND 6.5' - 20.0' SAND END OF BORING	912.49 WATER ELEVATION: 12.5' ASPHALT 2 INCHES GRAVEL 16 INCHES CLAYEY SAND, LOOSE BROWN, FINE TO MEDIUM GRAINED, MOIST SAND, MEDIUM DENSE, BROWN, FINE TO MEDIUM GRAINED, MOIST SAND, LOOSE TO MEDIUM DENSE, BROWN, MEDIUM TO COARSE GRAINED, TRACE GRAVEL, TRACE COBBLE, MOIST TO WET END OF BORING
SOIL BORING SB #4 SURFACE ELEVATION 0.0' - 0.3' SAND 0.3' - 4.5' SAND 4.5' - 6.5' SAND 6.5' - 20.0' SAND END OF BORING	913.35 WATER ELEVATION: 12.5' SAND, DARK BROWN, FINE GRAINED, MOIST SAND, LOOSE, BROWN, FINE GRAINED, TRACE GRAVEL, TRACE CLAY, MOIST SAND, MEDIUM DENSE TO DENSE, BROWN, FINE GRAINED, MOIST SAND, MEDIUM DENSE TO DENSE, BROWN, FINE GRAINED, MOIST SAND, LOOSE TO MEDIUM DENSE, BROWN, MEDIUM TO COARSE GRAINED, A LITTLE GRAVEL, TRACE COBBLE, MOIST TO WET END OF BORING	SOIL BORING SB #13 SURFACE ELEVATION 0.0' - 0.3' ASPHALT 0.3' - 1.0' GRAVEL 1.0' - 4.5' CLAY 4.5' - 7.0' SAND 7.0' - 25.0' SAND END OF BORING	911.32 WATER ELEVATION: 12.0' ASPHALT 4 INCHES GRAVEL 8 INCHES SANDY CLAY, STIFF, BROWN, MOIST SAND, LOOSE, BROWN, FINE TO MEDIUM GRAINED, MOIST SAND, LOOSE TO MEDIUM DENSE, BROWN, MEDIUM TO COARSE GRAINED, TRACE GRAVEL, TRACE COBBLE, MOIST TO WET END OF BORING
SOIL BORING SB #5 SURFACE ELEVATION 0.0' - 0.3' SAND 0.3' - 4.0' SAND 4.0' - 5.0' SAND END OF BORING	912.32 WATER ELEVATION: NOT ENCOUNTERED SAND, DARK BROWN, FINE GRAINED, MOIST SAND, LOOSE TO MEDIUM DENSE, BROWN, FINE GRAINED, TRACE GRAVEL, MOIST SAND, MEDIUM DENSE, BROWN, FINE GRAINED, MOIST END OF BORING	SOIL BORING SB #14 SURFACE ELEVATION 0.0' - 0.4' ASPHALT 0.4' - 1.1' GRAVEL 1.1' - 5.5' SAND 5.5' - 25.0' SAND END OF BORING	913.41 WATER ELEVATION: 12.0' ASPHALT 5 INCHES GRAVEL 10 INCHES CLAYEY SAND, LOOSE BROWN TO DARK BROWN, FINE TO MEDIUM GRAINED, TRACE GRAVEL, MOIST SAND, MEDIUM DENSE, BROWN, MEDIUM TO COARSE GRAINED, TRACE GRAVEL, TRACE COBBLE, MOIST TO WET END OF BORING
SOIL BORING SB #6 SURFACE ELEVATION 0.0' - 0.4' ASPHALT 0.4' - 1.0' GRAVEL 1.0' - 3.0' SAND 3.0' - 8.0' SAND 8.0' - 13.5' SAND 13.5' - 20.0' SAND END OF BORING	911.03 WATER ELEVATION: 11.0' ASPHALT 4.5 INCHES GRAVEL 8.5 INCHES SAND, MEDIUM DENSE, BROWN, FINE GRAINED, MOIST CLAYEY SAND, VERY LOOSE, BROWN, FINE TO MEDIUM GRAINED, TRACE SILT, TRACE GRAVEL, MOIST SAND, MEDIUM DENSE, BROWN, FINE TO COARSE GRAINED, TRACE GRAVEL, TRACE COBBLE, MOIST TO WET SAND, MEDIUM DENSE, BROWN, FINE GRAINED, TRACE GRAVEL, WET END OF BORING	SOIL BORING SB #15 SURFACE ELEVATION 0.0' - 0.4' ASPHALT 0.4' - 1.0' GRAVEL 1.0' - 4.0' CLAY 4.0' - 8.0' SAND 8.0' - 25.0' SAND END OF BORING	911.85 WATER ELEVATION: 11.5' ASPHALT 5 INCHES GRAVEL 7 INCHES SANDY CLAY, STIFF, BROWN, TRACE WOOD, MOIST SAND LOOSE, BROWN, FINE GRAINED, MOIST SAND, MEDIUM DENSE, BROWN, MEDIUM TO COARSE GRAINED, TRACE GRAVEL, TRACE COBBLE, MOIST TO WET END OF BORING
SOIL BORING SB #7 SURFACE ELEVATION 0.0' - 1.3' SAND 1.3' - 3.0' SAND 3.0' - 7.5' SILT 7.5' - 14.5' SAND 14.5' - 20.0' SAND END OF BORING	913.59 WATER ELEVATION: 12.5' SAND, LOOSE, DARK BROWN, FINE TO MEDIUM GRAINED, TRACE GRAVEL, MOIST CLAYEY SAND, LOOSE, BROWN, FINE TO MEDIUM GRAINED, TRACE SILT, MOIST CLAYEY SILT, LOOSE, BROWN, MOIST SAND, MEDIUM DENSE, BROWN, MEDIUM TO COARSE GRAINED, TRACE GRAVEL, MOIST TO WET SILT, SAND, MEDIUM DENSE, BROWN, FINE GRAINED, WET END OF BORING	SOIL BORING SB #16 SURFACE ELEVATION 0.0' - 0.3' ASPHALT 0.3' - 1.0' GRAVEL 1.0' - 3.5' SAND 3.5' - 6.5' SAND 6.5' - 9.0' SAND 9.0' - 13.0' SAND 13.0' - 15.0' SAND 15.0' - 20.0' SAND END OF BORING	914.35 WATER ELEVATION: 16.0' ASPHALT 4.5 INCHES GRAVEL 7.5 INCHES CLAYEY SAND, LOOSE, BROWN TO DARK BROWN, FINE TO MEDIUM GRAINED, TRACE GRAVEL, MOIST CLAYEY SAND, LOOSE BROWN, FINE TO MEDIUM GRAINED, TRACE GRAVEL, MOIST SAND LOOSE TO MEDIUM DENSE, FINE TO MEDIUM GRAINED, TRACE GRAVEL, MOIST SAND, MEDIUM DENSE, BROWN, MEDIUM TO COARSE GRAINED, A LITTLE GRAVEL, TRACE COBBLE, MOIST SAND, DENSE, LIGHT BROWN, FINE TO MEDIUM GRAINED, MOIST SAND, DENSE, BROWN, MEDIUM TO COARSE GRAINED, A LITTLE GRAVEL, TRACE COBBLE, MOIST TO WET END OF BORING
SOIL BORING SB #8 SURFACE ELEVATION 0.0' - 0.3' ASPHALT 0.3' - 1.3' GRAVEL 1.3' - 3.0' SAND 3.0' - 5.5' SAND 5.5' - 15.0' SAND 15.0' - 20.0' SAND 20.0' - 25.0' SAND END OF BORING	911.55 WATER ELEVATION: 12.0' ASPHALT 3.5 INCHES GRAVEL 11.5 INCHES SAND, MEDIUM DENSE, BROWN, FINE GRAINED, MOIST CLAYEY SAND, LOOSE, BROWN, FINE GRAINED, MOIST CLAYEY SAND, MEDIUM DENSE TO DENSE, BROWN, MEDIUM TO COARSE GRAINED, TRACE GRAVEL, TRACE COBBLE, MOIST TO WET SAND, MEDIUM DENSE, BROWN, MEDIUM TO COARSE GRAINED, A LITTLE GRAVEL, WET SAND, MEDIUM DENSE, BROWN, FINE TO MEDIUM GRAINED, WET END OF BORING	SOIL BORING SB #17 SURFACE ELEVATION 0.0' - 0.4' ASPHALT 0.4' - 1.2' GRAVEL 1.2' - 3.0' SAND 3.0' - 5.0' SAND END OF BORING	914.85 WATER ELEVATION: NOT ENCOUNTERED ASPHALT 4 INCHES GRAVEL 10 INCHES CLAYEY SAND LOOSE BROWN TO DARK BROWN, FINE TO MEDIUM GRAINED, TRACE GRAVEL, MOIST CLAYEY SAND LOOSE BROWN FINE TO MEDIUM GRAINED, TRACE GRAVEL, MOIST END OF BORING
SOIL BORING SB #9 SURFACE ELEVATION 0.0' - 0.2' ASPHALT 0.2' - 0.8' GRAVEL 0.8' - 4.0' SAND 4.0' - 5.0' SAND END OF BORING	911.85 WATER ELEVATION: NOT ENCOUNTERED ASPHALT 1.5 INCHES GRAVEL 6.5 INCHES CLAYEY SAND, LOOSE, BROWN, FINE GRAINED, MOIST CLAYEY SAND, LOOSE, BROWN, FINE TO MEDIUM GRAINED, TRACE GRAVEL, MOIST END OF BORING		



BENCHMARKS

BM-1: ELEV: 912.84
SET "X" IN THE NORTHWEST SIDE OF LIGHT POLE BASE LOCATED
±410' SOUTH OF CENTERLINE OF ARMS ST AND ±100' EAST OF EDGE
OF BIT OF PRIVATE DRIVE TO THE WEST OF PROPERTY.

BM-2: ELEV: 916.32
SET NAIL IN NORTHEAST SIDE OF POWER POLE LOCATED ±30' NORTH
OF MEDIAN LINE OF WEST MICHIGAN AVE AND ±150' WEST OF EDGE
OF BIT OF DRIVE ENTRANCE EAST OF PROPERTY.

EX. STORM STRUCTURE INFORMATION

EX. CB-1, 2' CONC. STRUCTURE
RIM = 911.34'
NE 8" PVC (INV. = 908.39)
SUMP = 907.89'

EX. CB-2, 4' CONC. STRUCTURE
RIM = 911.32'
SW 8" PVC (INV. = 907.87)
E 6" PVC (INV. 908.42)
NNW 12" CONC (INV. 907.47)
SUMP = 906.02

EX. MH-3, 2' CONC. STRUCTURE
RIM = 915.11'
W 12" CONC (INV. = 911.41)
SUMP = 908.46'

EX. CB-4, 2' CONC. STRUCTURE
RIM = 911.50'
SSE 8" PVC (INV. = 908.85)
SUMP = 907.75'

EX. MH-5, 4' BLOCK STRUCTURE
RIM = 914.88'
N 12" CONC (INV. = 909.13)
SE 12" CONC (INV. 909.08)
SUMP = 906.73'

EX. CB-6, 4' CONC. STRUCTURE
RIM = 911.57'
E 12" CPE (INV. = 908.62)
W 12" CPE (INV. 908.52)
SUMP = 907.37'

EX. CB-7, 4' BLOCK STRUCTURE
RIM = 914.38'
SW 12" CONC (INV. = 910.83)
SUMP = 908.18'

EX. CB-8, 4' BLOCK STRUCTURE
RIM = 914.96'
N 12" CONC (INV. = 910.66)
S 12" CONC (INV. 910.01)
E 12" CONC (INV. 911.16)
SUMP = 908.36'

EX. CB-9, 2' BLOCK STRUCTURE
RIM = 915.31'
S 12" CONC (INV. 911.31)
SUMP = 909.31'

EX. CB-10, 2' CONC. STRUCTURE
RIM = 911.11'
W 6" PVC (INV. 909.81)
SUMP = 909.21'

EX. CB-11, 4' CONC. STRUCTURE
RIM = 910.97'
NNW 15" CONC (INV. 906.97)
S 15" CONC (INV. 906.77)
SUMP = 905.32'

EX. CB-12, 4' CONC. STRUCTURE
RIM = 911.03
SSE 15" CONC (INV. 906.33)
W 15" CONC (INV. 905.08)
SUMP = 905.03'

EX. CB-13, 4' CONC. STRUCTURE
RIM = 910.07'
SE 8" PVC (INV. 907.67)
SE 6" PVC (INV. 908.87)
NW 6" CLAY (INV. 905.87)
NE 15" CPE (INV. 907.37)
SUMP = 905.87'

EX. CB-14, 4' CONC. STRUCTURE
RIM = 911.10
N 12" CONC (INV. 904.60)
S 12" CONC (INV. 903.85)
SUMP = 903.75'

EX. MH-15, 4' CONC. STRUCTURE
RIM = 911.48
N 12" CONC (INV. 904.38)
S 12" CONC (INV. 904.33)
W 15" CONC (INV. 904.28)
SE 15" CPE (INV. 907.03)
SE 6" CLAY (INV. 904.78)
SUMP = 903.88'

EX. CB-16, 4' CONC. STRUCTURE
RIM = 910.89
S 12" CONC (INV. 910.01)
S 12" CONC (INV. 904.59)
SUMP = 904.09'

EX SANITARY STRUCTURE INFORMATION

MH-A, 2' BRICK STRUCTURE
RIM = 915.00'
N 4" PVC (INV. = 910.90)
E 6" CLAY (INV. = 910.00)
W 6" CLAY (INV. = 910.05)

LEGEND

- PAVEMENT REMOVAL
- BUILDING REMOVAL
- SAWCUT
- UTILITY LINE REMOVAL
- TREE REMOVAL
- REMOVE
- PROTECT
- LIMITS OF CONSTRUCTION
- CURB & GUTTER REMOVAL

PLANS PREPARED BY:



DRAWN: EAG
CHECKED: JPR

No.	DATE	BY	ISSUED FOR:
0	12/26/2024	EAG	PRELIMINARY PLAN
1			
2			
3			
4			

EXISTING CONDITIONS AND DEMO

MARSHALL HOTEL
SAVINDER SINGH

1154 W MICHIGAN AVE, MARSHALL, MI
SECTION 26, T02S, R05W.

PROJECT:
CLIENT:

JOB NUMBER
24193001

DATE
12/26/2024

SHEET NUMBER

C1.0



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA. FIELD WORK PERFORMED BY: AR ENGINEERING

SITE DATA

1. PROPERTY INFORMATION:
PARCEL #S: 53-004-910-00
SITE AREA: 99,404 SF (2,282AC)
OWNER/DEVELOPER: SUHA HOTELS, LLC
SAVINDER SINGH
EMAIL: savinder@gmail.com
PHONE: (269) 300-7489
2. ZONING:
PROPERTY CURRENTLY ZONED:
B-4 REGIONAL COMMERCIAL
ABUTTING PROPERTY CURRENTLY ZONED:
NORTH: MFRD-MULTIPLE FAMILY RESIDENTIAL
SOUTH: PSP PUBLIC / SEMI-PUBLIC SERVICES
EAST: B-4 REGIONAL COMMERCIAL &
MFRD-MULTIPLE FAMILY RESIDENTIAL
WEST: B-4 REGIONAL COMMERCIAL
PROPOSED LAND USE = HOTEL
*PERMITTED USE IN B-4 REGIONAL COMMERCIAL
3. SETBACKS
FRONT = 20'
SIDES = 10' (TOTAL OF 2 SIDES: 25')
REAR = 25'
PARKING = 10' (FROM RESIDENTIALLY USE/ZONE)
4. PARKING:
REQUIRED = (1) SPACE PER OCCUPANCY UNITS
+ 5 EMPLOYEES
101 ROOMS + 5 EMPLOYEES 106
PROVIDED = STANDARD 9'x20' SPACES = 105
BARRIER FREE SPACES = 5
TOTAL PROVIDED 110*
- *ADDITIONAL 11 FUTURE PARKING SPACES TO BE
CONSTRUCTED IN THE FUTURE, IF NEEDED.
5. BUILDING:
FOUR-STORY
MAXIMUM HEIGHT: 35' / 2.5 STORIES*
*VARIANCE OBTAINED 04-19-2024
TOTAL AREA OF 17,671 SFT. (SEE FLOOR PLAN AND
ELEVATIONS FOR MORE DETAIL.)
PROPOSED BUILDING COVERAGE: 12%
MAXIMUM BUILDING COVERAGE: N/A
6. LOT:
MINIMUM LOT SIZE: 2,500 SFT
MINIMUM LOT WIDTH: 100FT
LOT SIZE: 99,404 SFT / 2,282 ACRES
LOT DIMENSIONS: IRREGULAR
7. LANDSCAPING:
SHALL BE IN ACCORDANCE WITH LANDSCAPING PLAN.
8. STORM WATER DETENTION REQUIRED:
STORM WATER MANAGEMENT SHALL BE IN
ACCORDANCE WITH COUNTY STORM WATER
GUIDELINES.

SITE PLAN NOTES

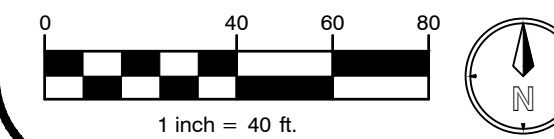
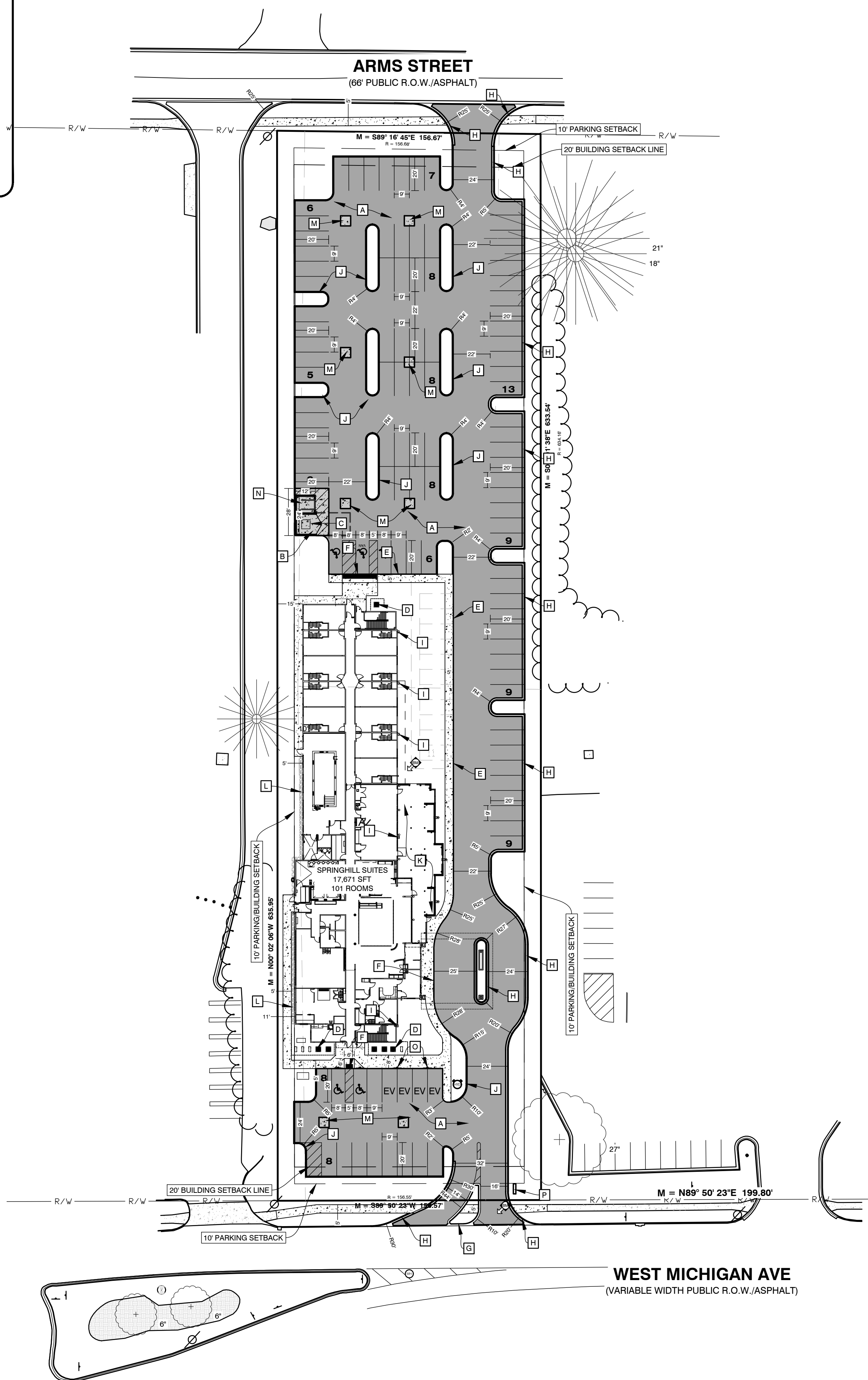
- A ASPHALT PAVEMENT (SEE DETAIL ON SHEET C5.0)
B CONCRETE PAD
C 28'x18' (MIN.) - 6" CONCRETE DUMPSTER PAD (PROVIDE
12' x12' DUMPSTER ENCLOSURE FOR (1) STD
DUMPSTER WITH 5 TOTAL BOLLARDS (SEE ARCH
PLANS)
D PROPOSED HVAC UNITS WITH FENCING (SEE ARCH
PLANS)
E INTEGRAL CURB/WALK (SEE DETAIL ON SHEET C5.0)
F AT-GRADE RAMP (SEE GRADING PLAN)
G MDOT B2 CONCRETE CURB AND GUTTER,
(SEE DETAIL ON SHEET C5.0)
H MDOT F4 CURB AND GUTTER (SEE DETAIL ON SHEET
C5.0)
I DOWNSPOUT (TYP)
J E2 CURB (SEE DETAIL ON SHEET C5.0)
K PATIO WITH FENCE / WALL ENCLOSURE. (SEE ARCH
PLANS)
L 2' WIDE STONE MAINTENANCE STRIP
M CONCRETE COLLAR AROUND STORM STRUCTURE
N STORAGE BUILDING (SEE ARCH PLANS)
O EV CHARGING STATIONS (2 TOTAL). (SEE ELECTRICAL
PLANS)
P MONUMENT SIGN

LEGEND

- ASPHALT PAVEMENT
(SEE DETAIL ON SHEET C5.0)
- CONCRETE SIDEWALK
(SEE DETAIL ON SHEET C5.0)
- CONCRETE PAVEMENT
(SEE DETAIL ON SHEET C5.0)

GENERAL NOTES

1. DIMENSIONS TAKE PRECEDENCE OVER SCALE.
CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
2. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS
BECOME APPARENT, THESE SHALL BE BROUGHT TO
THE ATTENTION OF THE ARCHITECT/ENGINEER PRIOR
TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT
CLARIFICATION OR REDESIGN MAY OCCUR.
3. ALL CURB RADII AND DIMENSIONS ARE TO FACE OF
CURB. CURB TO BE PROVIDED WHERE SHOWN AND
INTEGRAL WITH SIDEWALK AT PAVING EDGE.
4. SLOPE GRADES UNIFORMLY BETWEEN ELEVATIONS
SHOWN. NOMINAL GRADING, SLOPE SIDEWALKS AWAY
FROM BUILDING AT 1/4" PER FOOT ON ENTRY WALK.
5. SNOW TO BE STORED ON SITE.



BENCHMARKS

- BM-1: ELEV: 912.84
SET 'X' IN THE NORTHWEST SIDE OF LIGHT POLE BASE LOCATED
±110' SOUTH OF CENTERLINE OF ARMS ST AND ±100' EAST OF EDGE
OF BIT OF PRIVATE DRIVE TO THE WEST OF PROPERTY.
- BM-2: ELEV: 916.32
SET NAIL IN NORTHEAST SIDE OF POWER POLE LOCATED ±30' NORTH
OF MEDIAN LINE OF WEST MICHIGAN AVE AND ±150' WEST OF EDGE
OF BIT OF DRIVE ENTRANCE EAST OF PROPERTY.

PLANS PREPARED BY:



DRAWN: EAG
CHECKED: JPR

No.	ISSUED FOR:	DATE	BY
0	PRELIMINARY PLAN	12/26/2024	EAG
1			
2			
3			
4			

SITE LAYOUT

MARSHALL HOTEL
SAVINDER SINGH

1154 W MICHIGAN AVE, MARSHALL, MI
SECTION 26, T02S, R05W.

PROJECT:
CLIENT:
SITE ADDRESS:
SITE SECTION:

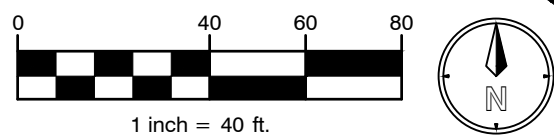
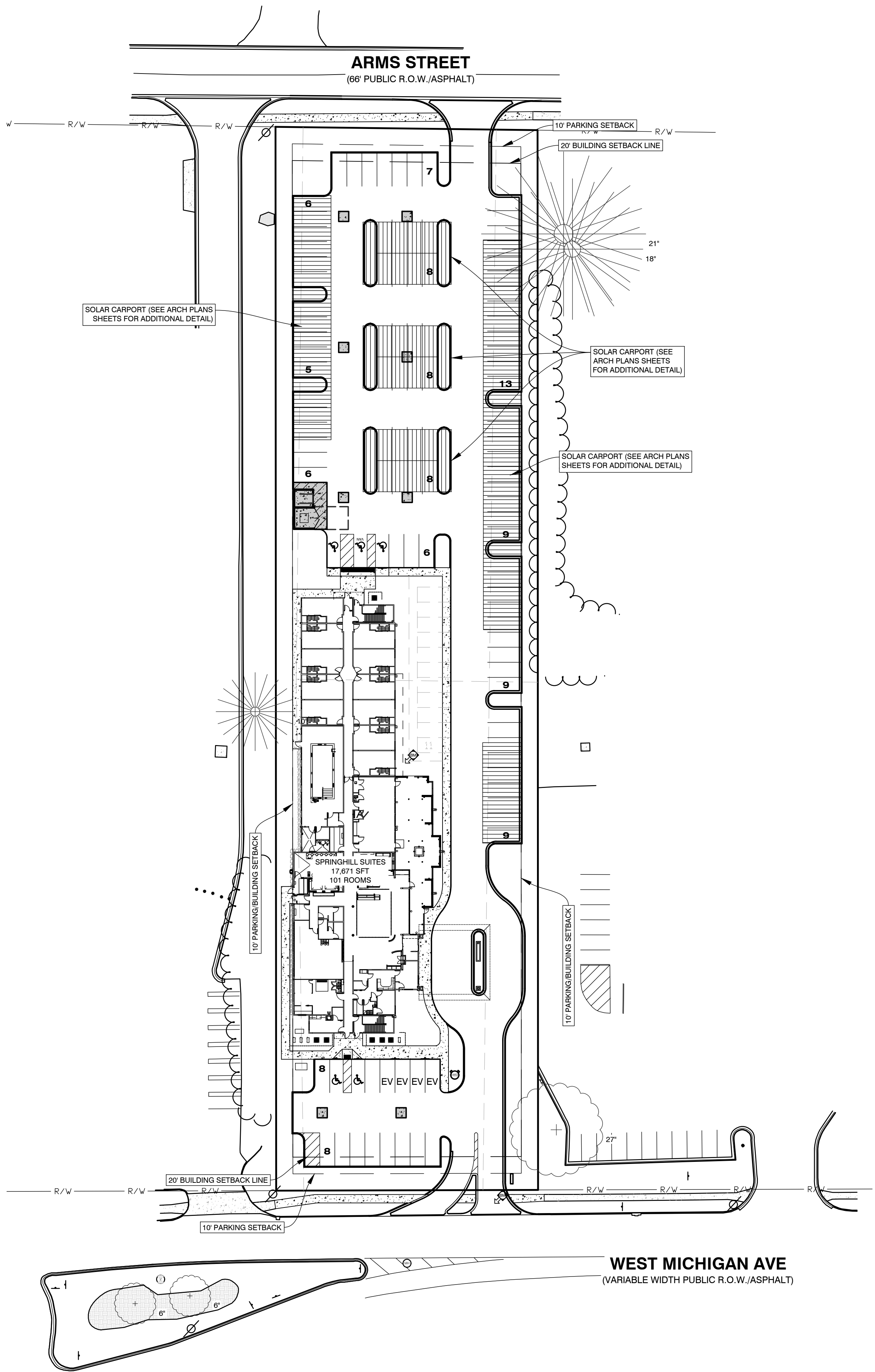
JOB NUMBER
24193001

DATE
12/26/2024

SHEET NUMBER
C2.0



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FIELD WORK PERFORMED BY: AR ENGINEERING



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA. FIELD WORK PERFORMED BY: AR ENGINEERING

PLANS PREPARED BY:



DRAWN: EAG
CHECKED: JPR

No.	ISSUED FOR:	DATE	BY
0	PRELIMINARY PLAN	12/26/2024	EAG
1	.	.	.
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SOLAR CARPORT LAYOUT
MARSHALL HOTEL
SAVINDER SINGH
1154 W MICHIGAN AVE, MARSHALL, MI
SECTION 26, T02S, R05W.

PROJECT:
CLIENT:
SITE ADDRESS:
SITE SECTION:

JOB NUMBER
24193001

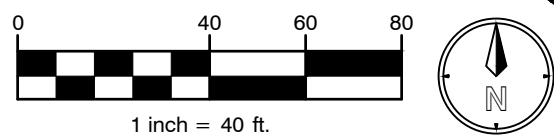
DATE
12/26/2024

SHEET NUMBER
C2.1

1. SOILS EXPOSED IN THE BASE OF ALL SATISFACTORY FOUNDATION EXCAVATIONS SHOULD BE PROTECTED AGAINST ANY DETRIMENTAL CHANGES IN CONDITION SUCH AS FROM DISTURBANCE, RAIN AND FREEZING. SURFACE RUN-OFF WATER SHOULD BE DRAINED AWAY FROM THE EXCAVATION AND NOT ALLOWED TO POND. IF POSSIBLE, ALL FOOTING CONCRETE SHOULD BE POURED THE SAME DAY THE EXCAVATION IS MADE. IF THIS IS NOT PRACTICAL, THE FOOTING EXCAVATIONS SHOULD BE ADEQUATELY PROTECTED.
2. REMOVE ALL SUBGRADE GRADE MATERIAL THAT MAY BE SOFTENED BY RAINS, FREEZING, OR CONSTRUCTION TRAFFIC, ETC. AND REPLACE WITH COMPACTED GRANULAR FILL.
3. STORM SEWER SHALL BE CORRUGATED HDPE PIPE WITH SMOOTH INTERIOR WALL, BY ADS OR EQUAL. LEACHING BASINS AND MANHOLES ARE TO BE REINFORCED CONCRETE WITH RIM AND SLOTTED GRATING (AS SHOWN). STORM SEWER & LEACHING BASINS ARE TO BE WRAPPED WITH FILTER FABRIC.
4. SANITARY SEWER PIPE MAY BE PVC SDR 3034 MATERIAL.
5. PROVIDE MINIMUM 5' COVER FROM FINISHED GRADE FOR ALL WATER SERVICE LINES. IF COVER CANNOT BE MAINTAINED DUE TO SITE CONDITIONS OR INVERT ELEVATIONS THE ENTIRE LENGTH OF THE EXTERIOR PIPE MUST BE PROTECTED WITH 2" RIGID INSULATION BOARD ON THE TOP AND SIDES.
6. PROVIDE MINIMUM 5' COVER FROM FINISHED GRADE FOR ALL SANITARY SEWER LINES. IF COVER CANNOT BE MAINTAINED DUE TO SITE CONDITIONS OR INVERT ELEVATIONS THE ENTIRE LENGTH OF THE EXTERIOR PIPE MUST BE PROTECTED WITH 2" RIGID INSULATION BOARD ON THE TOP AND SIDES.
7. MAINTAIN 10 FOOT MINIMUM HORIZONTAL SEPARATION BETWEEN THE SEWER AND WATER MAIN UTILITIES. PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE UTILITIES CROSS.
8. THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
9. EXTERIOR CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 4000 PSI AND SHALL HAVE LIMESTONE AGGREGATE AND SHALL HAVE 4 - 6 % AIR ENTRAINMENT WITH A BROOM FINISH.
10. EXPANSION JOINTS IN CONCRETE PAVEMENT AND WALLS SHALL BE 1/2" ASPHALT IMPREGNATED FULL DEPTH 40' O.C. MAXIMUM & AT SIDEWALK INTERSECTIONS. CRACK CONTROL SCORING AT SIDEWALK WIDTH DIMENSION AND @ 10'-0" O.C. IN DRIVES.

- A. WATER SERVICE. COORDINATE CONNECTION WITH PLUMBING PLANS.**
- B. 6" WATER SERVICE (FIRE & DOMESTIC), CONNECT TO EXISTING WATER MAIN IN MICHIGAN AVE. COORDINATE WITH CITY OF MARSHALL**
- C. SEWER LATERAL. COORDINATE CONNECTION WITH PLUMBING PLANS.**
- D. CONNECT TO EXISTING SANITARY STUB. COORDINATE WITH CITY OF MARSHALL**
- E. ELECTRIC METER AND SERVICE.**
- F. GAS METER AND SERVICE.**
- G. DOWNSPOUT (TYP)**
- H. STORM WATER CLEAN OUT**
- I. FDC CONNECTION**

1. ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT TIME OF CONSTRUCTION.
2. ELECTRICAL WORK SHALL BE PERFORMED BY A STATE OF MICHIGAN LICENSED ELECTRICIAN ACCORDING TO THE N.E.P.A. NATIONAL ELECTRICAL CODE AS MODIFIED BY THE STATE OF MICHIGAN. FURNISH AND INSTALL ALL MATERIALS AND LABOR TO PROVIDE A COMPLETE WORKING SYSTEM.
3. ALL PLUMBING WORK SHALL BE PERFORMED BY A STATE OF MICHIGAN LICENSED PLUMBER ACCORDING TO THE INTERNATIONAL PLUMBING CODE AS MODIFIED BY THE STATE OF MICHIGAN AND LOCAL HEALTH DEPARTMENT. FURNISH AND INSTALL ALL MATERIALS AND LABOR TO PROVIDE A FULL WORKING SYSTEM.
4. ALL MECHANICAL WORK SHALL BE PERFORMED ACCORDING TO THE INTERNATIONAL MECHANICAL CODE AS MODIFIED BY THE STATE OF MICHIGAN AND THE MICHIGAN ENERGY CODE. FURNISH AND INSTALL ALL MATERIALS AND LABOR TO PROVIDE A FULL WORKING SYSTEM.
5. ALL WORK SHALL CONFORM TO THE MICHIGAN HANDICAPPED ACCESSIBILITY CODE AND THE AMERICANS WITH DISABILITIES ACT.
6. WATER SERVICE PRESSURE TESTING AND CHLORINATION SHALL BE PER EGLE AND CITY OF MARSHALL REQUIREMENTS.
7. SANITARY SEWER INSTALLATION AND TESTING MUST MEET THE REQUIREMENTS OF CITY OF MARSHALL AND EGLE.
8. ALL REGULATORY SIGNAGE (IF SPECIFIED) SHALL BE PER THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT).
9. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, PERMIT COSTS, TAP FEES, METER DEPOSITS, PERMANENT UTILITY APPLICATIONS, BONDS, AND OTHER FEES REQUIRED FOR PROPOSED WORK.
10. CONTACT "MISS DIG 811" AT 1-800-482-7171 FOR LOCATION OF UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS BEFORE COMMENCING EXCAVATION WORK. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO ARE NOT PART OF THE "MISS DIG" ALERT SYSTEM. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.
11. ANY SANITARY SEWER, SANITARY SEWER SERVICE LEADS, WATER MAIN, WATER SERVICES, OR STORM SEWER WHICH IS DAMAGED BY THE CONTRACTOR DURING HIS OPERATIONS SHALL BE REPAIRED TO THE OWNERS SATISFACTION, AND AT THE CONTRACTORS EXPENSE. IF ANY ELEMENTS OF THE SANITARY SEWER SYSTEM ARE DAMAGED AND NEEDED REPAIRED, IT MUST MEET CITY OF MARSHALL SPECIFICATIONS.
12. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR THE ELECTRICAL TRANSFORMER PAD PER THE UTILITY COMPANY SPECIFICATIONS.
13. THE TELEPHONE UTILITY COMPANY SHALL PROVIDE UNDERGROUND TELEPHONE TO THE BUILDING AT THE OWNERS EXPENSE.
14. REFER TO ELECTRICAL DRAWINGS FOR UNDERGROUND ELECTRICAL REQUIREMENTS FOR SITE LIGHTING & SITE DETAILS SHEETS FOR THE FIXTURE AND POLE SPECIFICATIONS.
15. DESIGN, INSTALLATION AND SPECIFICATION FOR IMPROVEMENTS RELATED TO GAS, TELEPHONE, ELECTRIC AND CABLE TELEVISION SERVICES SHALL BE COORDINATED BY THE CONTRACTOR.
16. CONTRACTOR SHALL COORDINATE TELEPHONE, ELECTRIC, AND CABLE TELEVISION CONDUITS WITH THE APPROPRIATE UTILITY PRIOR TO PAVEMENT INSTALLATION.
17. CONTRACTOR IS TO UNCOVER AND CONFIRM ALL TAP LOCATIONS. LOCATION DISCREPANCIES ARE TO BE BROUGHT TO THE ENGINEERS ATTENTION FOR RESOLUTION.
18. THE CONTRACTOR IS TO PROVIDE THE WATER SERVICE PIPING FROM THE BUILDING TO THE EXISTING MAIN. THE CONTRACTOR SHALL MAKE THE CONNECTION TO THE SHUT OFF VALVE. THE CONTRACTOR SHALL COORDINATE SERVICES WITH THE VILLAGE.
19. CONTRACTOR/OWNER SHALL OBTAIN UTILITY CONNECTION PERMITS AND SETTLE APPLICABLE UTILITY ASSESSMENTS PRIOR TO EXTENSION OF PUBLIC UTILITIES ONSITE.
20. MANHOLE AND CATCH BASIN STRUCTURES SHALL BE PRECAST AND HAVE A MAXIMUM OF 2 ADJUSTING RINGS FOR FINISH GRADE ADJUSTMENT. STORM STRUCTURES MUST ALL HAVE A SUMP OF TWO FEET.
21. ALL WATER MAIN TO HAVE A BURIAL DEPTH AS REQUIRED BY EGLE FOR THE SPECIFIC REGION OF WORK IN CALHOUN COUNTY.
22. DEMOLISH & REMOVE ALL EXISTING SITE FEATURES AS REQUIRED.
23. THE CONTRACTOR SHALL REVIEW THE GEOTECHNICAL REPORT PREPARED BY DRIESENGA.
24. DRIVEWAY LAYOUT AND CONNECTION TO WEST MICHIGAN AVE SHALL COMPLY WITH ALL ASPECTS OF THE MDOT DRIVE PERMITS, RESPECTIVELY.
25. GEOTEXTILE FABRIC SHALL BE PLACED UNDER ALL APPLICATIONS OF RIP RAP OUTFALLS AND SPILLWAYS.



BM-1: ELEV: 912.84
SET "X" IN THE NORTHWEST SIDE OF LIGHT POLE BASE LOCATED
±410' SOUTH OF CENTERLINE OF ARMS ST AND ±100' EAST OF EDGE
OF BIT OF PRIVATE DRIVE TO THE WEST OF PROPERTY.

BM-2: ELEV: 916.32
SET NAIL IN NORTHEAST SIDE OF POWER POLE LOCATED ±30' NORTH
OF MEDIAN LINE OF WEST MICHIGAN AVE AND ±150' WEST OF EDGE
OF BIT OF DRIVE ENTRANCE EAST OF PROPERTY.



ARE ENGINEERING
CIVIL ENGINEERING & SURVEYING
MICHIGAN | INDIANA | ILLINOIS | OHIO
269.250.5991 PHONE | 986.569.0604 FAX
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RAWN:	EAG
HECKED:	JPR

ING.	RESOLUTION	DATE	DT
0	PRELIMINARY PLAN	12/26/2024	EAG
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UTILITY PLAN
MARSHALL HOTEL
SAVINDER SINGH
1154 W MICHIGAN AVE., MARSHALL, MI 49661
SECTION 26 T02S R05E

PROJECT:
CLIENT:
SITE ADDRESS:
SITE SECTION:

JOB NUMBER
24193001

DATE
12/26/2024

SHEET NUMBER

C3.0



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA. FIELD WORK PERFORMED BY: AR ENGINEERING

1 ALL CONSTRUCTION METHODS SHALL BE DONE IN COMPLIANCE WITH MDOF-MDEQ. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING A "SOIL EROSION PERMIT" FROM THE COUNTY AND A "PERMIT BY RULE/NOTICE OF COVERAGE" FROM MDEQ, IF APPLICABLE, PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL REQUIREMENTS OF THE COUNTY "SOIL EROSION PERMIT" AND FOR ALL CERTIFIED STORM WATER INSPECTION SERVICE REQUIRED BY THE "PERMIT BY RULE". EROSION CONTROL MEASURES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS AND SHALL NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR PROVIDING ALL REQUIRED EROSION CONTROL MEASURES.

2. AVOID UNNECESSARY DISTURBING OR REMOVING OF EXISTING VEGETATED TOPSOIL OR EARTH COVER THESE COVER AREAS ACT AS SEDIMENT FILTERS.
3. ALL TEMPORARY SOIL EROSION PROTECTION SHALL REMAIN IN PLACE UNTIL REMOVAL IS REQUIRED FOR FINAL CLEAN UP AND APPROVAL.

4. GEOTEXTILE SILT FENCE SHALL BE INSTALLED AS REQUIRED WHEN CROSSING CREEKS OR WHEN ADJACENT TO WETLANDS OR SURFACE WATER BODIES TO PREVENT SILTATION AND ELSEWHERE AS DIRECTED BY THE ENGINEER. SEEDING AND/OR SODDING SHALL BE INSTALLED ON CREEK BANKS IMMEDIATELY AFTER CONSTRUCTION TO PREVENT EROSION.

5. MAINTENANCE, CLEANING, AND REMOVAL OF THE VARIOUS SEDIMENT CONTROL MEASURES SHALL BE INCLUDED IN THE VARIOUS EROSION CONTROL ITEMS.

- NUMBER IN CIRCLE REFERS TO NUMBERED DETAILS ON MDOT STANDARD PLAN R-96-D, SOIL EROSION & SEDIMENTATION CONTROL MEASURES. "P" DENOTES PERMANENT MEASURE AND "T" DENOTES TEMPORARY MEASURE. SOIL EROSION CONTROL PLANS DENOTE MINIMUM EROSION MEASURES REQUIRED AS DESCRIBED BELOW.

- 3P DENOTES PERMANENT SEEDING. ALL DISTURBED AREAS NOT PAVED OR GRAVELED SHALL BE RESTORED. PLACE TOPSOIL SURFACE, SALV. 3 INCH, MDOOT SEEDING, MIXTURE TUF APPLIED AT A RATE OF 220 LB/ACRE; FERTILIZER, CHEMICAL NUTRIENT, CL A APPLIED AT A RATE OF 228 LB/ACRE; MULCH AT A RATE OF 2 TON/ACRE AND MULCH ANCHORING. (APPLIES TO ENTIRE PROJECT)

- 3T DENOTES TEMPORARY SEEDING. TEMPORARY SEEDING SHALL BE PLACED AT LOCATIONS DETERMINED BY THE ENGINEER IN THE FIELD AND SHALL INCLUDE CEREAL RYE SEED APPLIED AT A RATE OF 70 LB/ACRE AND MULCH.

- 4T DENOTES DUST CONTROL. DUST CONTROL MAY BE REQUIRED ON THE SUBGRADE CONSTRUCTION AND WILL INCLUDE APPLYING FRESH WATER TO BE INCLUDED IN THE ITEM OF EMBANKMENT. DUST CONTROL ON THE AGGREGATE BASE COURSE WILL BE ACCOMPLISHED BY APPLYING FRESH WATER (INCLUDED IN THE ITEM OF AGGREGATE BASE, 6 INCH) AND APPLYING DUST PALLIATIVE, APPLIED, CAC (TON) AS DIRECTED BY THE PROJECT ENGINEER.

- (8P) DENOTES AGGREGATE COVER/PERMANENT PAVEMENT RESTORATION

- 14T DENOTES GRAVEL ACCESS APPROACH. APPROACH SHALL BE INSTALLED TO PROVIDE STABLE ACCESS TO ROADWAYS AND MINIMIZE DUST AND TRACKING OF MATERIALS ONTO PUBLIC STREETS AND HIGHWAYS. THE APPROACH SHALL BE A MINIMUM OF 12' WIDE, 6" DEEP, AND CONSIST OF 2'-4" AGGREGATE

- 26T DENOTES TEMPORARY SILT FENCE. SILT FENCE SHALL BE INSTALLED AT CREEK CROSSINGS, ADJACENT TO ALL WETLANDS AND SURFACE WATERS, AND OTHER LOCATIONS AS DIRECTED BY THE ENGINEER. EACH SILT FENCE SHALL BE INSTALLED GENERALLY ALONG THE SAME CONTOUR ELEVATION.

- 29T DENOTES INLET PROTECTION FABRIC DROP. SHALL BE INSTALLED AT EXISTING AND PROPOSED STORM SEWER INLETS TO PROVIDE SETTLING AND FILTERING OF SILT LADEN WATER PRIOR TO ENTRY INTO THE DRAINAGE SYSTEM.

- 33T DENOTES MULCH BLANKET OR MATTING. SHALL BE NORTH AMERICAN GREEN DS150, OR APPROVED EQUAL. MULCH BLANKETS SHALL BE PLACED ON ALL 1:3 SLOPES OR GREATER, IN AND AROUND DITCH BOTTOMS WHERE THERE IS NO BIOSWALE BY CONTRACTOR RESPONSIBLE FOR RESTORING THAT AREA

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3. CONTACT "MISS DIG 811" AT 1-800-482-7171 FOR LOCATION OF UNDERGROUND UTILITIES A MINIMUM OF 4 HOURS BEFORE COMMENCING EXCAVATION WORK. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO ARE NOT PART OF THE "811" ALERT SYSTEM. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.

4. DEMOLISH & REMOVE ALL EXISTING SITE FEATURES AS REQUIRED.

5. MATCH EXISTING GRADES AROUND PERIMETER WITH SLOPES AS SHOWN.

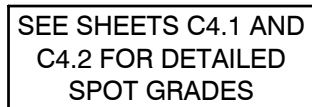
6. ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT GRADES AT EDGE OF METAL (EOM) UNLESS OTHERWISE NOTED.

7. ALL SOIL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO MASS GRADING.
8. ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS AND GEOTECHNICAL REPORT.

9. ALL EXISTING ELEVATIONS ARE TO BE VERIFIED AND ACCEPTED AS SHOWN PRIOR TO COMMENCEMENT OF WORK.

10. CONTRACTOR SHALL TAKE PRECAUTIONS TO AVOID TRACKING SOIL ONTO ADJACENT ROADWAYS. CONTRACTOR SHALL SWEEP IMMEDIATELY IF OCCURS.

11. ANY DISTURBED AREA WHICH WILL BE LEFT UNWORKED 15 DAYS OR LONGER MUST BE SEEDED TO ESTABLISH VEGETATION FOR TEMPORARY STABILIZATION. BASINS TO BE SEEDED AND MULCH BLANKETS APPLIED IMMEDIATELY TO PROVIDE A STABLE BASE AND AVOID EXCESSIVE EROSION.



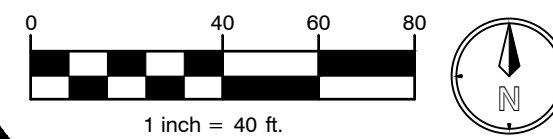
LEGEND

-



**Know what's below.
Call before you dig.**

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BM-1: ELEV: 912.84
SET "X" IN THE NORTHWEST SIDE OF LIGHT POLE BASE LOCATED
±410' SOUTH OF CENTERLINE OF ARMS ST AND ±100' EAST OF EDGE
OF BIT OF PRIVATE DRIVE TO THE WEST OF PROPERTY.

BM-2: ELEV: 916.32
SET NAIL IN NORTHEAST SIDE OF POWER POLE LOCATED $\pm 30'$ NORTH
OF MEDIAN LINE OF WEST MICHIGAN AVE AND $\pm 150'$ WEST OF EDGE
OF BIT OF DRIVE ENTRANCE EAST OF PROPERTY.

PLANS PREPARED BY



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No.	ISSUED FOR:	DATE	BY
0	PRELIMINARY PLAN	12/26/2024	EAG
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OVERALL GRADING - SESC PLAN

MARSHALL HOTEL
SAVINDER SINGH

7 / MICHIGAN AVE, MARSHALL, MI
SECTION 26. T02S. R05W.

PROJECT:
CLIENT:
SITE ADDRESS:
SITE SECTION:

JOB NUMBER

24193001

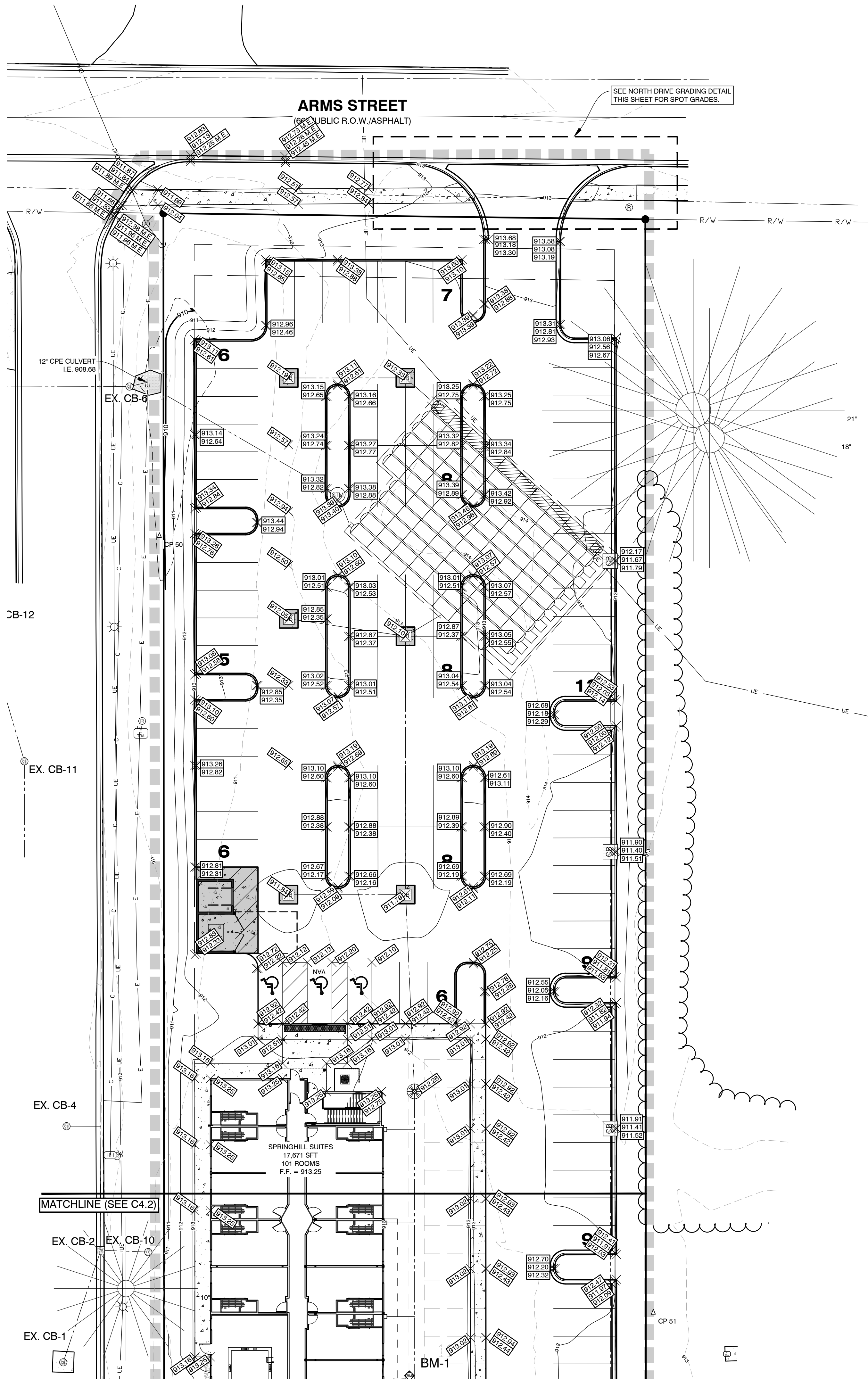
DATE
12/26/2024

SHEET NUMBER

C4.0

GRADING NOTES

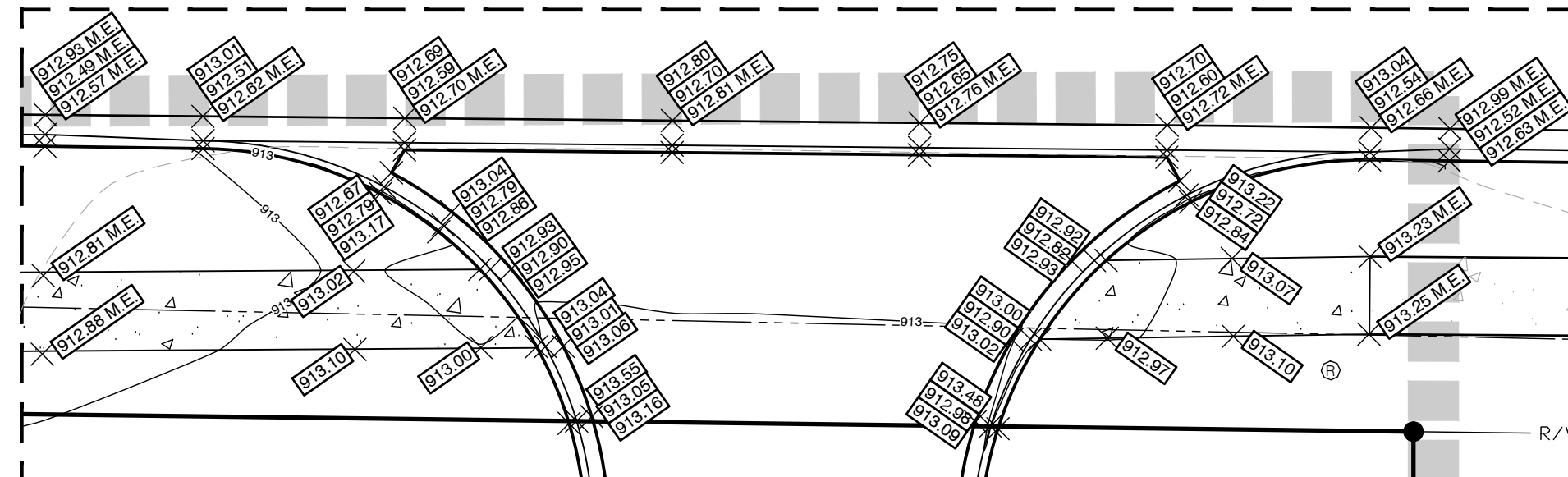
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3. CONTACT "MISS DIG 811" AT 1-800-482-7171 FOR LOCATION OF UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS BEFORE COMMENCING EXCAVATION WORK. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO ARE NOT PART OF THE "811" ALERT SYSTEM. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.
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SEE NORTH DRIVE GRADING DETAIL
THIS SHEET FOR SPOT GRADES.

BENCHMARKS

- BM-1: ELEV: 912.84
SET "X" IN THE NORTHWEST SIDE OF LIGHT POLE BASE LOCATED
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SET NAIL IN NORTHEAST SIDE OF POWER POLE LOCATED ±30' NORTH
OF MEDIAN LINE OF WEST MICHIGAN AVE AND ±150' WEST OF EDGE
OF BIT OF DRIVE ENTRANCE EAST OF PROPERTY.



NORTH DRIVE GRADING DETAIL
C4.1
SCALE: 1" = 10'

LEGEND

- LIMITS OF CONSTRUCTION
- SILT FENCE



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PLANS PREPARED BY:



DRAWN: EAG
CHECKED: JPR

No.	ISSUED FOR:	DATE	BY
0	PRELIMINARY PLAN	12/26/2024	EAG
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2			
3			
4			

GRADING NORTH PLAN

MARSHALL HOTEL
SAVINDER SINGH
1154 W MICHIGAN AVE, MARSHALL, MI
SECTION 26, T02S, R05W.

PROJECT:
CLIENT:
SITE ADDRESS:
SITE SECTION:

JOB NUMBER
24193001

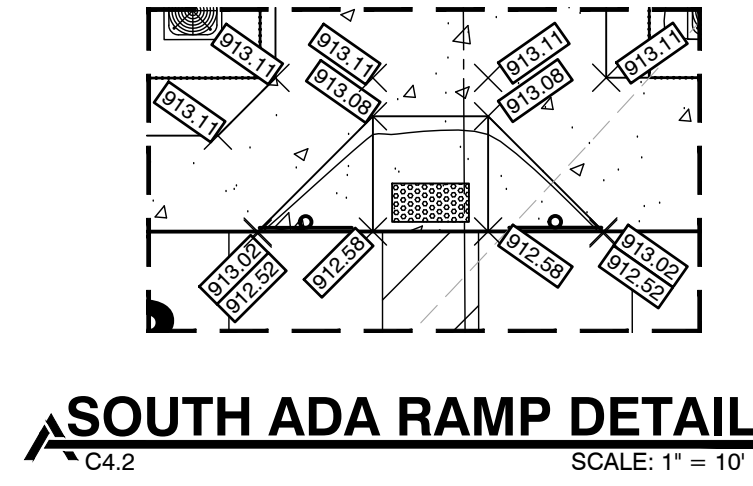
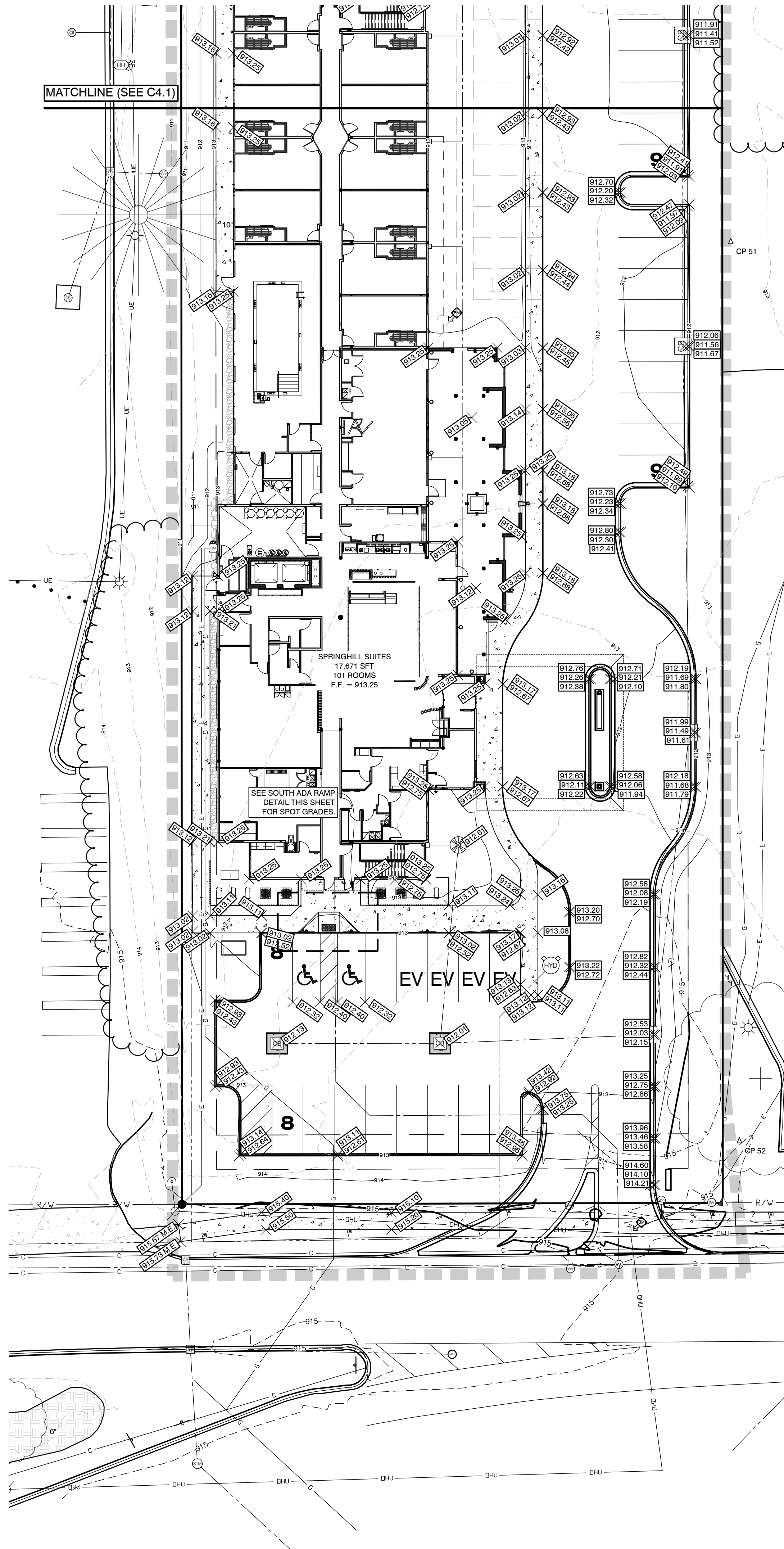
DATE
12/26/2024

SHEET NUMBER

C4.1

GRADING NOTES

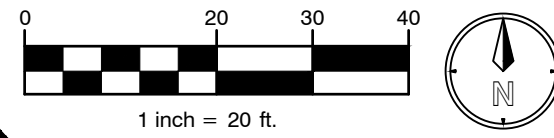
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BENCHMARKS

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LEGEND

- LIMITS OF CONSTRUCTION
- XX --- SILT FENCE



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PLANS PREPARED BY:



DRAWN: EAG
CHECKED: JPR

No.	ISSUED FOR:	DATE	BY
0	PRELIMINARY PLAN	12/26/2024	EAG
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GRADING SOUTH PLAN

MARSHALL HOTEL
SAVINDER SINGH

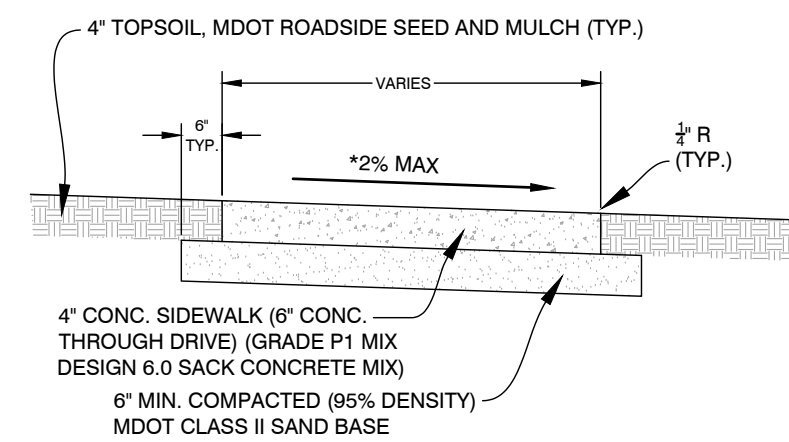
1154 W MICHIGAN AVE, MARSHALL, MI
SECTION 26, T02S, R05W.

PROJECT:
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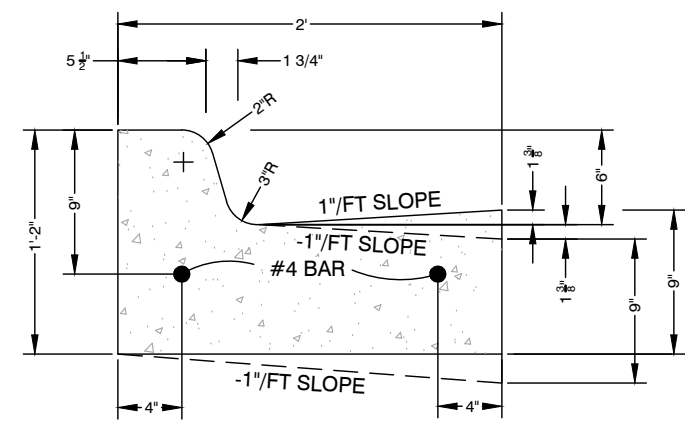
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DATE
12/26/2024

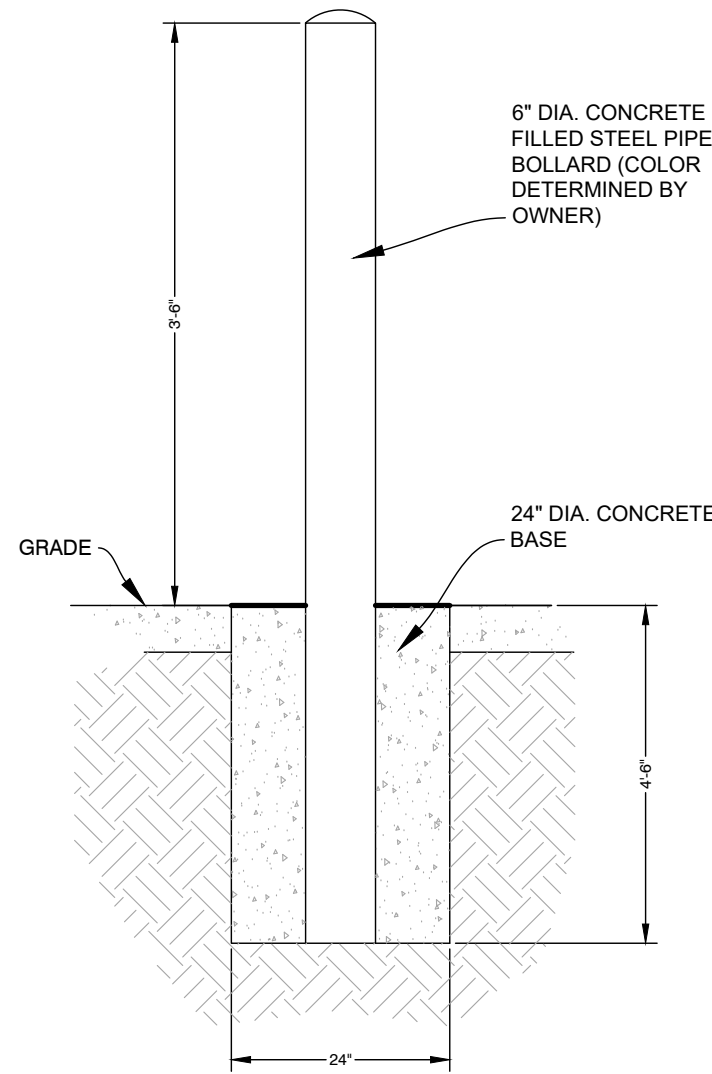
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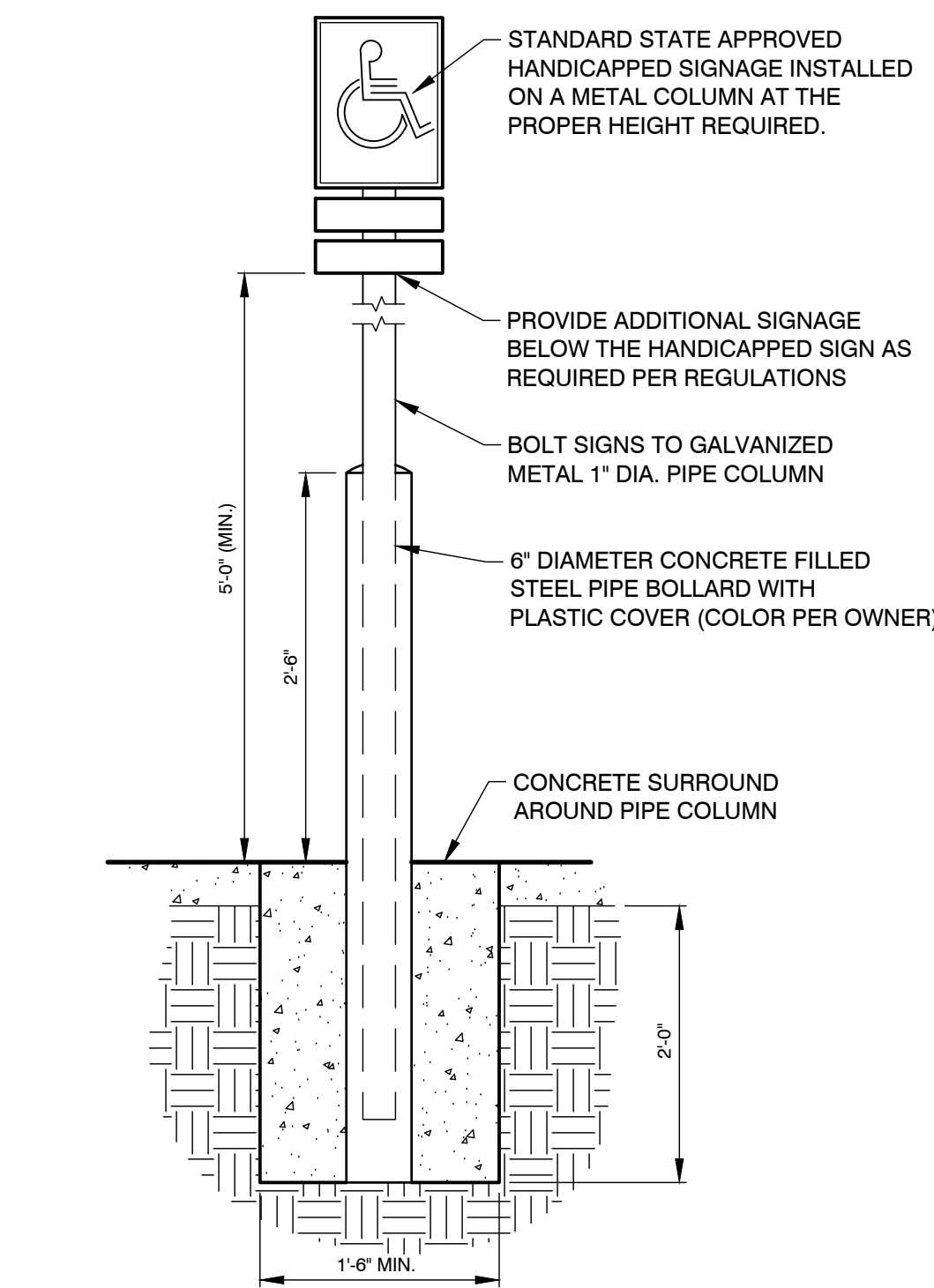
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C5.0 - 030109
NOT TO SCALE



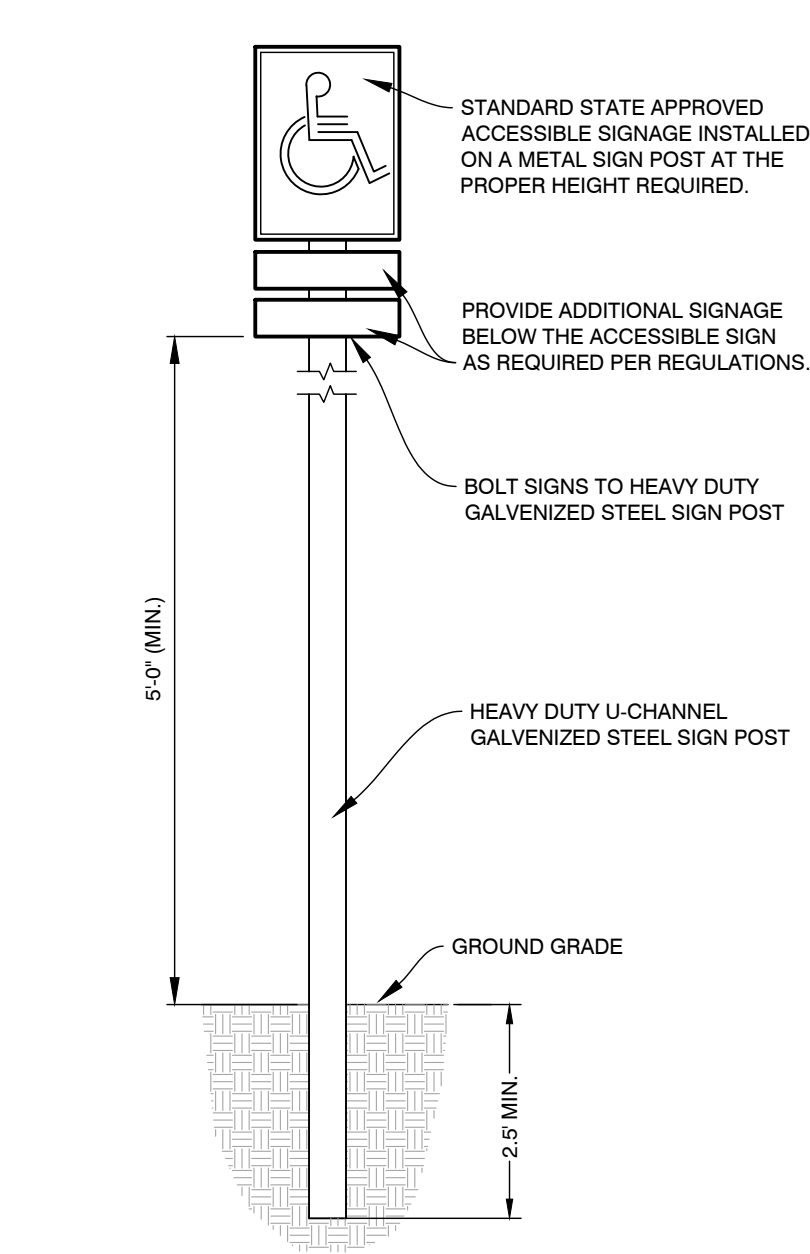
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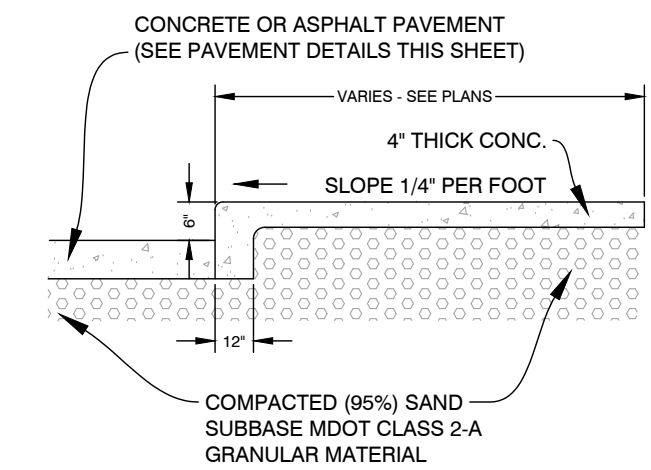
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C5.0 - 140101
NOT TO SCALE



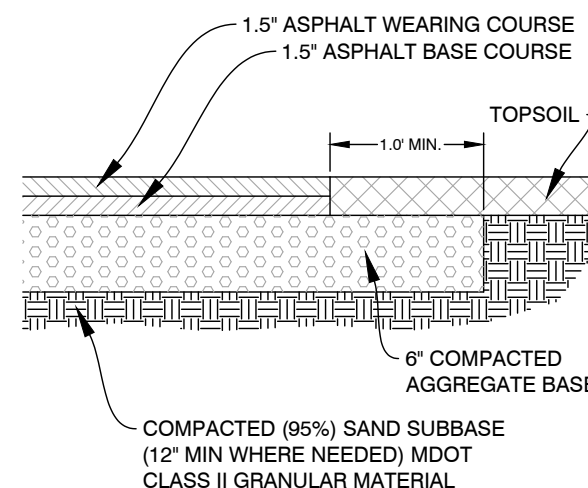
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NOT TO SCALE



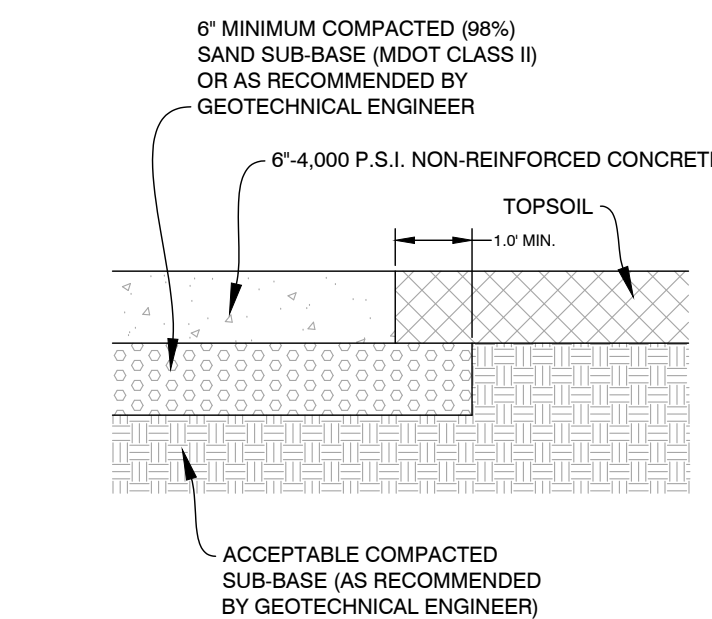
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C5.0 - 090101
NOT TO SCALE



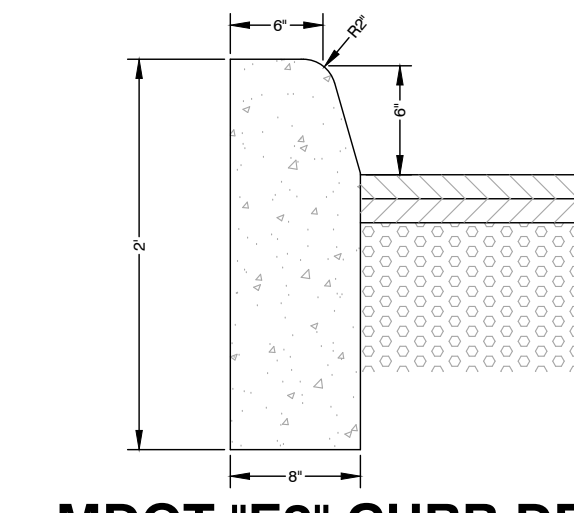
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C5.0 - 030303
NOT TO SCALE



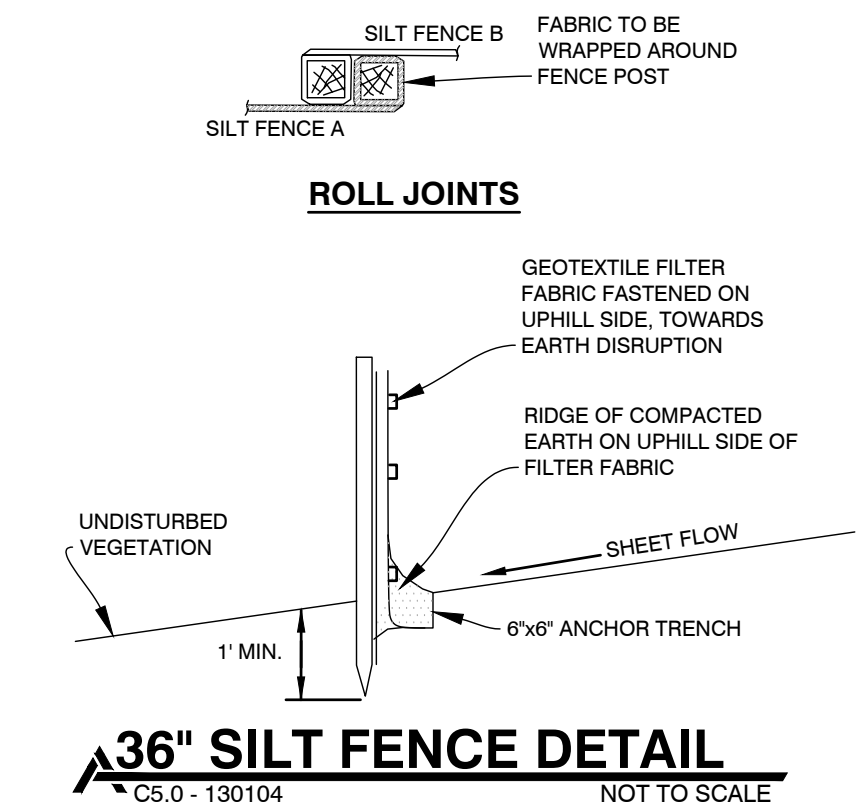
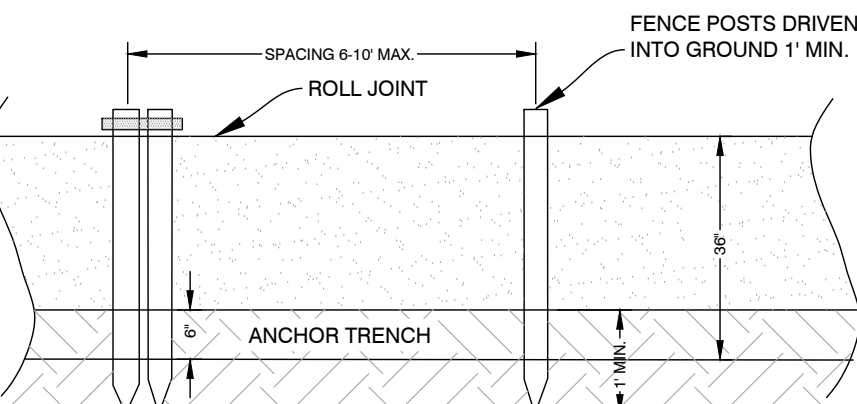
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NOT TO SCALE



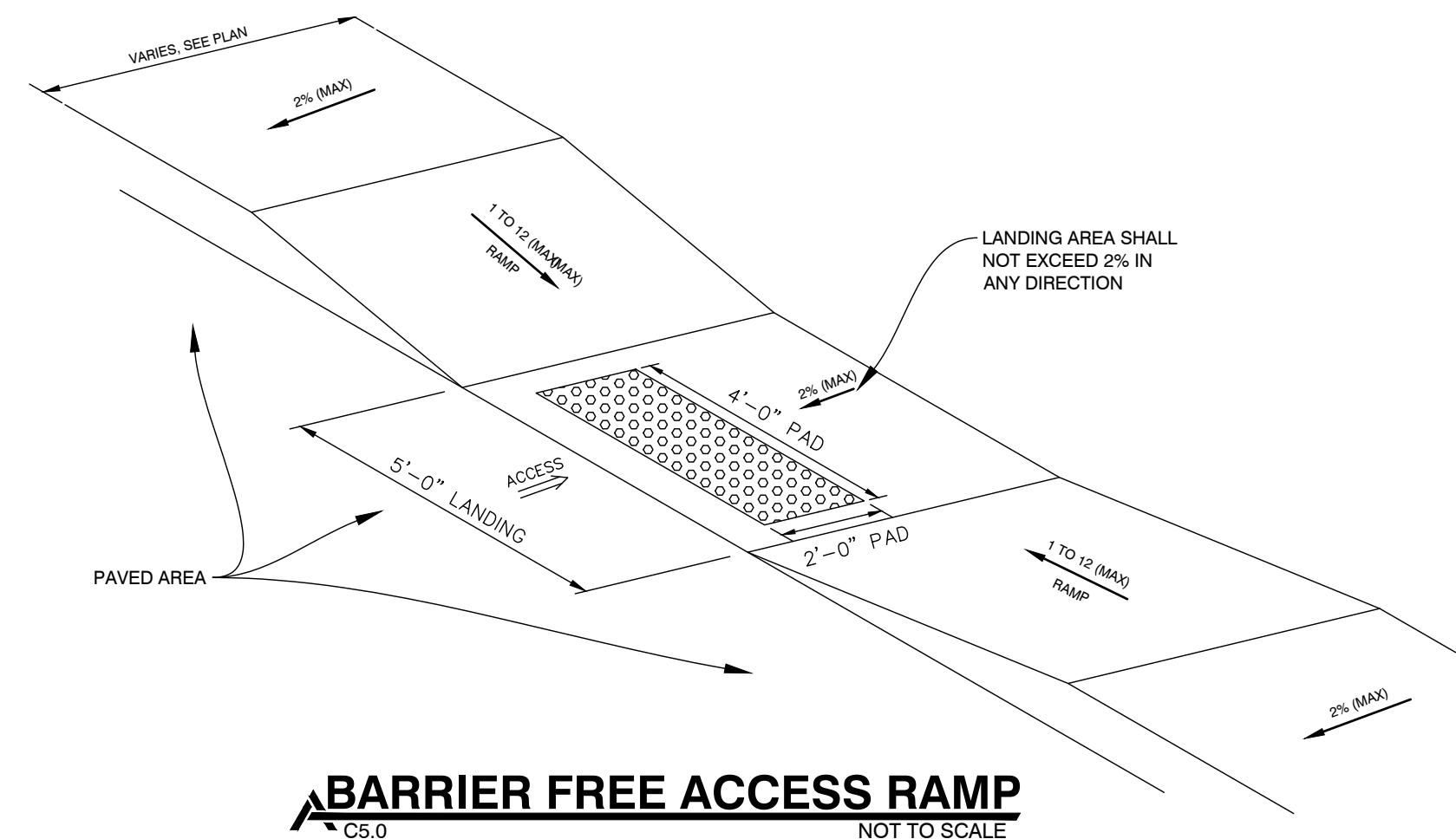
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NOT TO SCALE



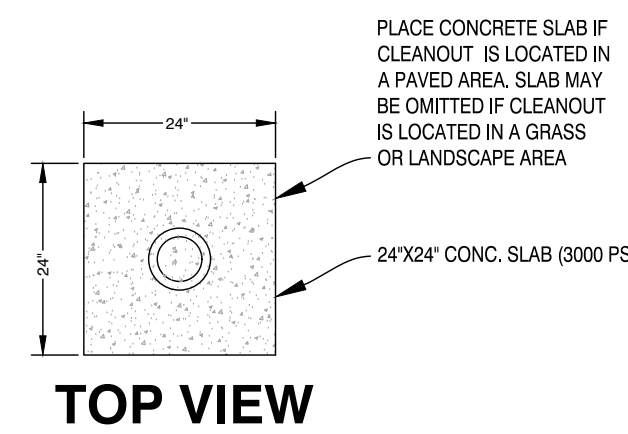
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NOT TO SCALE



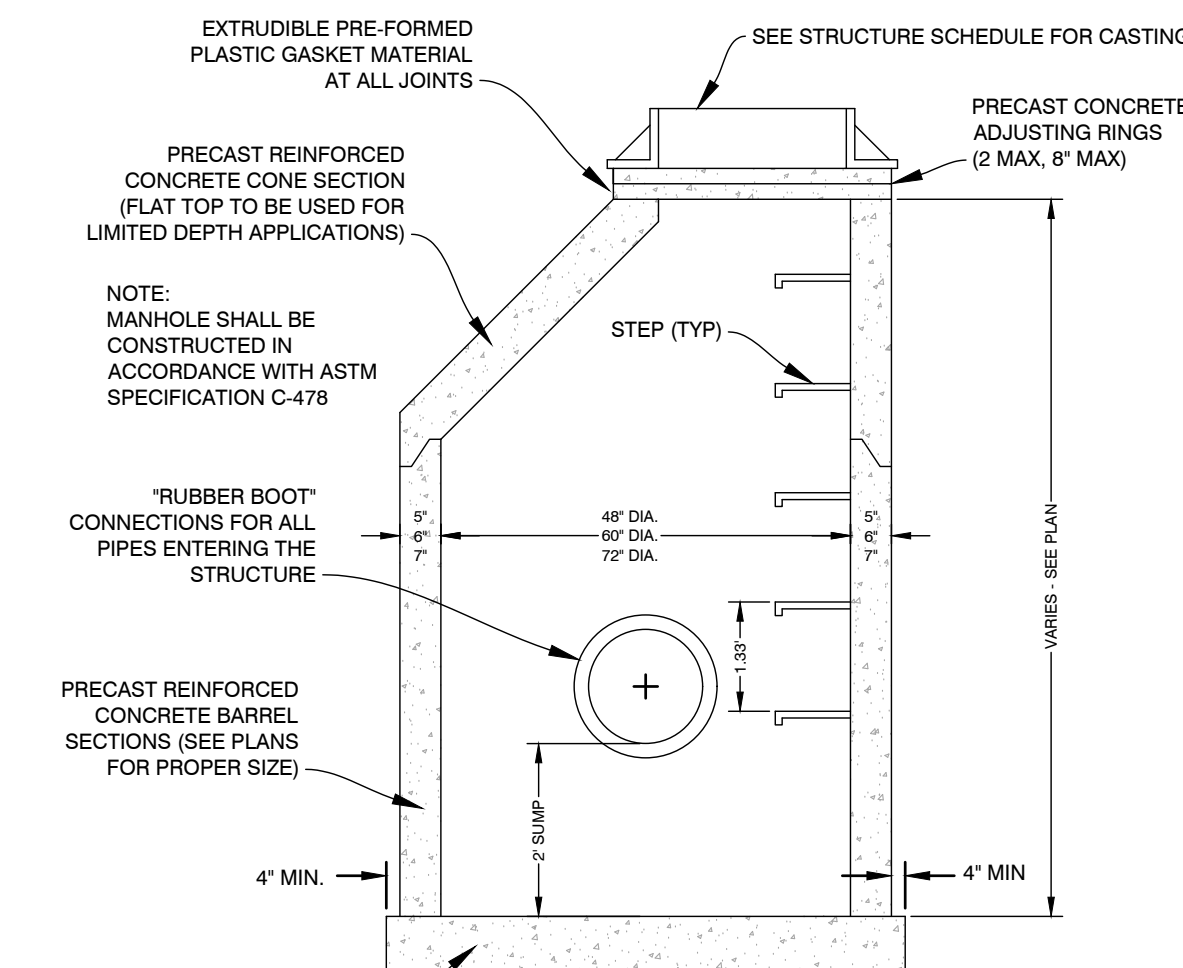
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C5.0 - 130104
NOT TO SCALE



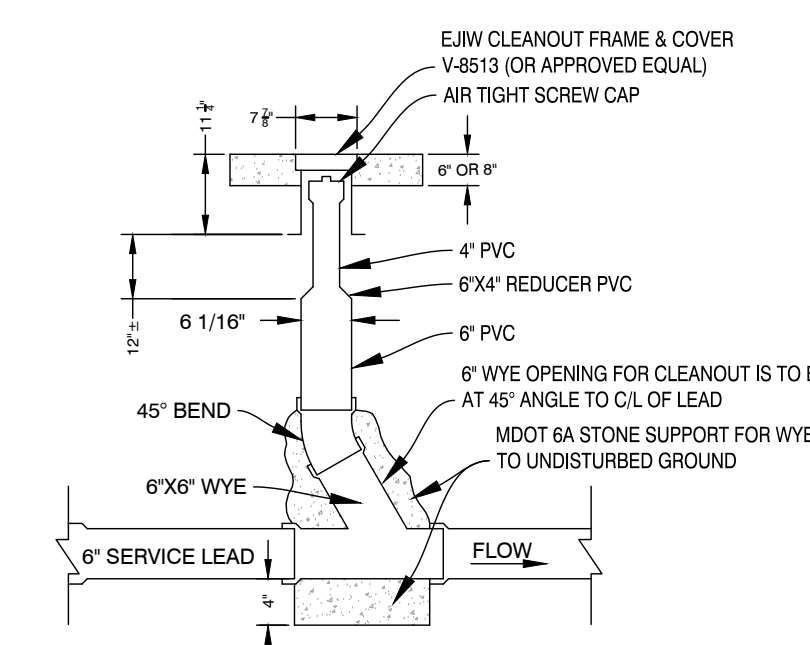
BARRIER FREE ACCESS RAMP
C5.0
NOT TO SCALE



TOP VIEW



STORM CATCH BASIN DETAIL
C5.0 - 050003
NOT TO SCALE



SANITARY SEWER CLEANOUT DETAIL
C5.0 - 090109
NOT TO SCALE

PLANS PREPARED BY:



DRAWN: EAG
CHECKED: JPR

No.	ISSUED FOR:	DATE	BY
0	PRELIMINARY PLAN	12/26/2024	EAG
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2			
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4			

DETAILS
MARSHALL HOTEL
SAVINDER SINGH
1154 W MICHIGAN AVE, MARSHALL, MI
SECTION 26, T02S, R05W.

PROJECT:
CLIENT:
SITE ADDRESS:
SITE SECTION:

JOB NUMBER
24193001
DATE
12/26/2024

SHEET NUMBER
C5.0

LANDSCAPING NOTES

- INSTALL CONSTRUCTION FENCE AROUND DRIP LINES OF EXISTING TREES TO REMAIN. NO COMPACTION OR INCREASED DEPTH OF SOIL OVER THE ROOT SYSTEM AREA PRIOR TO AND DURING CONSTRUCTION.
- ALL LAWN AREAS SHALL BE SEEDED AND MULCHED WITH THE FOLLOWING MIXTURE: 20% IMPROVED PERENNIAL RYEGRASS, 40% FINE FESCUE, AND 40% KENTUCKY BLUEGRASS AT A RATE OF 3-4 LBS/1000 SFT.
- ALL EDGING SHALL BE STANDARD COMMERCIAL STEEL EDGING 3/4" X 4", ROLLED EDGE, FABRICATED IN SECTIONS OF STANDARD LENGTHS, WITH LOOPS STAMPED FROM OR WELDED TO FACE OF SECTIONS TO RECEIVE STAKES IN STANDARD FINISH OF GREEN PAINT.
- PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF EXTERIOR PLANTS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS IN ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK" MEASURE ACCORDING TO ANSI Z60.1 STANDARDS.
- MAINTAIN AND ESTABLISH LAWN BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, REPLANTING, AND OTHER OPERATIONS. ROLL, REGRADE, AND REPLANT BARE OR ERODED AREAS AND REMULCH TO PRODUCE A UNIFORMLY SMOOTH LAWN.
- BEGIN LAWN MAINTENANCE IMMEDIATELY AFTER EACH AREA IS PLANTED AND CONTINUE UNTIL ACCEPTABLE LAWN IS ESTABLISHED; A MINIMUM OF 60 DAYS AFTER SUBSTANTIAL COMPLETION. PROTECT ADJACENT AND ADJOINING STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND PLANTINGS FROM HYDROSEEDING OVER-SPRAY AND DAMAGE CAUSED BY PLANTING OPERATIONS.
- REMOVE STONES LARGER THAN 1" IN ANY DIMENSION AND STICK, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER FROM SITE.
- MAINTAIN LAWN UNTIL A HEALTHY, UNIFORM, CLOSE STAND OF GRASS HAS BEEN ESTABLISHED, FREE OF WEEDS AND SURFACE IRREGULARITIES, WITH COVERAGE EXCEEDING 90% OVER ANY 10 SFT AND BARE SPOTS DO NOT EXCEED 5 BY 5 INCHES.
- MAINTAIN TREES AND SHRUBS FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, RESTORING PLANTING SAUCERS, TIGHTENING AND REPAIRING STAKES AND GUY SUPPORTS, AND RESETTling TO PROPER GRADES OR VERTICAL POSITION, AS REQUIRED TO ESTABLISH HEALTHY VIABLE PLANTINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.
- REMOVE AND REPLACE DEAD PLANTS IMMEDIATELY. REPLACE PLANTS THAT ARE MORE THAN 25% DEAD OR IN AN UNHEALTHY CONDITION AT END OF WARRANTY PERIOD. A LIMIT OF ONE REPLACEMENT OF EACH PLANT WILL BE REQUIRED, EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE TO COMPLY WITH REQUIREMENTS.
- TREES, AND SHRUBS SHALL BE WARRANTED FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.

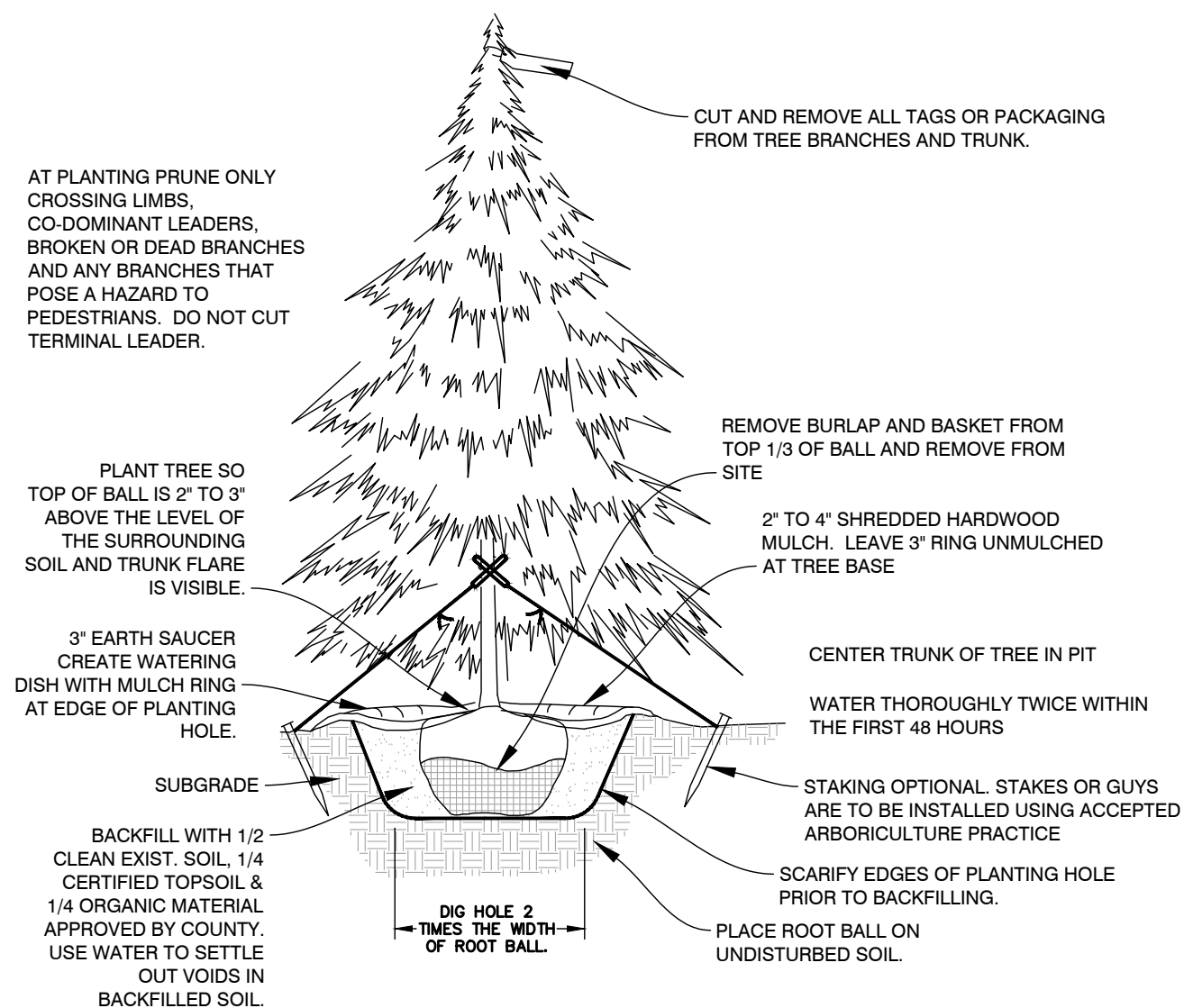
LEGEND

- 1
Xx
- NUMBER AND TYPE OF PLANTS TO BE PROVIDED AND INSTALLED
- PROPOSED DECIDUOUS TREE
- PROPOSED SHRUB DECIDUOUS/ EVERGREEN
- SOD LAWN WITH IRRIGATION ON 4" TOPSOIL
- PERENNIAL RYE GRASS WITHOUT IRRIGATION ON 4" TOPSOIL

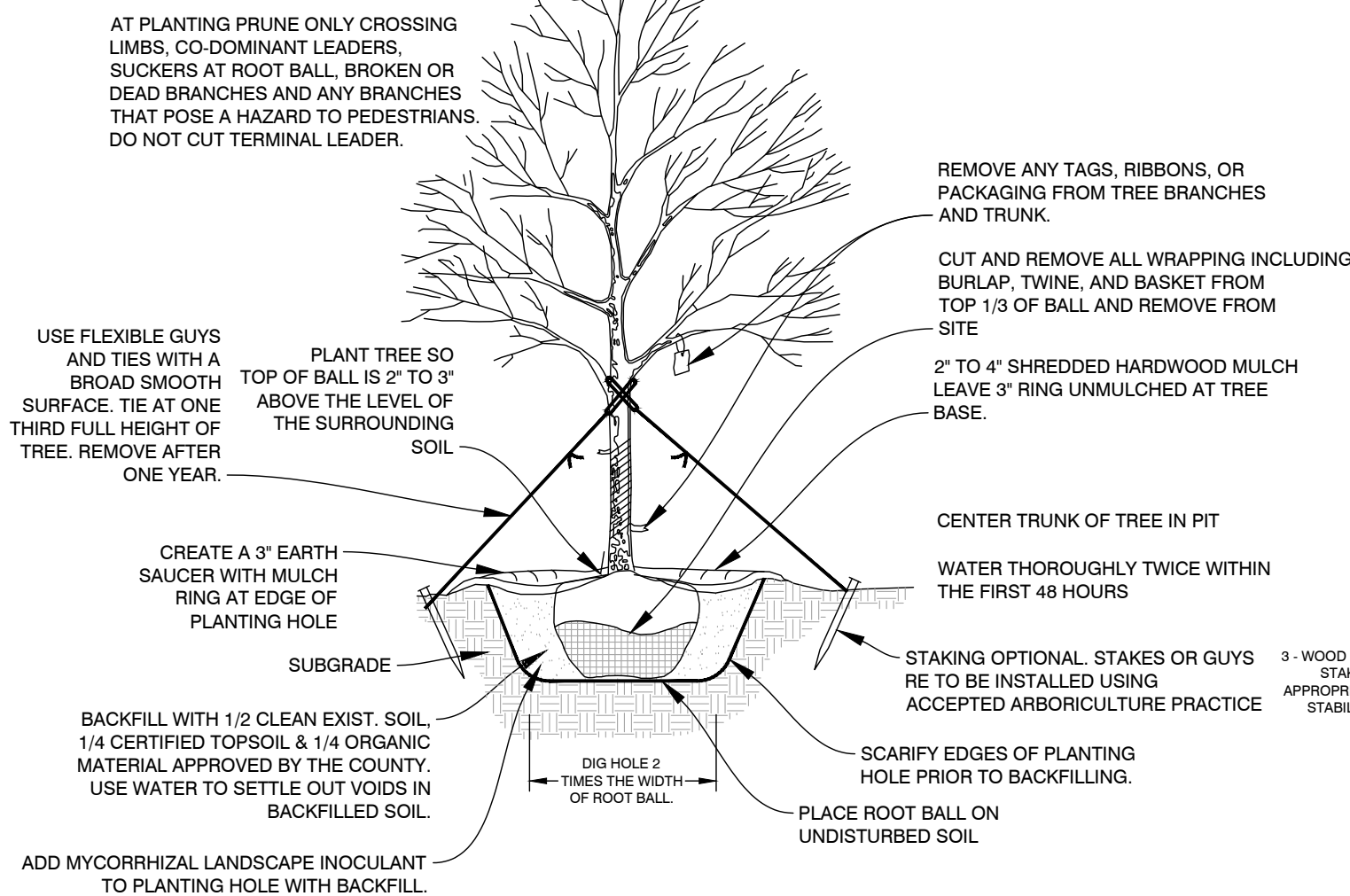
ALL PLANTINGS AND LANDSCAPED BEDS REQUIRE IRRIGATION - EITHER DRIP LINE OR MISTERS AS REQUIRED TO ESTABLISH GROWTH AND MAINTAIN HEALTH OF ALL PLANTINGS/LANDSCAPED BEDS.

LANDSCAPING CONTRACTOR RESPONSIBLE FOR TOUCHING-UP AND FINISH-LEVELING OF TOPSOIL AS NECESSARY TO ENSURE HYDROSEED AND SOD ARE INSTALLED ON A SMOOTH AND LEVEL SURFACE FREE OF CLUMPS, STICKS, HOLES, ETC.

NOTE:
STAKING OF BALL AND BURLAP TREES REQUIRED AT THE DISCRETION OF THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL STAKING AT END OF ONE YEAR WARRANTY PERIOD.



TYPICAL CONIFEROUS TREE PLANTING DETAIL
L1.0 - 170101
NOT TO SCALE



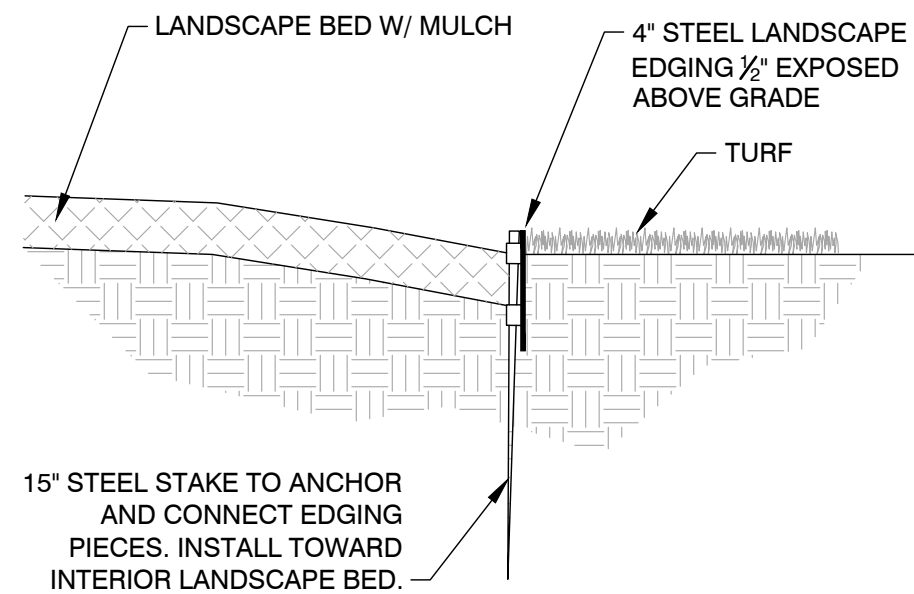
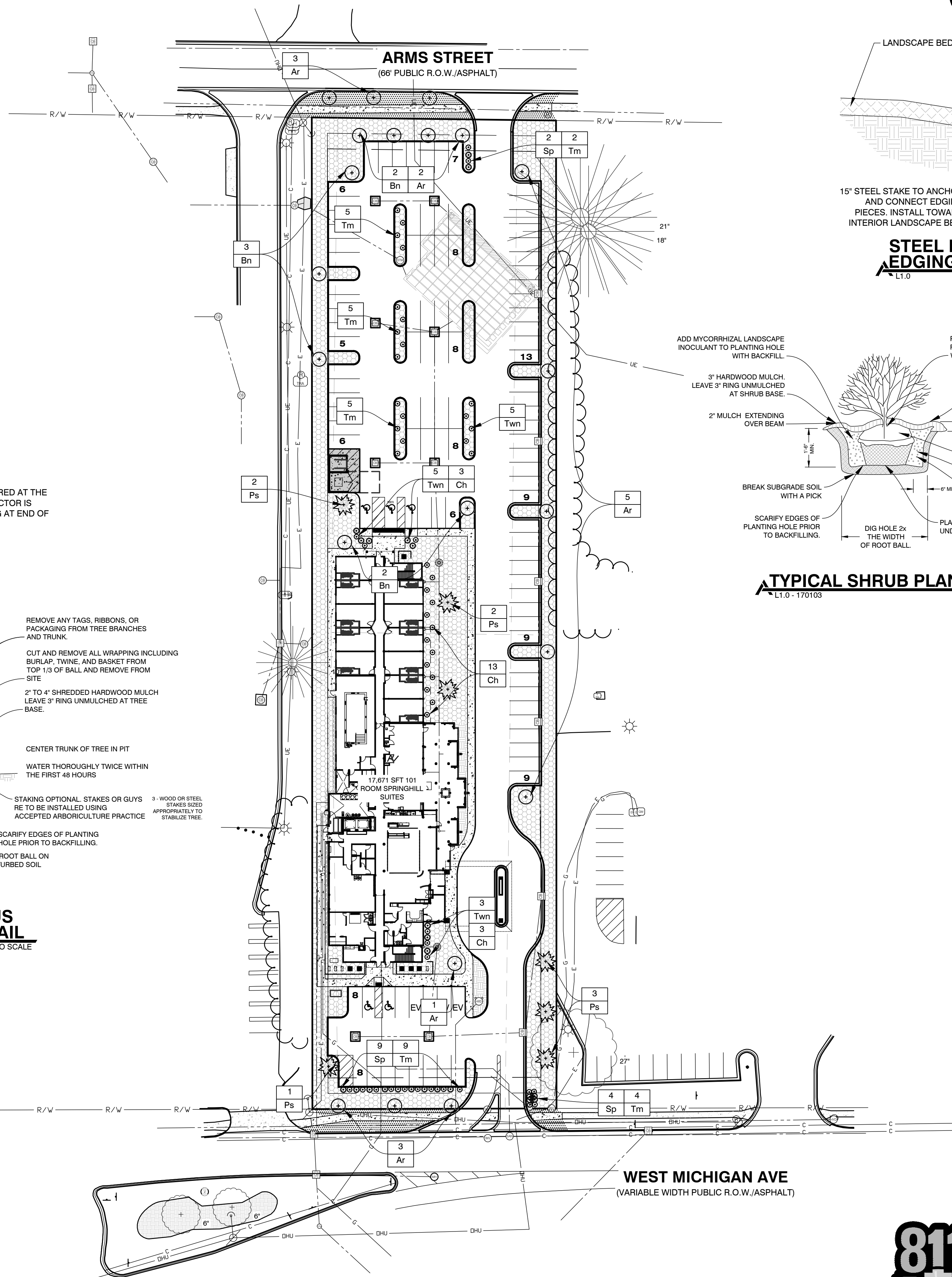
TYPICAL DESCIDUOUS TREE PLANTING DETAIL
L1.0 - 170102
NOT TO SCALE

Tree Planting Schedule

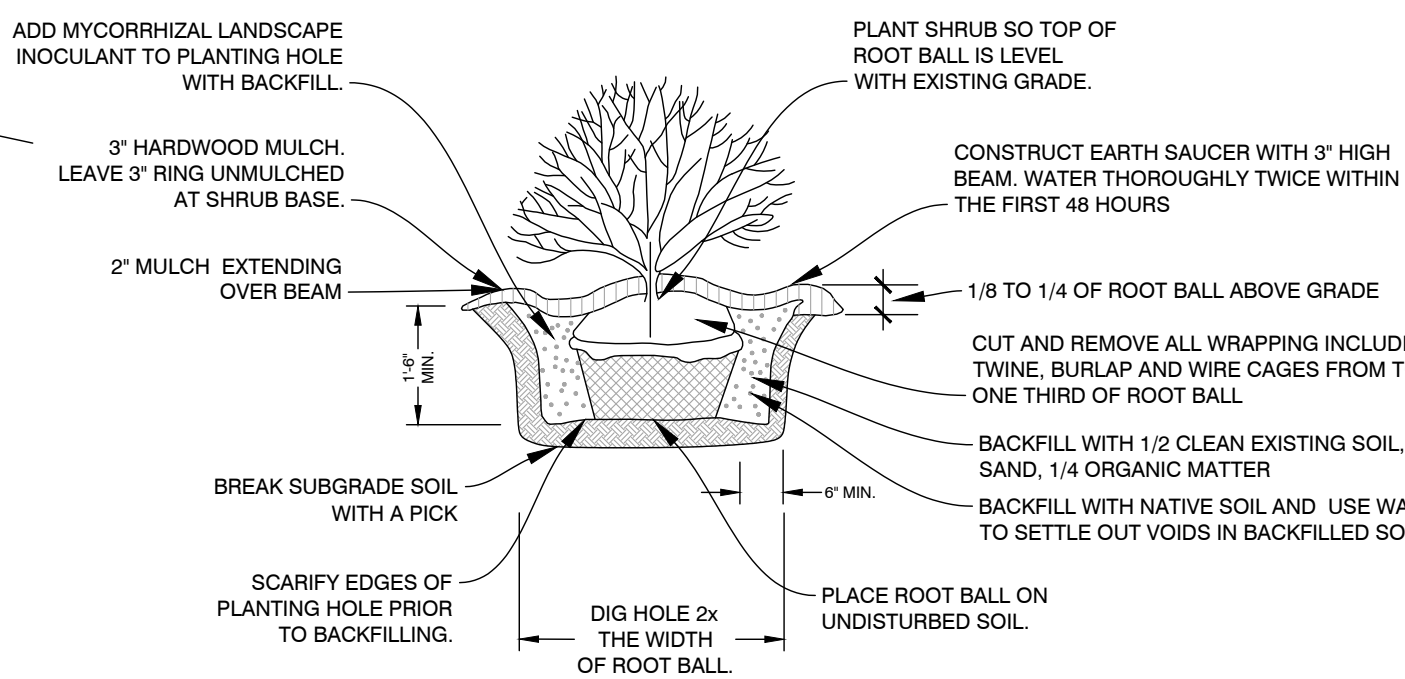
Symbol	Latin Name	Common Name	Size	Container Type	Quantity
Ar	Acer rubrum 'Red Sunset'	Red Sunset Red Maple	2" Cal.	B&B	8
Bn	betula platphylla japonica	Whitespire Birch	2" Cal.	B&B	5
Ps	Pinus Strobus	Eastern White Pine	5'	Cont.	7

Shrub Planting Schedule

Symbol	Latin Name	Common Name	Size	Container Type	Quantity
Sp	Spirea japonica	Neon Flash Spirea	24" Ht.	3-5 gallon cont.	11
Tm	Taxus x media	Everlow Yew	24" spread	B&B or Cont.	11
Tw	Physocarpus opulifolius	Diablo Ninebark	24"	Cont.	11
Ch	Chamaecyparis pisifera	Goldthread False Cypress	24"	Cont.	6



STEEL LANDSCAPING EDGING DETAIL
L1.0
NOT TO SCALE



TYPICAL SHRUB PLANTING DETAIL
L1.0 - 170103
NOT TO SCALE

PLANS PREPARED BY:



DRAWN: EAG
CHECKED: JPR

No.	ISSUED FOR:	DATE	BY
0	PRELIMINARY PLAN	12/26/2024	EAG
1			
2			
3			
4			

LANDSCAPE PLAN

MARSHALL HOTEL
SAVINDER SINGH

1154 W MICHIGAN AVE, MARSHALL, MI
SECTION 26, T02S, R05W.

PROJECT:
CLIENT:
SITE ADDRESS:
SITE SECTION:

JOB NUMBER
24193001

DATE
12/26/2024

SHEET NUMBER

L1.0



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA. FIELD WORK PERFORMED BY: AR ENGINEERING







ITEM 9.B

TO: Planning Commission
FROM: Marcia Strange, Director of Community Development
Derek N. Perry, City Manager

DATE: January 8, 2025
SUBJECT: DISCUSS EAST PROSPECT VACATION

Oaklawn has requested the vacation of the section of East Prospect separating the hospital property from the parking lot on the North side of the street. Their intent is to make way for the expansion of the emergency department located on the North side of the existing facility. That expansion would happen in a future project that would come before the Planning Commission.

Public utilities in the right of way will be vacated with the road but access will be maintained with easements.

Right of way would become zoned to match the Hospital property.

Staff only proposes consideration of the vacation at this time and is not requesting formal approval.

RECOMMENDATION:

None.

