PLANNING COMMISSION AGENDA

February 8, 2023
Regular Meeting - 7:00 PM

1) **CALL TO ORDER**
2) **ROLL CALL**
3) **APPROVAL OF AGENDA** - Items can be added or deleted from the Agenda by Planning Commission action.
   - **A.** Agenda for February 8, 2023 Planning Commission Meeting
4) **APPROVAL OF MINUTES**
   - **A.** Minutes of January 11, 2023 Planning Commission Meeting
5) **PUBLIC COMMENT ON AGENDA AND NON-AGENDA ITEMS** – Persons addressing the board are required to give their name and address for the record when called upon by the Chair. Members of the public shall be limited to speaking for a maximum of five (5) minutes on any agenda item.
6) **PUBLIC HEARINGS & SUBSEQUENT BOARD ACTION**
7) **OLD BUSINESS**
8) **REPORTS AND RECOMMENDATIONS/NEW BUSINESS**
   - **A.** SP# 23.01- Site Plan for 106 Winston Drive
   - **B.** SP#23.02- Site plan for 211 West Spruce Street
9) **PUBLIC COMMENT ON AGENDA AND NON-AGENDA ITEMS**
   Persons addressing the board are required to give their name and address for the record when called upon by the Chair. Members of the public shall be limited to speaking for a maximum of five (5) minutes on any agenda item.
10) **BOARD REPORTS**
11) **ADJOURNMENT**

MINUTES
MARSHALL CITY PLANNING COMMISSION
WEDNESDAY, JANUARY 11, 2022

In a regular session, Wednesday, January 11, 2022 at 7:00 p.m. at City Hall, Council Chambers, 323 West Michigan Avenue, Marshall, Michigan, the Marshall Planning Commission was called to order by Chair Banfield.

ROLL CALL

Members Present: Commissioners Banfield, Hall, Fitzgerald, C Zuzga, Reed, Longyear, and Council Liaison Wolfersberger

Members Absent: McNiff, Burke Smith, and Zuck

Staff Present: Eric Zuzga, Director of Community Services.

AGENDA

MOTION by C. Zuzga, supported by Fitzgerald, to accept an amended agenda by moving items 6B ahead of items 6A. On voice vote; **MOTION CARRIED.**

MINUTES

MOTION by Reed, supported by Hall, to approve the minutes of the December 28, 2022 Planning Commission meeting with the following change: date in heading listed as 11/9/22 and should be 12/28/22. On a voice vote; **MOTION CARRIED**.

MOTION by C. Zuzga, supported by Reed to approve the minutes as presented for the November 9, 2022 Planning Commission meeting. On a voice vote; **MOTION CARRIED.**

PUBLIC COMMENTS ON AGENDA ITEMS

None

PUBLIC HEARINGS

A. RZ#22-06- Rezoning of 211 West Spruce Street
   Public hearing opened at 7:08.
   Zuzga introduced Cody Newman, Driven Design, the architect on the project. Newman provided an overview of the project. No public comments were received.

   There being no further comments, Chair Banfield closed the public hearing at 7:14.

MOTION by C. Zuzga, supported by Fitzgerald to approve RE#22-06 as presented. On a voice vote; **MOTION CARRIED.**

B. Article 8- Special Development Districts Ordinance

Chair Banfield opened the public hearing opened at 7:16.
Zuzga opened the discussion on the process and planned Council schedule for review of the ordinance. No public comments were received.

There being no further comments, Chair Banfield closed the public hearing at 7:18.

The Planning Commission discussed the ordinance and came to a consensus that the following changes should be made to the ordinance:

1. Section 8.10.B.10 Move Chemical factories to a special land use- 8.10.C.3
2. Section 8.26.C.2- Change American Nurserymen & Landscape Association (ANLA) to AmericanHort
3. Section 8.26.H- Change American Nurserymen & Landscape Association (ANLA) to AmericanHort
4. Section 8.30.D.5.a- add the following language in italics "..and the Zoning Administrator, subject to the review and recommendation *with the concurrence of the Development Review Team*, shall be responsible for granting approval

MOTION by C. Zuzga, supported by Longyear to recommend approval to the Marshall City Council of Article 8- Special Development Districts with the changes listed above. On a voice vote; **MOTION CARRIED.**

NEW BUSINESS

1. Review of Proposed Capital Improvement Plan

Director Zuzga presented the proposed 2023-2029 Capital Improvement Plan and lead discussion on process and Planning Commission's role.

MOTION by Reed, supported by Hall to approve the Capital Improvement Plan as presented. On a voice vote; **MOTION CARRIED**.

OLD BUSINESS

PUBLIC COMMENTS NOT ON AGENDA

None

REPORTS
None

ADJOURN

There being no further business, Chair Banfield adjourned the meeting at 8:25 p.m.

Submitted by,

Eric Zuzga
Director of Community Services

TO: Marshall Planning Commission

FROM: Eric Zuzga, Director of Community Services

DATE: February 3, 2023

SUBJECT: American 1 Credit Union Site Plan

Case #: SP#23.01
Address: 106 Winston Park Drive
Parcel #: 53-024-703-00
Zoning District: Regional Commercial (B-4)
Surrounding Zoning: B-4
Previous Action: ZBA approved a Use Variance for a drive through on August 18, 2022

City staff have been working with AR Engineering on site issues around the proposed American 1 Credit Union building proposed for 106 Winston Park Drive. The proposed facility is a 5463 square foot building that includes drive-through lanes for teller and ATM access. The building will house 45 employees.

Dimensional Requirements (Setback, lot coverage, etc)
Upon review of the plans, the project meets all dimensional requirements required in the B-4 District. The building will not exceed the 35' height requirement in the district.

Parking Requirements
The ordinance requires 1 parking space for every 250 feet of usable floor area and 1 per employee. To meet the ordinance, the project would required 67 spaces, including 3 Barrier Free Spaces. The proposed project will provide 72 parking spaces, including 3 Barrier Free. Stacking requirements for the drive through operation have been met.

Landscape Plan
The submitted landscape plan was not stamped by a landscape Architect, as required by the Zoning Ordinance. I have requested this to remedied ASAP.

- Interior landscaping requirements have been met in the number of trees and shrubs that have been included and remaining non-hardscape property contains grasses.
- Parking lot landscaping- required internal landscaping requirements have been met with the establishment of islands that met the size required by the ordinance. The

islands are supposed to be planted with lawn, perennials, ornamental grasses. Or shrubs, however, the proposed plan includes hardwood mulch instead.

- Screening from ROW- the required 10' greenbelt is included in the plan. The plan includes six trees, meeting the required number of trees for the just under 200' of frontage (5) and one extra in place of the shrubs that would be required.
- Parking lot screening- the lawn between the parking lot and ROW has a planted hedgerow of mungo pines and burning bushes.

Sidewalks

The proposed plan meets the standards established in the zoning ordinance and other city ordinances. Sidewalk is provided in the public ROW which will connect the properties on either side (Shell and hotel) which fills one of the remaining gaps in Winston Park. Required ADA ramps have been provided around the building. Site is lacking a pedestrian accessway from sidewalk in ROW to building. Staff do not anticipate this to be a high pedestrian area and will recommend that Planning Commission waives this requirement, which it is allowed to do per the ordinance.

Exterior Lighting

The required photometric plan was included with the submitted plans showing that the proposed development meets the ordinance standard of no more than 1 foot-candle at the property line. The detail on the lighting fixture is missing and has been requested from the engineer.

Development Review Team

On February 3, 2023, the City Development Review Team met to consider the proposed site plan. The following items were provided during the review:

1. Knox box required at each building to ensure Fire Department access in case of an emergency.
2. Water and Sewer tap fees will be provided by City soon.
3. Current dumpster location blocks access to fire hydrant. Dumpster needs to be moved.
4. Only 16' from end of teller/ATM canopy to edge of curb. Fire lane of at least 20' is necessary. Fire Department concerned about canopy height in relation to truck height.
5. FiberNet requesting location to access building with new fiber line.
6. Review of storm and impact to neighboring properties in process. If determined that site plan may impact neighboring properties, curbing would be required around entire parking lot.

PLANNING COMMISSION CONSIDERATIONS

Staff have reviewed the site plan based on the requirements of the B-4 Zoning District and related sections of the zoning ordinance. As part of our review, we evaluated the proposed facility through following standards that the Planning Commission will use in the process of reviewing any site plan for approval:

1. Adequacy of information. The site plan information is complete, accurate, and in an understandable form that accurate depicts and describes the proposed development.

The site plan submitted was mostly complete and accurate. The few missing pieces have been requested, but staff do not think this will provide a major impact on our recommendation.

2. Site appearance and preservation. The site layout promotes the normal and orderly development of surrounding lots, and the development layout preserves, to the extent feasible, the site's natural, cultural, and historical features, such as but not limited to significant buildings, wetlands, topography, and woodlands.

The proposed site continues the development of Winston Park and should mesh with the existing development in the area. No major impact is expected to the site's natural, cultural, or historical features.

3. Pedestrian access. Existing and proposed sidewalks or pedestrian pathways connect to existing and planned public sidewalks and pathways in the area, and comply with applicable barrier-free access standards.

As stated earlier, the site fills in one of the remaining gaps in the public ROW in Winston Park. The site also meets barrier free requirements. Staff is recommending that the Planning Commission waive the requirement for a pedestrian accessway from the sidewalk in the public ROW to the building.

4. Vehicular circulation. Drives, streets, parking, site access and other vehicle-related elements are designed to minimize traffic conflicts on adjacent streets, and to promote safe and efficient traffic circulation.

The plans have been reviewed and approved by the Department of Public Services. The proposed driveway has been cited directly across from the property across Winston Park Drive minimizing conflict leaving the site.

5. Parking and loading. Off-street parking lots and loading areas are arranged and located to accommodate the intensity of proposed uses, minimize conflicts with adjacent uses, and promote shared-use of common facilities where feasible.

The proposed site provides meets the requirement of the parking ordinance.

6. Building composition. Building design and architecture are harmonious with the surrounding neighborhood with regard to scale, mass, proportion, and materials.

The design and architecture of the building were not included in the site plan materials and have been requested. Staff has no reason to believe that the site will not be in harmony with the surrounding area.

7. Screening. Adequate screening elements have been provided to buffer or separate unlike or conflicting land uses, and to screen off-street parking, mechanical appurtenances, loading and unloading areas and storage areas from abutting residential districts and street rights-of-way.

The required screening and landscape standards have been met.

8. Exterior lighting. All exterior lighting fixtures are designed and arranged to minimize glare and light trespass, prevent vision impairments, and maximize security.

As mentioned above, the site meets the lighting requirements for downward lighting and light trespass.

9. Impact upon public services. The impact upon public services (including utilities, streets, police and fire protection, emergency access, and public sidewalks and pathways) will not exceed the existing or planned capacity of such services

The Development Review Team did not find any issues with the proposed development that would exceed the city's ability to provide services to the site.

Recommendation
Staff recommends approval of the site plan for American 1 Credit Union for 106 Winston Park Drive.

City of Marshall
Application for Site Plan Review

Attn: Planning and Zoning Administrator
323 W Michigan Ave.
Marshall, Michigan, 49068

The following application is made to the City of Marshall Planning Commission in accordance with the provisions of the Planning and Zoning Department.

1. Applicant Information

Address of property being developed:

106 Winston Drive

Owner of property being developed:

American 1 Credit Union

Owner's Address:

719 E Michigan Ave, Jackson, MI 49201

City State Zip

Owner's Phone Number:

(517) 787-6510

2. Owner's Agent if working for property owner.

Name and Title:

AR Engineering - Andrew Rossell, P.E.

Address:

5725 Venture Park Dr, Kalamazoo, MI 49009

City State Zip

Phone Number:

269-250-5991

City of Marshall
Application for Site Plan Review

3. Brief description of proposed project

A proposed 5,500 sft credit union with 5 drive-thru automatic teller machines, 72 parking spaces, and on site storm water detention.

4. Property Information

Is this property located in a floodplain?	No
Is this property located in a wetland?	No
Land area in square feet?	81,892
Proposed building area in square feet?	5,463
Proposed paved area in square feet?	42,106
Existing paved area in square feet?	0
Lake or stream within 500 feet?	No
Any other agencies contacted for approvals?	

If so, please list:

City of Marshall Engineering Department - ROW Permit

City of Marshall
Application for Site Plan Review

5. Authorization (Must be signed by the owner of the property)

I am the owner of record for this property for which this application is being filed and as such, I am familiar with the development being proposed to be carried out on my property.

I hereby, give permission for this application to be filed with the full understanding that certain restriction may be placed on the property relative to the approval of the proposed work.

I further certify that under penalties of perjury, I am to sign this application.

Name (Please Print) Kristina Edgar

Title: EVP/COO Date: 1/25/2023

Signature:

Note: If there are multiple owners of the property or you are representing a group, corporation, or other organization attach a copy of a certified letter authorizing you to sign this application for the proposed development.

LAND USE AND DEVELOPMENT FEES	
PLATS	
Up to 30 Lots	$550.00
Over 30 Lots	$750.00
SITE CONDOMINIMUMS	
Up to 30 Lots	$450.00
Over 30 Lots	$650.00
SITE PLANS	
Commercial and	$350.00 < 30 acres
I	
Special Land Use	$400.00
Planned Unit Development	$500.00
Amend a PUD	$150.00
Multiple Family Developments (Apartment &	$50 plus $5.00 per unit or lot
Additions to existing Site Plans if Planning Commission Review is required	$100.00
Extending Site Plan with Planning Commission	$150.00

CITY OF MARSHALL

Site Plan Review Checklist for General Development

Date: 1/25/2023

Zoning District B-4 Regional Commercial

Proposed Use: Credit Union

Is this a Permitted Use? ☐ Yes ☒ No
If yes list section number: Use Variance approved on 8/18/2022

Is the property in the Well Head Protection Area? ☐ Yes ☒ No ☐ NA

Property Address: 106 Winston Dr

Information of Responsible Party that prepared plans

Name: Andrew Rossell

Company Name: AR Engineering

Company Address: 5725 Venture Park Dr

Suite A

Kalamazoo, MI 49009

CITY OF MARSHALL

Zoning Ordinance, Article 6: Development Procedures: Section 6:3 - Site Plan Review is needed when:

☐ (A) - Any use or development stipulated elsewhere in the ordinance.

☐ (B) - All uses subject to land approval.

☐ (C) - Any areas for which off-street parking is required except for single- and two-family dwellings on a single lot.

☐ (D) - All permitted use, new construction, or any change of use lying contiguous to or across the street from a residential district.

☐ (E) - All residentially related uses permitted in a one-family district such as, but not limited to, institutional uses, churches, or public facilities.

☐ (F) - Any new use, addition or accessory structure that requires additional off-street parking to that already provided.

☐ (G) - Site plans for subdivisions and site condo developments.

☐ (H) - All uses not otherwise included within a specific use district.

☐ (I) - Any use for which the zoning administrator determines that PC review is necessary to determine compliance with the zoning ordinance.

☐ (J) - Amendments to approve site plans, except that the City Manager may approve minor modifications.

Note: Staff will review all plans prior to submitting them to Planning Commission.

Development Procedures: 6.3 – Site Plan Review: The following information should be included in your site plan:

☒ Plans submitted for site plan review shall be stamped by a design professional licensed by the State of Michigan such as a landscape architect, architect, or civil engineer.

☒ Site plans shall be drawn to an engineer's scale appropriate for a sheet size of at least 24 by 36 inches, not to exceed one (1) inch equals 50 feet. If a large development must be depicted in sections on multiple sheets, then an overall composite sheet shall be provided.

☒ Date, north arrow scale, existing zoning, zoning of adjacent properties, legal description of the property, easements, and the names and addresses of the

architect, planner, designer, or civil engineer responsible for the preparation of the site plan.

x The dimensions of all lot and property lines, showing the relationship of the subject property to abutting properties and a boundary survey of the parcel.

x The location, height and dimensions of all existing and proposed structures on the subject property and all existing structures within 100 feet of the subject property.

x A finished floor elevation and exterior building elevation drawing shall be submitted with the site plan.

x The location of all existing and proposed drives, walks and parking areas.

x The location and right-of-way widths of all abutting streets and alleys.

x The location and size of all existing and proposed sanitary sewer lines, water lines, and storm drainage facilities must be shown.

x The location and size of all existing and proposed electric, natural gas, telephone, cable TV and solid waste disposal facilities must be shown.

x The location, height area of illumination and fixture details of all existing and proposed lighting shall be provided. All lighting shall be located and oriented to have a minimal impact on adjacent properties.

x The size, height, location and illumination of all existing and proposed signs shall be provided to insure ordinance compliance.

x The location of existing natural features such as wooded areas, floodplains, wetlands, drainage courses, and a topographic survey of spot elevations of the site.

x Other information as requested by the Zoning Administrator or Planning Commission to verify that the site and use follow the Ordinance.

n/a The Planning Commission may waive any of the foregoing requirements determined unnecessary for site plan review purposes.

106 WINSTON DR
SECTION 27, T.2S, R.5W
CITY OF MARSHALL
CALHOUN COUNTY, MI

SITE DEVELOPMENT PLANS
JANUARY 20, 2023

ISSUED FOR: SITE PLAN APPROVAL

SHEET INDEX

No.	SHEET TITLE
C1.0	EXISTING CONDITIONS - DEMOLITION PLAN
C2.0	SITE LAYOUT
C3.0	UTILITY PLAN
C4.0	GRADING - SESC PLAN
C5.0	DETAILS
L1.0	LANDSCAPE PLAN
L2.0	PHOTOMETRIC PLAN
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REVISIONS

No.	ISSUED FOR:	DATE:	BY:
0	SITE PLAN APPROVAL	01/20/23	ar
1	.	.	.
2	.	.	.
3	.	.	.
4	.	.	.
5	.	.	.

OWNER:

AMERICAN 1 CREDIT UNION
718 E MICHIGAN AVE
JACKSON, MI 49201

ARCHITECT:

COVALLE GROUP ARCHITECTS
2019 FOURTH STREET
JACKSON, MI 49201
TEL. (517) 740-5033

CIVIL ENGINEER:

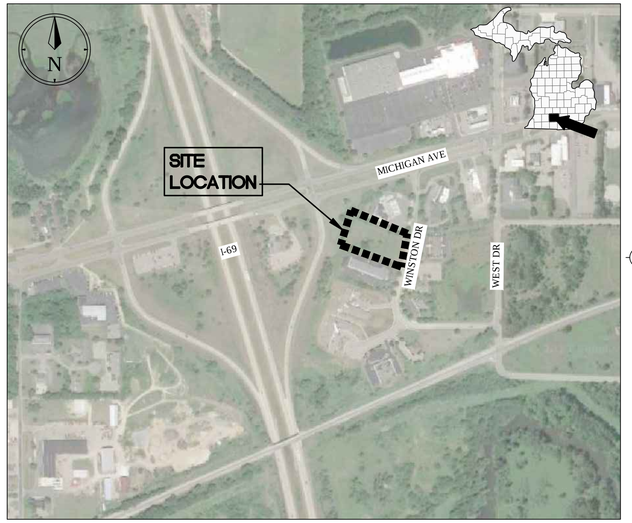
AR ENGINEERING, LLC.
5725 VENTURE PARK DRIVE, SUITE A
KALAMAZOO, MI 49008
TEL. (269) 250-5991 FAX. (866) 569-0604

AR Engineering

1/25/2023

ANDREW ROSSELL, P.E. DATE

LOCATION MAP
NOT TO SCALE



42°16'10.4"N 84°59'12.4"W

LEGAL DESCRIPTION

PARCEL #: 53-024-703-00

LAND SITUATED IN THE CITY OF MARSHALL, COUNTY OF CALHOUN, STATE OF MICHIGAN DESCRIBED AS FOLLOWS:
UNIT 3, WINSTON PARK, A CONDOMINIUM, ACCORDING TO THE MASTER DEED RECORDED IN LIBER 1867, PAGE 931 AND AMENDMENTS THERETO, CALHOUN COUNTY RECORDS, AND DESIGNATED AS CALHOUN COUNTY CONDOMINIUM SUBDIVISION PLAN NO. 28, TOGETHER WITH RIGHTS IN GENERAL COMMON ELEMENTS AND LIMITED COMMON ELEMENTS AS SET FORTH IN THE ABOVE DESCRIBED MASTER DEED AND AMENDMENTS THERETO AND AS DISCLOSED BY ACT 59 OF THE PUBLIC ACTS OF 1978, AS AMENDED.

UTILITY CONTACTS

CABLE	AT&T 15869 W MICHIGAN AVE MARSHALL, MI 49068 (269) 269-8040	TELEPHONE	AT&T 15869 W MICHIGAN AVE MARSHALL, MI 49068 (269) 269-8040
WATER	CITY OF MARSHALL 832 EAST GREEN STREET MARSHALL, MI 49068 (269) 781-8631	SEWER	CITY OF MARSHALL 832 EAST GREEN STREET MARSHALL, MI 49068 (269) 781-8631
GAS	CONSUMERS ENERGY 2500 E CORK STREET KALAMAZOO, MI 49001 (269) 337-2381	ELECTRIC	CITY OF MARSHALL 832 EAST GREEN STREET MARSHALL, MI 49068 (269) 781-8631
		MISS DIG	811

AMERICAN 1ST CREDIT UNION | 1/20/23

DEMOLITION NOTES

1. ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT TIME OF CONSTRUCTION.
2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, PERMIT COSTS, TAP FEES, METER DEPOSITS, PERMANENT UTILITY APPLICATIONS, BONDS, AND OTHER FEES REQUIRED FOR PROPOSED WORK. THIS SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO THOSE REQUIRED BY THE CITY OF MARSHALL, MDOT AND CALHOUN COUNTY.
3. CONTACT "MISS DIG 811" AT 1-800-482-7171 FOR LOCATION OF UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS BEFORE COMMENCING EXCAVATION WORK. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO ARE NOT PART OF THE "811" ALERT SYSTEM. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.
4. DEMOLISH & REMOVE ALL EXISTING SITE FEATURES AS REQUIRED.
5. ALL SOIL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO DEMOLITION.
6. ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS AND GEOTECHNICAL REPORT.
7. ALL EXISTING ELEVATIONS ARE TO BE VERIFIED AND ACCEPTED AS SHOWN PRIOR TO COMMENCEMENT OF WORK.
8. CONTRACTOR SHALL TAKE PRECAUTIONS TO AVOID TRACKING SOIL ONTO ADJACENT ROADWAYS. CONTRACTOR SHALL SWEEP IMMEDIATELY IF OCCURS.
9. ANY DISTURBED AREA WHICH WILL BE LEFT UNWORKED 15 DAYS OR LONGER MUST BE SEEDED TO ESTABLISH VEGETATION FOR TEMPORARY STABILIZATION. BASINS TO BE SEEDED AND MULCH BLANKETS APPLIED IMMEDIATELY TO PROVIDE A STABLE BASE AND AVOID EXCESSIVE EROSION.
10. REVIEW ALL THE REMOVALS AND PROTECTION WITH OWNER PRIOR TO COMMENCING CONSTRUCTION. INSTALL TEMPORARY SNOW FENCE AROUND ALL TREES REQUIRING PROTECTION. SNOW FENCE SHALL BE PLACED AT EDGE OF DRIP LINE.
11. SAWCUT ALL CURB, SIDEWALK, AND PAVEMENTS PRIOR TO REMOVAL. ADDITIONAL SAWCUT MAY BE NECESSARY PRIOR TO REPLACEMENT TO ENSURE CLEAN EDGE.
12. ALL REMOVALS SHALL BE TAKEN OFF-SITE AND DISPOSED OF PROPERLY. NO STOCKPILE OR BURNING OF DEBRIS IS ALLOWED.
13. ALL REMOVALS SHALL BE TO THE LIMITS INDICATED ABOVE UNLESS OTHERWISE DIRECTED BY THE ENGINEER. UNAUTHORIZED REMOVALS AND SUBSEQUENT REPLACEMENT SHALL BE AT THE CONTRACTOR'S EXPENSE.
14. REMOVE, STORE, AND RESET ANY EXISTING SIGNS AS DIRECTED BY THE ENGINEER/OWNER.
15. REMOVE ALL TREES TO THE CLEARING LIMITS AS SHOWN. REMOVE ALL EXISTING TREES, STUMPS AND BRUSH FROM THE SITE AS NECESSARY TO CONSTRUCT THE IMPROVEMENTS.
16. THE CONTRACTOR SHALL DEMOLISH AND REMOVE ANY ITEMS REMAINING FROM THE EXISTING BUILDING, IN ITS ENTIRETY, INCLUDING WALLS, FOUNDATIONS AND FOOTINGS. ALL BUILDING DRAINS AND UTILITY LEADS SHALL BE LOCATED AND PROPERLY PLUGGED. UTILITY LEAD WORK SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
17. BACKFILL EXCAVATED AREAS WITH CLEAN GRANULAR FILL COMPACTED TO 95% OF THE MATERIAL UNIT WEIGHT BY MODIFIED PROCTOR.
18. CONTROL SHALL BE MAINTAINED OVER THE SITE AND OPERATION TO ELIMINATE HAZARDS TO THE PUBLIC. NAILS OR OTHER TIRE PUNCTURING ITEMS SHALL NOT BE DROPPED ON STREETS, ALLEYS AND ADJACENT PROPERTY. PUBLIC STREETS, CURBS AND SIDEWALKS SHALL BE PROTECTED FROM DAMAGE. THE PERSON ENGAGED IN THE DEMOLITION WORK SHALL BE LIABLE FOR ANY AND ALL DAMAGE TO CURBS, STREETS, SIDEWALKS AND OTHER PUBLIC OR PRIVATE PROPERTY AND FOR ANY BODILY INJURY OCCURRING AS A RESULT OF THE DEMOLITION WORK.

LEGEND

- EXISITING PAVEMENT
- CURB & GUTTER REMOVAL
- SAWCUT
- UTILITY LINE REMOVAL
- TREE REMOVAL
- REMOVE
- PROTECT
- LIMITS OF CONSTRUCTION

STORM STRUCTURE INFORMATION

EX CB-1, 4' CONC.
RIM = 918.62'
INV W = 12" CONC (INV. = 914.42')
SUMP = 912.12'

EX CB-2, 4' CONC.
RIM = 918.79'
INV E = 12" CONC (INV. = 914.39')
SUMP = 911.09'

EX CB-3, 4' CONC.
RIM = 916.42'
INV ESE = 8" PVC (INV. = 912.32')
SUMP = 907.36'

EX CB-4, 4' CONC.
RIM = 915.06'
INV SE = 12" CPP (INV. = 908.66')
SUMP = 907.36'

EX CB-5, 4' CONC.
RIM = 915.22'
INV SE = 12" CPP (INV. = 908.07')
INV NW = 12" CPP (INV. = 908.12')
INV S = 8" PVC (INV. = 908.82')
SUMP = 907.22'

EX MH-6, 6' CONC.
RIM = 919.06'
INV N = 12" CONC (INV. = 907.66')
INV S = 12" CONC (INV. = 907.76')
INV E = 12" CONC (INV. = 912.46')
INV W = 12" CONC (INV. = 912.41')
SUMP = 907.46'

EX MH-7 4' CONC.
RIM = 919.89'
INV N = 12" CONC (INV. = 907.44')
INV NE = 12" CONC (INV. = 907.49')
SUMP = 907.19'

EX MH-8, 4' CONC.
RIM = 918.62'
INV NW = 12' CONC (INV. = 903.47')
INV SW = 12' CONC (INV. = 906.87')
INV SSW = 18" CONC (INV. = 904.07')
INV E = 24" CONC (INV. = 902.97')
SUMP = 903.42'

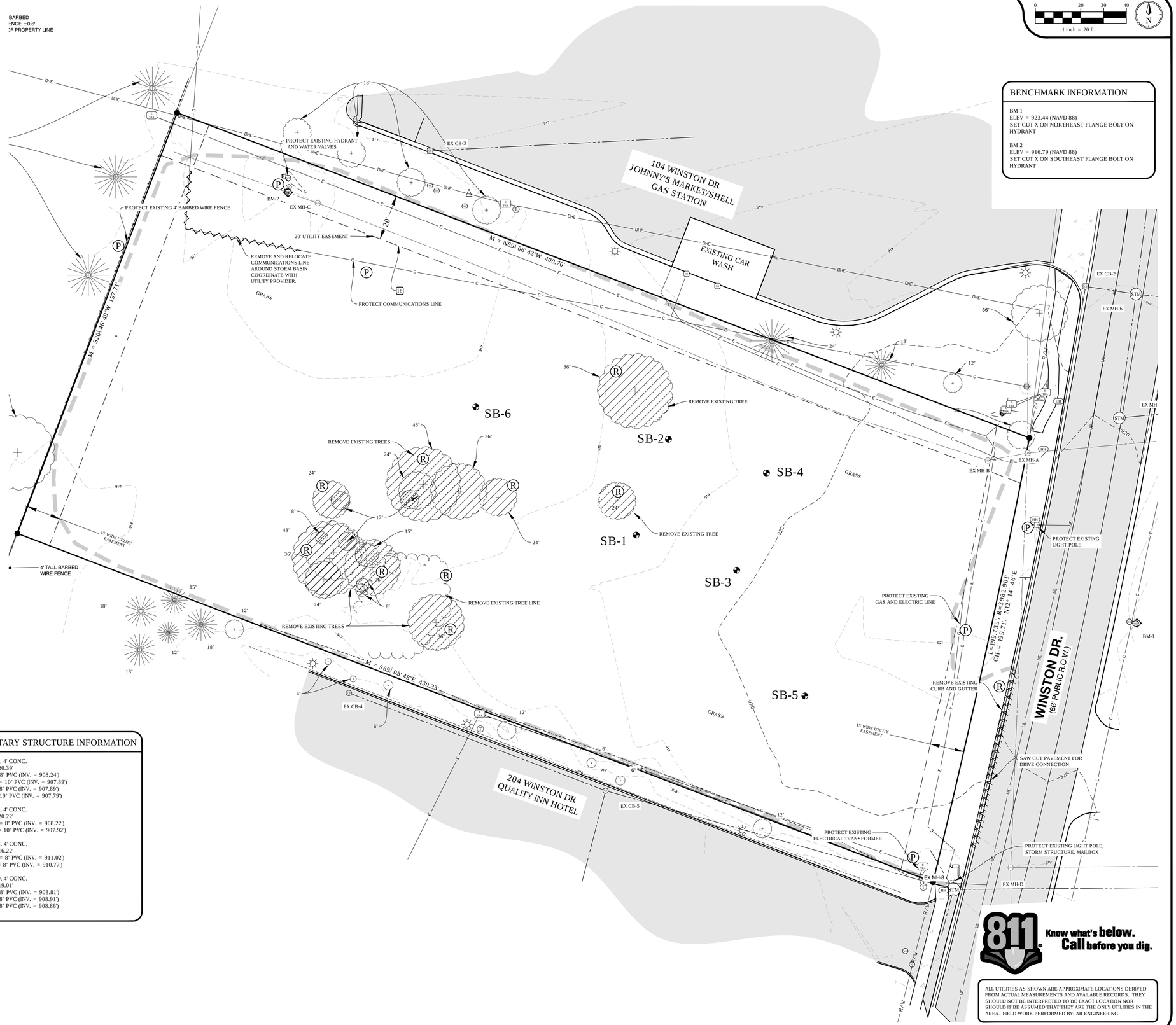
SANITARY STRUCTURE INFORMATION

EX MH-A, 4' CONC.
RIM = 920.39'
INV N = 8" PVC (INV. = 908.24')
INV SW = 10" PVC (INV. = 907.89')
INV S = 8" PVC (INV. = 907.89')
INV E = 10" PVC (INV. = 907.79')

EX MH-B, 4' CONC.
RIM = 920.22'
INV NW = 8" PVC (INV. = 908.22')
INV NE = 10" PVC (INV. = 907.92')

EX MH-C, 4' CONC.
RIM = 916.22'
INV NW = 8" PVC (INV. = 911.02')
INV SE = 8" PVC (INV. = 910.77')

EX MH-D, 4' CONC.
RIM = 919.01'
INV N = 8" PVC (INV. = 908.81')
INV S = 8" PVC (INV. = 908.91')
INV E = 8" PVC (INV. = 908.86')



BENCHMARK INFORMATION

BM 1
ELEV = 923.44 (NAVD 88)
SET CUT X ON NORTHEAST FLANGE BOLT ON HYDRANT

BM 2
ELEV = 916.79 (NAVD 88)
SET CUT X ON SOUTHEAST FLANGE BOLT ON HYDRANT

811 Know what's below. Call before you dig.

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PLANS PREPARED BY:

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STATE OF MICHIGAN
ANDREW SHEA ROSSELL
ENGINEER
No. 6201056221
LICENSED PROFESSIONAL ENGINEER

ANDREW ROSSELL, P.E.
No. 6201056221

No.	ISSUED FOR:	DATE	BY
0	SITE PLAN APPROVAL	1/20/2023	SAP
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SHEET TITLE: EXISTING CONDITIONS & DEMO PLAN
PROJECT: MARSHALL AMERICAN 1 CU
CLIENT: COVALLE GROUP ARCHITECTS
SITE ADDRESS: 106 WINSTON DRIVE
SITE SECTION: SECTION 27, T02S, R05W

JOB NUMBER
22089008

DATE
1/20/2023

SHEET NUMBER
C1.0

SITE DATA

1. PROPERTY INFORMATION:
   PARCEL #: 53-024-703-00

   SITE AREA: 81,892 SF (1.88 AC)

   OWNER: AMERICAN 1 CREDIT UNION
   719 E MICHIGAN AVE
   JACKSON, MI 49201

   ARCHITECT: COVALLE GROUP ARCHITECTS
   2019 FOURTH STREET
   JACKSON, MI 49201

2. ZONING:
   PROPERTY CURRENTLY ZONED: B-4 REGIONAL COMMERCIAL

   ABUTTING PROPERTY CURRENTLY ZONED:
   NORTH: B-4 REGIONAL COMMERCIAL
   SOUTH: B-4 REGIONAL COMMERCIAL
   EAST: B-4 REGIONAL COMMERCIAL
   WEST: B-4 REGIONAL COMMERCIAL

   PROPOSED LAND USE = CREDIT UNION

3. SETBACKS
   FRONT = 20'
   SIDES = MIN 10' TOTAL 25'
   REAR = 25'

4. PARKING:
   REQUIRED = (1) PARKING SPACE PER (250) SF. OF USABLE FLOOR AREA + 1 PER EMPLOYEE

5463 SF/ 250 =	22
45 EMPLOYEES	45
TOTAL REQUIRED	67
PROVIDED = STANDARD 9'x20' SPACES =	69
BARRIER FREE SPACES =	3
TOTAL PROVIDED	72

5. BUILDING:
   ONE-STORY
   MAXIMUM HEIGHT: 35' (2.5 STORY)
   TOTAL AREA OF 5,463 SFT. (SEE FLOOR PLAN AND ELEVATIONS FOR MORE DETAIL.)
   PROPOSED BUILDING COVERAGE: 7%
   MAXIMUM BUILDING COVERAGE: N/A

6. LOT:
   MINIMUM LOT SIZE: NOT SPECIFIED
   MINIMUM LOT WIDTH: 100'
   LOT SIZE: 81,892 SFT / 1.88 ACRES
   LOT DIMENSIONS: IRREGULAR, SEE PLAN

7. LANDSCAPING:
   SHALL BE IN ACCORDANCE WITH LANDSCAPING PLAN.

8. STORM WATER DETENTION REQUIRED:
   STORM WATER MANAGEMENT SHALL BE IN ACCORDANCE WITH COUNTY STORM WATER GUIDELINES.

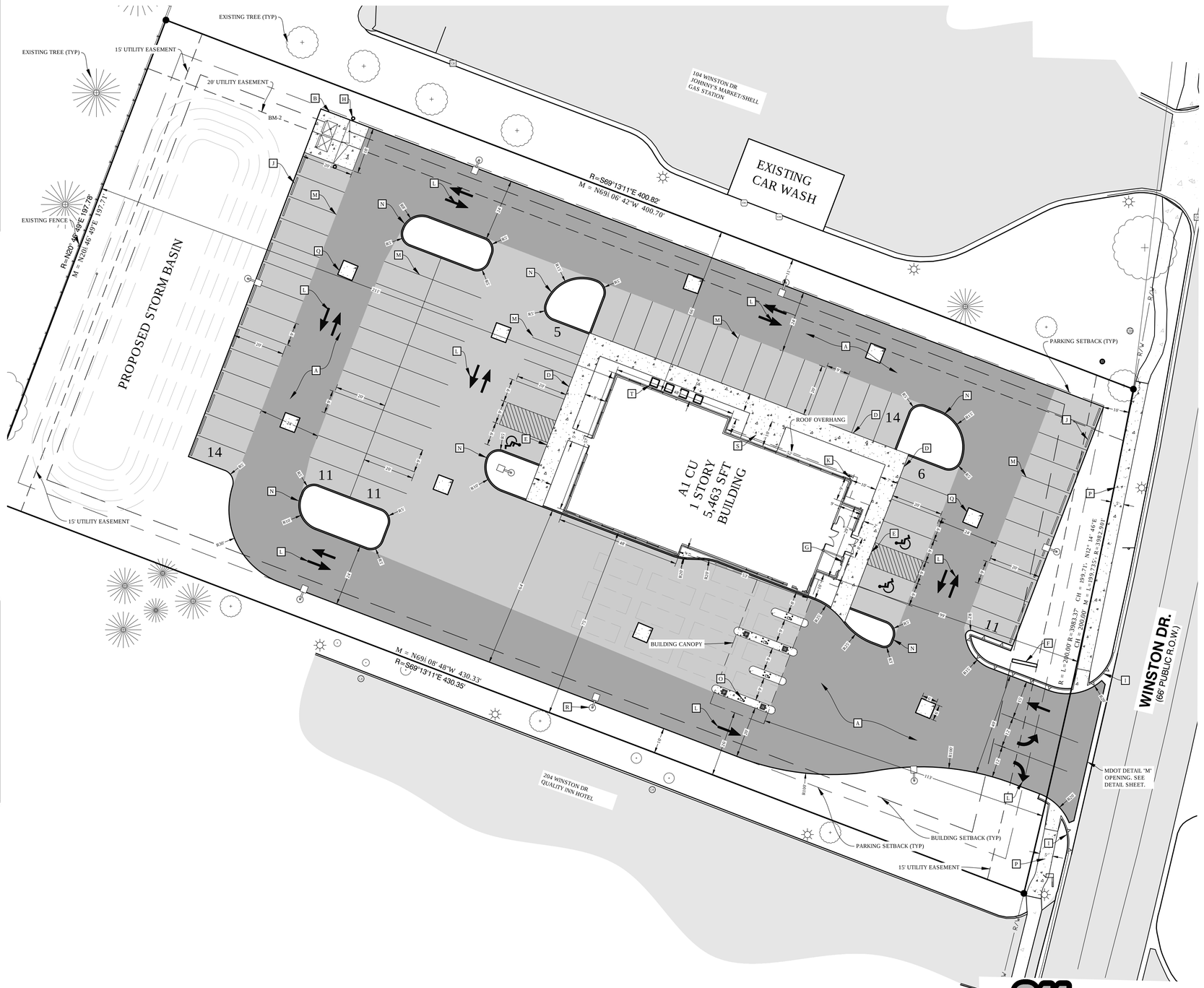
LEGEND

- HEAVY DUTY HMA PAVEMENT (SEE DETAIL ON C5.0)
- EXISITING PAVEMENT
- EXISITING CONCRETE PAVEMENT
- CONCRETE PAVEMENT AND SIDEWALK (SEE DETAILS ON C5.0)
- LIGHT DUTY HMA PAVEMENT (SEE DETAIL ON C5.0)

BENCHMARK INFORMATION

BM 1
ELEV = 923.44 (NAVD 88)
SET CUT X ON NORTHEAST FLANGE BOLT ON HYDRANT

BM 2
ELEV = 916.79 (NAVD 88)
SET CUT X ON SOUTHEAST FLANGE BOLT ON HYDRANT



SITE PLAN NOTES

- A. BITUMINOUS PAVEMENT (SEE DETAIL SHEET).
- B. 18'X20' (MIN.) CONCRETE DUMPSTER PAD (PROVIDE 18' X12' DUMPSTER ENCLOSURE. AREA FOR (2) STD DUMPSTERS (SEE DETAIL SHEET).
- C. PROPOSED HVAC CONDENSERS LOCATED ON THE ROOF. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- D. INTEGRAL CURB/WALK (SEE DETAIL SHEET).
- E. AT-GRADE RAMP (SEE GRADING PLAN).
- F. PROPOSED LIGHTED PYLON SIGN W/ UNDERGROUND ELECTRICAL.
- G. PROPOSED BUILDING SIGN.
- H. BOLLARDS - (2) TOTAL
- I. MDOT 'B2' CONCRETE CURB AND GUTTER, (SEE DETAIL SHEET)
- J. PROVIDE CONCRETE PARKING STOPS FOR CURBING AT PERIMETER OF PAVEMENT.
- K. DOWNSPOUT (TYP)
- L. PAINT/STRIPING (SEE DETAIL SHEET)
- M. 4" PAINTED PARKING LOT MARKING/STRIPING (TYP)
- N. MDOT E2 CURB (SEE DETAIL SHEET)
- O. AUTOMATED TELLER MACHINES (SEE ARCH PLANS)
- P. 5' PUBLIC SIDEWALK
- Q. 6' x 6' CONCRETE APRON (TYP)
- R. LIGHT POLE (TYP) (SEE LIGHTING PLAN)
- S. GENERATOR PAD (SEE MEP PLANS)
- T. CONDENSER PADS (SEE MEP PLANS)

GENERAL NOTES

1. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
2. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
3. ALL CURB RADII AND DIMENSIONS ARE TO FACE OF CURB. CURB TO BE PROVIDED WHERE SHOWN AND INTEGRAL WITH SIDEWALK AT PAVING EDGE.
4. SLOPE GRADES UNIFORMLY BETWEEN ELEVATIONS SHOWN. NOMINAL GRADING, SLOPE SIDEWALKS AWAY FROM BUILDING AT 1/4" PER FOOT ON ENTRY WALK.

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SHEET TITLE: SITE LAYOUT
PROJECT: MARSHALL AMERICAN 1 CU
CLIENT: COVALLE GROUP ARCHITECTS
SITE ADDRESS: 106 WINSTON DRIVE
SITE SECTION: SECTION 27, T02S, R05W

JOB NUMBER
22089008

DATE
1/20/2023

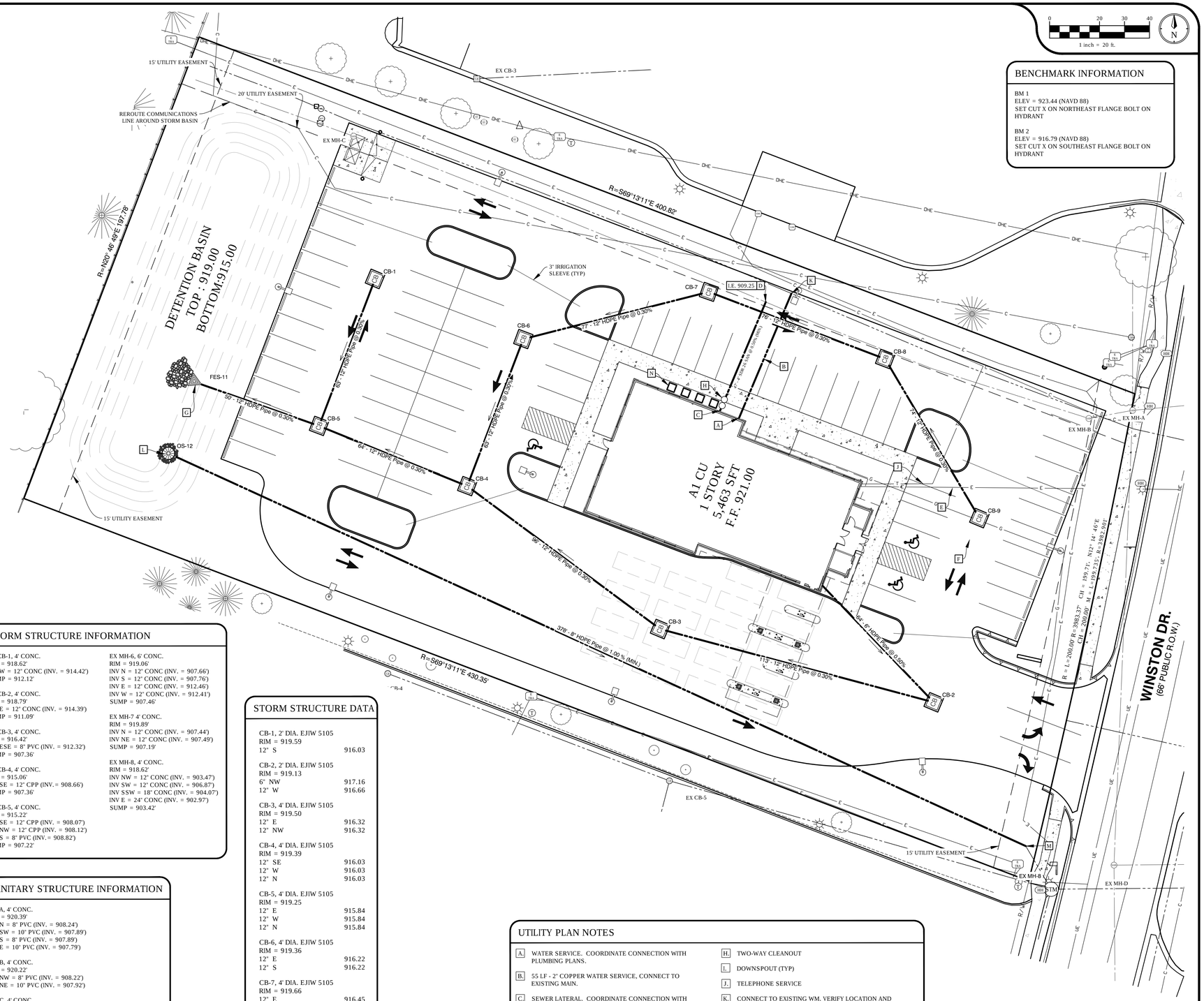
SHEET NUMBER
C2.0

SITE MATERIALS & CONSTRUCTION NOTES

1. SOILS EXPOSED IN THE BASE OF ALL SATISFACTORY FOUNDATION EXCAVATIONS SHOULD BE PROTECTED AGAINST ANY DETRIMENTAL CHANGES IN CONDITION SUCH AS FROM DISTURBANCE, RAIN AND FREEZING. SURFACE RUN-OFF WATER SHOULD BE DRAINED AWAY FROM THE EXCAVATION AND NOT ALLOWED TO POND. IF POSSIBLE, ALL FOOTING CONCRETE SHOULD BE POURED THE SAME DAY THE EXCAVATION IS MADE. IF THIS IS NOT PRACTICAL, THE FOOTING EXCAVATIONS SHOULD BE ADEQUATELY PROTECTED.
2. REMOVE ALL SUBGRADE GRADE MATERIAL THAT MAY BE SOFTENED BY RAINS, FREEZING, OR CONSTRUCTION TRAFFIC, ETC. AND REPLACE WITH COMPACTED GRANULAR FILL.
3. STORM SEWER SHALL BE CORRUGATED HDPE PIPE WITH SMOOTH INTERIOR WALL, BY ADS OR EQUAL. LEACHING BASINS AND MANHOLES ARE TO BE REINFORCED CONCRETE WITH RIM AND SLOTTED GRATING (AS SHOWN). STORM SEWER & LEACHING BASINS ARE TO BE WRAPPED WITH FILTER FABRIC.
4. SANITARY SEWER PIPE MAY BE PVC SDR 3034 MATERIAL.
5. ALL WATER SERVICE LINES SHALL BE 1" TYPE K COPPER PIPE AND SHALL BE BROUGHT TO WITHIN 5' OF BUILDING, WITH COMPRESSION FITTINGS OR MECHANICAL FITTINGS OTHER THAN FLARED ENDS.
6. PROVIDE MINIMUM 5' COVER FROM FINISHED GRADE FOR ALL WATER SERVICE LINES. IF COVER CANNOT BE MAINTAINED DUE TO SITE CONDITIONS OR INVERT ELEVATIONS THE ENTIRE LENGTH OF THE EXTERIOR PIPE MUST BE PROTECTED WITH 2" RIGID INSULATION BOARD ON THE TOP AND SIDES.
7. PROVIDE MINIMUM 5' COVER FROM FINISHED GRADE FOR ALL SANITARY SEWER LINES. IF COVER CANNOT BE MAINTAINED DUE TO SITE CONDITIONS OR INVERT ELEVATIONS THE ENTIRE LENGTH OF THE EXTERIOR PIPE MUST BE PROTECTED WITH 2" RIGID INSULATION BOARD ON THE TOP AND SIDES.
8. MAINTAIN 10 FOOT MINIMUM HORIZONTAL SEPARATION BETWEEN THE SEWER AND WATER MAIN UTILITIES. PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE UTILITIES CROSS.
9. THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
10. EXTERIOR CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 4000 PSI AND SHALL HAVE LIMESTONE AGGREGATE AND SHALL HAVE 4 - 6 % AIR ENTRAINMENT WITH A BROOM FINISH.
11. EXPANSION JOINTS IN CONCRETE PAVEMENT AND WALLS SHALL BE 1/2" ASPHALT IMPREGNATED FULL DEPTH 40' O.C. MAXIMUM & AT SIDEWALK INTERSECTIONS. CRACK CONTROL SCORING AT SIDEWALK WIDTH DIMENSION AND @ 10'-0" O.C. IN DRIVES.

GENERAL NOTES

1. ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT TIME OF CONSTRUCTION.
2. ELECTRICAL WORK SHALL BE PERFORMED BY A STATE OF MICHIGAN LICENSED ELECTRICIAN ACCORDING TO THE N.F.P.A. NATIONAL ELECTRICAL CODE AS MODIFIED BY THE STATE OF MICHIGAN. FURNISH AND INSTALL ALL MATERIALS AND LABOR TO PROVIDE A COMPLETE WORKING SYSTEM.
3. ALL PLUMBING WORK SHALL BE PERFORMED BY A STATE OF MICHIGAN LICENSED PLUMBER ACCORDING TO THE INTERNATIONAL PLUMBING CODE AS MODIFIED BY THE STATE OF MICHIGAN AND LOCAL HEALTH DEPARTMENT. FURNISH AND INSTALL ALL MATERIALS AND LABOR TO PROVIDE A FULL WORKING SYSTEM.
4. ALL MECHANICAL WORK SHALL BE PERFORMED ACCORDING TO THE INTERNATIONAL MECHANICAL CODE AS MODIFIED BY THE STATE OF MICHIGAN AND THE MICHIGAN ENERGY CODE. FURNISH AND INSTALL ALL MATERIALS AND LABOR TO PROVIDE A FULL WORKING SYSTEM.
5. ALL WORK SHALL CONFORM TO THE MICHIGAN HANDICAPPED ACCESSIBILITY CODE AND THE AMERICANS WITH DISABILITIES ACT.
6. WATER SERVICE PRESSURE TESTING AND CHLORINATION SHALL BE PER MDEQ AND CITY OF MARSHALL REQUIREMENTS.
7. SANITARY SEWER INSTALLATION AND TESTING MUST MEET THE REQUIREMENTS OF CITY OF MARSHALL AND THE MICHIGAN DEPT. OF ENVIRONMENTAL QUALITY.
8. ALL REGULATORY SIGNAGE (IF SPECIFIED) SHALL BE PER THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT).
9. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, PERMIT COSTS, TAP FEES, METER DEPOSITS, PERMANENT UTILITY APPLICATIONS, BONDS, AND OTHER FEES REQUIRED FOR PROPOSED WORK.
10. CONTACT "MISS DIG" AT 1-800-482-7171 FOR LOCATION OF UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS BEFORE COMMENCING EXCAVATION WORK. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO ARE NOT PART OF THE "MISS DIG" ALERT SYSTEM. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.
11. ANY SANITARY SEWER, SANITARY SEWER SERVICE LEADS, WATER MAIN, WATER SERVICES, OR STORM SEWER WHICH IS DAMAGED BY THE CONTRACTOR DURING HIS OPERATIONS SHALL BE REPAIRED TO THE OWNERS SATISFACTION, AND AT THE CONTRACTORS EXPENSE. IF ANY ELEMENTS OF THE SANITARY SEWER SYSTEM ARE DAMAGED AND NEED REPAIRED, IT MUST MEET CITY OF MARSHALL SPECIFICATIONS.
12. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR THE ELECTRICAL TRANSFORMER PAD PER THE UTILITY COMPANY SPECIFICATIONS.
13. THE TELEPHONE UTILITY COMPANY SHALL PROVIDE UNDERGROUND TELEPHONE TO THE BUILDING AT THE OWNERS EXPENSE.
14. REFER TO ELECTRICAL DRAWINGS FOR UNDERGROUND ELECTRICAL REQUIREMENTS FOR SITE LIGHTING & SITE DETAILS SHEETS FOR THE FIXTURE AND & POLE SPECIFICATIONS.
15. DESIGN, INSTALLATION AND SPECIFICATION FOR IMPROVEMENTS RELATED TO GAS, TELEPHONE, ELECTRIC AND CABLE TELEVISION SERVICES SHALL BE COORDINATED BY THE CONTRACTOR.
16. CONTRACTOR SHALL COORDINATE TELEPHONE, ELECTRIC, AND CABLE TELEVISION CONDUITS WITH THE APPROPRIATE UTILITY PRIOR TO PAVEMENT INSTALLATION.
17. CONTRACTOR IS TO UNCOVER AND CONFIRM ALL TAP LOCATIONS. LOCATION DISCREPANCIES ARE TO BE BROUGHT TO THE ENGINEERS ATTENTION FOR RESOLUTION.
18. THE CONTRACTOR IS TO PROVIDE THE WATER SERVICE PIPING FROM THE BUILDING TO THE EXISTING MAIN. THE CONTRACTOR SHALL MAKE THE CONNECTION TO THE SHUT OFF VALVE, THE CONTRACTOR SHALL COORDINATE SERVICES WITH THE CITY OF MARSHALL.
19. CONTRACTOR/OWNER SHALL OBTAIN UTILITY CONNECTION PERMITS AND SETTLE APPLICABLE UTILITY ASSESSMENTS PRIOR TO EXTENSION OF PUBLIC UTILITIES ONSITE.
20. MANHOLE AND CATCH BASIN STRUCTURES SHALL BE PRECAST AND HAVE A MAXIMUM OF 2 ADJUSTING RINGS FOR FINISH GRADE ADJUSTMENT. STORM STRUCTURES MUST ALL HAVE A SUMP OF TWO FEET.
21. ALL WATER MAIN TO HAVE A BURIAL DEPTH AS REQUIRED BY THE MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY FOR THE SPECIFIC REGION OF WORK IN CALHOUN COUNTY.
22. DEMOLISH & REMOVE ALL EXISTING SITE FEATURES AS REQUIRED.
23. THE CONTRACTOR SHALL REVIEW THE GEOTECHNICAL REPORT.
24. DRIVEWAY LAYOUT AND CONNECTION TO WINSTON AVE SHALL COMPLY WITH ALL ASPECTS OF THE CITY OF MARSHALL DRIVE PERMITS.
25. GEOTEXTILE FABRIC SHALL BE PLACED UNDER ALL APPLICATIONS OF RIP RAP OUTFALLS AND SPILLWAYS.



BENCHMARK INFORMATION

BM 1
ELEV = 923.44 (NAVD 88)
SET CUT X ON NORTHEAST FLANGE BOLT ON HYDRANT

BM 2
ELEV = 916.79 (NAVD 88)
SET CUT X ON SOUTHEAST FLANGE BOLT ON HYDRANT

STORM STRUCTURE INFORMATION

EX CB-1, 4' CONC.
RIM = 918.62'
INV W = 12" CONC (INV. = 914.42')
SUMP = 912.12'

EX CB-2, 4' CONC.
RIM = 918.79'
INV E = 12" CONC (INV. = 914.39')
SUMP = 911.09'

EX CB-3, 4' CONC.
RIM = 916.42'
INV ESE = 8" PVC (INV. = 912.32')
SUMP = 907.36'

EX CB-4, 4' CONC.
RIM = 915.06'
INV SE = 12" CPP (INV.= 908.66')
SUMP = 907.36'

EX CB-5, 4' CONC.
RIM = 915.22'
INV SE = 12" CPP (INV. = 908.07')
INV NW = 12" CPP (INV. = 908.12')
INV S = 8" PVC (INV.= 908.82')
SUMP = 907.22'

EX MH-6, 6' CONC.
RIM = 919.06'
INV N = 12" CONC (INV. = 907.66')
INV S = 12" CONC (INV. = 907.76')
INV E = 12" CONC (INV. = 912.46')
INV W = 12" CONC (INV. = 912.41')
SUMP = 907.46'

EX MH-7 4' CONC.
RIM = 919.89'
INV N = 12" CONC (INV. = 907.44')
INV NE = 12" CONC (INV. = 907.49')
SUMP = 907.19'

EX MH-8, 4' CONC.
RIM = 918.62'
INV NW = 12" CONC (INV. = 903.47')
INV SW = 12" CONC (INV. = 906.87')
INV SSW = 18" CONC (INV. = 904.07')
INV E = 24" CONC (INV. = 902.97')
SUMP = 903.42'

SANITARY STRUCTURE INFORMATION

MH-A, 4' CONC.
RIM = 920.39'
INV N = 8" PVC (INV. = 908.24')
INV SW = 10" PVC (INV. = 907.89')
INV S = 8" PVC (INV. = 907.89')
INV E = 10" PVC (INV. = 907.79')

MH-B, 4' CONC.
RIM = 920.22'
INV NW = 8" PVC (INV. = 908.22')
INV NE = 10" PVC (INV. = 907.92')

MH-C, 4' CONC.
RIM = 916.22'
INV NW = 8" PVC (INV. = 911.02')
INV SE = 8" PVC (INV. = 910.77')

MH-D, 4' CONC.
RIM = 919.01'
INV N = 8" PVC (INV. = 908.81')
INV S = 8" PVC (INV. = 908.91')
INV E = 8" PVC (INV. = 908.86')

STORM STRUCTURE DATA

CB-1, 2' DIA. EJIW 5105	
RIM = 919.59	
12" S	916.03
CB-2, 2' DIA. EJIW 5105	
RIM = 919.13	
6" NW	917.16
12" W	916.66
CB-3, 4' DIA. EJIW 5105	
RIM = 919.50	
12" E	916.32
12" NW	916.32
CB-4, 4' DIA. EJIW 5105	
RIM = 919.39	
12" SE	916.03
12" W	916.03
12" N	916.03
CB-5, 4' DIA. EJIW 5105	
RIM = 919.25	
12" E	915.84
12" W	915.84
12" N	915.84
CB-6, 4' DIA. EJIW 5105	
RIM = 919.36	
12" E	916.22
12" S	916.22
CB-7, 4' DIA. EJIW 5105	
RIM = 919.66	
12" E	916.45
12" W	916.45
CB-8, 4' DIA. EJIW 5105	
RIM = 919.66	
12" SE	916.68
12" W	916.68
CB-9, 2' DIA. EJIW 5105	
RIM = 919.93	
12" NW	916.90

UTILITY PLAN NOTES

- A. WATER SERVICE. COORDINATE CONNECTION WITH PLUMBING PLANS.
- B. 55 LF - 2" COPPER WATER SERVICE, CONNECT TO EXISTING MAIN.
- C. SEWER LATERAL. COORDINATE CONNECTION WITH PLUMBING PLANS.
- D. CONNECT TO EXISTING 8" SANITARY MAIN WITH TAPPING SADDLE WYE.
- E. ELECTRIC SERVICE.
- F. GAS SERVICE.
- G. 12" FLARED END SECTION WITH RIP RAP AND REFUSE SCREEN. I.E. 915.00
- H. TWO-WAY CLEANOUT
- I. DOWNSPOUT (TYP)
- J. TELEPHONE SERVICE
- K. CONNECT TO EXISTING WM. VERIFY LOCATION AND DEPTH PRIOR TO CONSTRUCTION AND COORDINATE WITH THE CITY OF MARSHALL
- L. SLOW-RELEASE / OVERFLOW STRUCTURE. SEE DETAIL SHEET
- M. CONNECT TO EXISTING STORM MH 8. I.E. 903.53
- N. HVAC UNITS

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SHEET TITLE: UTILITY PLAN
PROJECT: MARSHALL AMERICAN 1 CU
CLIENT: COVALLE GROUP ARCHITECTS
SITE ADDRESS: 106 WINSTON DRIVE
SITE SECTION: SECTION 27, T02S, R05W

JOB NUMBER
22089008

DATE
1/20/2023

SHEET NUMBER
C3.0

SOIL EROSION & SEDIMENTATION CONTROL NOTES

1. ALL CONSTRUCTION METHODS SHALL BE DONE IN COMPLIANCE WITH MDOT-EGLE. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING A "SOIL EROSION PERMIT" FROM THE COUNTY AND A "PERMIT BY RULE/NOTICE OF COVERAGE" FROM EGLE, IF APPLICABLE, PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL REQUIREMENTS OF THE COUNTY "SOIL EROSION PERMIT" AND FOR ALL CERTIFIED STORM WATER INSPECTION SERVICE REQUIRED BY THE "PERMIT BY RULE." EROSION CONTROL MEASURES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS AND SHALL NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR PROVIDING ALL REQUIRED EROSION CONTROL MEASURES.

2. AVOID UNNECESSARY DISTURBING OR REMOVING OF EXISTING VEGETATED TOPSOIL OR EARTH COVER, THESE COVER AREAS ACT AS SEDIMENT FILTERS.

3. ALL TEMPORARY SOIL EROSION PROTECTION SHALL REMAIN IN PLACE UNTIL REMOVAL IS REQUIRED FOR FINAL CLEAN UP AND APPROVAL.

4. GEOTEXTILE SILT FENCE SHALL BE INSTALLED AS REQUIRED WHEN CROSSING CREEKS OR WHEN ADJACENT TO WETLANDS OR SURFACE WATER BODIES TO PREVENT SILTATION AND ELSEWHERE AS DIRECTED BY THE ENGINEER. SEEDING AND/OR SODDING SHALL BE INSTALLED ON CREEK BANKS IMMEDIATELY AFTER CONSTRUCTION TO PREVENT EROSION.

5. MAINTENANCE, CLEANING, AND REMOVAL OF THE VARIOUS SEDIMENT CONTROL MEASURES SHALL BE INCLUDED IN THE VARIOUS EROSION CONTROL ITEMS.

(# #) NUMBER IN CIRCLE REFERS TO NUMBERED DETAILS ON MDOT STANDARD PLAN R-96-D, SOIL EROSION & SEDIMENTATION CONTROL MEASURES. "P" DENOTES PERMANENT MEASURE AND "T" DENOTES TEMPORARY MEASURE. SOIL EROSION CONTROL PLANS DENOTE MINIMUM EROSION MEASURES REQUIRED AS DESCRIBED BELOW.

(3P) DENOTES PERMANENT SEEDING. ALL DISTURBED AREAS NOT PAVED OR GRAVELED SHALL BE RESTORED. PLACE TOPSOIL SURFACE, SALV, 3 INCH, MDOT SEEDING, MIXTURE TUF APPLIED AT A RATE OF 220 LB/ACRE, FERTILIZER, CHEMICAL NUTRIENT, CL A APPLIED AT A RATE OF 228 LB/ACRE; MULCH AT A RATE OF 2 TON/ACRE AND MULCH ANCHORING. (APPLIES TO ENTIRE PROJECT)

(3T) DENOTES TEMPORARY SEEDING. TEMPORARY SEEDING SHALL BE PLACED AT LOCATIONS DETERMINED BY THE ENGINEER IN THE FIELD AND SHALL INCLUDE CEREAL RYE SEED APPLIED AT A RATE OF 70 LB/ACRE AND MULCH.

(4T) DENOTES DUST CONTROL. DUST CONTROL MAY BE REQUIRED ON THE SUBGRADE CONSTRUCTION AND WILL INCLUDE APPLYING FRESH WATER TO BE INCLUDED IN THE ITEM OF EMBANKMENT. DUST CONTROL ON THE AGGREGATE BASE COURSE WILL BE ACCOMPLISHED BY APPLYING FRESH WATER (INCLUDED IN THE ITEM OF AGGREGATE BASE, 6 INCH) AND APPLYING DUST PALLIATIVE, APPLIED, $CACL_2$ (TON) AS DIRECTED BY THE PROJECT ENGINEER.

(8P) DENOTES AGGREGATE COVER/PERMANENT PAVEMENT RESTORATION

(14T) DENOTES GRAVEL ACCESS APPROACH. APPROACH SHALL BE INSTALLED TO PROVIDE STABLE ACCESS TO ROADWAYS AND MINIMIZE DUST AND TRACKING OF MATERIALS ONTO PUBLIC STREETS AND HIGHWAYS. THE APPROACH SHALL BE A MINIMUM OF 12' WIDE, 6' DEEP, AND CONSIST OF 2"-4" AGGREGATE

(26T) DENOTES TEMPORARY SILT FENCE. SILT FENCE SHALL BE INSTALLED AT CREEK CROSSINGS, ADJACENT TO ALL WETLANDS AND SURFACE WATERS, AND OTHER LOCATIONS AS DIRECTED BY THE ENGINEER. EACH SILT FENCE SHALL BE INSTALLED GENERALLY ALONG THE SAME CONTOUR ELEVATION.

(29T) DENOTES INLET PROTECTION FABRIC DROP. SHALL BE INSTALLED AT EXISTING AND PROPOSED STORM SEWER INLETS TO PROVIDE SETTLING AND FILTERING OF SILT LADEN WATER PRIOR TO ENTRY INTO THE DRAINAGE SYSTEM.

(33T) DENOTES MULCH BLANKET OR MATTING. SHALL BE NORTH AMERICAN GREEN DS150, OR APPROVED EQUAL. MULCH BLANKETS SHALL BE PLACED ON ALL 1:3 SLOPES OR GREATER, IN AND AROUND DITCH BOTTOMS WHERE THERE IS NO BIOSWALE BY CONTRACTOR RESPONSIBLE FOR RESTORING THAT AREA.

GRADING NOTES

1. ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT TIME OF CONSTRUCTION.

2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, PERMIT COSTS, TAP FEES, METER DEPOSITS, PERMANENT UTILITY APPLICATIONS, BONDS, AND OTHER FEES REQUIRED FOR PROPOSED WORK. THIS SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO THOSE REQUIRED BY THE MICHIGAN DEPARTMENT OF TRANSPORTATION.

3. CONTACT "MISS DIG" AT 1-800-482-7171 FOR LOCATION OF UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS BEFORE COMMENCING EXCAVATION WORK. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO ARE NOT PART OF THE "811" ALERT SYSTEM. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.

4. DEMOLISH & REMOVE ALL EXISTING SITE FEATURES AS REQUIRED.

5. MATCH EXISTING GRADES AROUND PERIMETER WITH SLOPES AS SHOWN.

6. ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT GRADES AT EDGE OF METAL (EOM) UNLESS OTHERWISE NOTED.

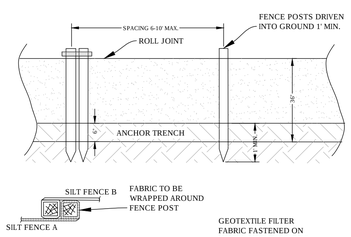
7. ALL SOIL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO MASS GRADING.

8. ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS AND GEOTECHNICAL REPORT.

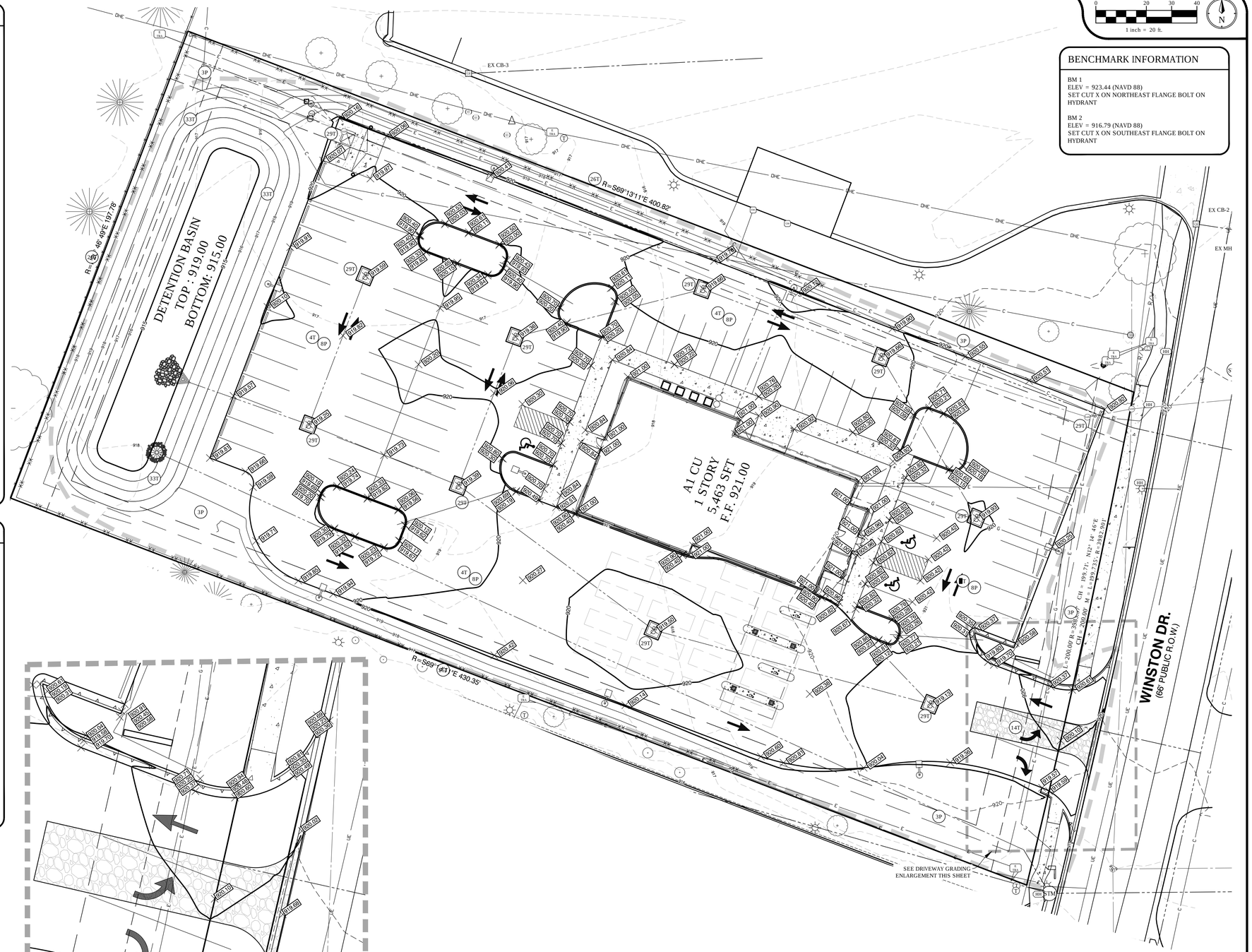
9. ALL EXISTING ELEVATIONS ARE TO BE VERIFIED AND ACCEPTED AS SHOWN PRIOR TO COMMENCEMENT OF WORK.

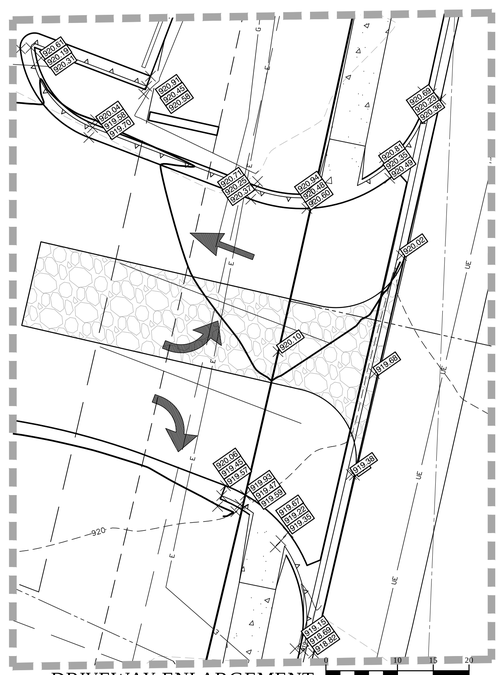
10. CONTRACTOR SHALL TAKE PRECAUTIONS TO AVOID TRACKING SOIL ONTO ADJACENT ROADWAYS. CONTRACTOR SHALL SWEEP IMMEDIATELY IF OCCURS.

11. ANY DISTURBED AREA WHICH WILL BE LEFT UNWORKED 15 DAYS OR LONGER MUST BE SEEDED TO ESTABLISH VEGETATION FOR TEMPORARY STABILIZATION. BASINS TO BE SEEDED AND MULCH BLANKETS APPLIED IMMEDIATELY TO PROVIDE A STABLE BASE AND AVOID EXCESSIVE EROSION.



A 36" SILT FENCE DETAIL
C4.0 - 130104 NOT TO SCALE





DRIVEWAY ENLARGEMENT
1 inch = 10 ft.

0 20 30 40
1 inch = 20 ft.

BENCHMARK INFORMATION

BM 1
ELEV = 923.44 (NAVD 88)
SET CUT X ON NORTHEAST FLANGE BOLT ON HYDRANT

BM 2
ELEV = 916.79 (NAVD 88)
SET CUT X ON SOUTHEAST FLANGE BOLT ON HYDRANT

LEGEND

LIMITS OF CONSTRUCTION
SILT FENCE

811 Know what's below. Call before you dig.

ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA. FIELD WORK PERFORMED BY: AR ENGINEERING

PLANS PREPARED BY:

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STATE OF MICHIGAN
ANDREW SHEA ROSSELL
ENGINEER
No. 6201056221
LICENSED PROFESSIONAL ENGINEER

ANDREW ROSSELL, P.E.
No. 6201056221

No.	ISSUED FOR:	DATE	BY
0	SITE PLAN APPROVAL	1/20/2023	SAP
1	.	.	.
2	.	.	.
3	.	.	.
4	.	.	.

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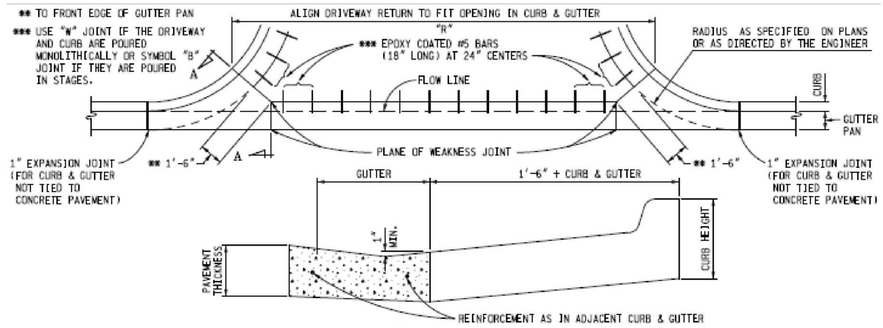
SHEET TITLE: GRADING & SESC PLAN
PROJECT: MARSHALL AMERICAN 1 CU
CLIENT: COVALLE GROUP ARCHITECTS
SITE ADDRESS: 106 WINSTON DRIVE
SITE SECTION: SECTION 27, T02S, R05W

JOB NUMBER
22089008

DATE
1/20/2023

SHEET NUMBER
C4.0



SECTION A - A

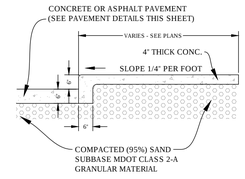
CONCRETE DRIVEWAY OPENING, DETAIL M

NOTE:
FOR ROADWAYS WITH CONCRETE PAVEMENTS, LONGITUDINAL LANE TIES WILL BE CONTINUOUS THROUGH THE DRIVEWAY OPENING AND THE SPACING OF THE #5 BARS IN CONCRETE DRIVEWAYS SHALL BE ADJUSTED TO AVOID CONFLICT WITH THE LONGITUDINAL LANE TIES.

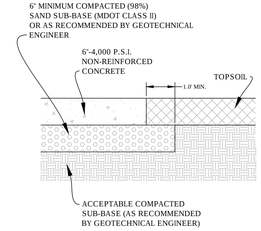
MICHIGAN DEPARTMENT OF TRANSPORTATION
BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR

DRIVEWAY OPENINGS & APPROACHES, AND CONCRETE SIDEWALK

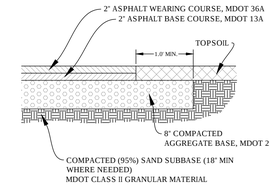
1-25-2013	10-1-2012	R-29-H	SHEET
F.H.W.A. APPROVAL	PLAN DATE		2 OF 4



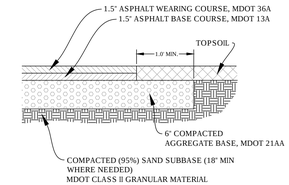
RAISED WALK SECTION
C5.0 - 030303 NOT TO SCALE



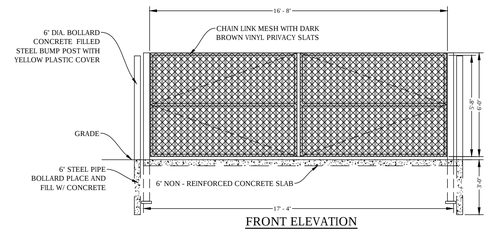
CONC. PAVEMENT SECTION
C5.0 - 030402 NOT TO SCALE



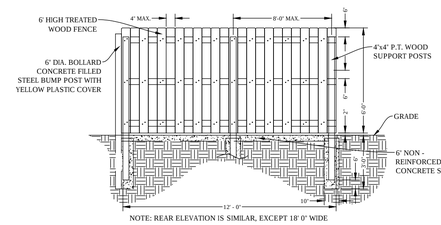
HEAVY DUTY ASPHALT SECTION
C5.0 - 030401 NOT TO SCALE



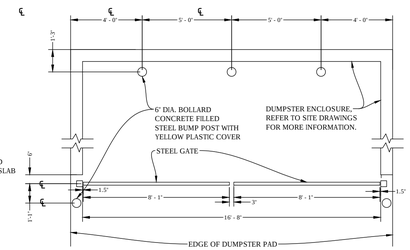
LIGHT DUTY ASPHALT SECTION
C5.0 - 030401 NOT TO SCALE



FRONT ELEVATION



SIDE ELEVATION



PLAN VIEW

DUMPSTER ENCLOSURE DETAIL
C5.0 NOT TO SCALE

LEGEND

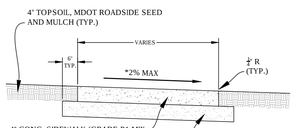
- C = EXISTING CABLE
- E = EXISTING ELECTRIC LINE
- OHE = EXISTING ELECTRIC LINE (OVERHEAD)
- FO = EXISTING FIBER OPTIC LINE
- G = EXISTING GAS LINE
- T = EXISTING TELEPHONE LINE
- OHU = EXISTING UTILITY LINE (OVERHEAD)
- = EXISTING FENCE
- = EXISTING FORCEMAIN
- = EXISTING GUARDRAIL
- = EXISTING SANITARY SEWER
- = EXISTING STORM SEWER
- = EXISTING TREE LINE
- = EXISTING WATER MAIN
- = TO BE ABANDONED
- = PROPOSED DITCH LINE
- = PROPOSED ELECTRIC LINE
- = PROPOSED FENCE
- = PROPOSED FORCEMAIN
- = PROPOSED GAS LINE
- = PROPOSED GUARDRAIL
- = PROPOSED SANITARY SEWER
- = PROPOSED STORM SEWER
- = PROPOSED TELEPHONE LINE
- = PROPOSED WATER MAIN
- = PROPOSED WATER MAIN OTHER MATERIAL
- = EXISTING CENTER LINE
- = PROPOSED CENTER LINE
- = EASEMENT LINE/GRADING PERMIT
- = GRADING LIMITS/LIMITS OF DISTURBANCE
- = EXISTING MAJOR TOPO LINE
- = EXISTING MINOR TOPO LINE
- = PROPOSED MAJOR TOPO LINE
- = PROPOSED MINOR TOPO LINE
- = PROPERTY LINE
- = RIGHT-OF-WAY LINE
- = SECTION LINE

- = ANTENNA
- = CATCH BASIN
- = CABLE RISER BOX
- CO = CLEAN OUT
- = CURB INLET
- E = ELECTRIC MANHOLE
- RP = ELECTRIC RED PAINT
- = FIRE HYDRANT
- = FOUND IRON PIPE
- GP = GAS MARKER FLAG
- = GAS VALVE
- YP = GAS YELLOW PAINT
- = GUY ANCHOR
- I&E = INGRESS & EGRESS
- = LIGHT POLE
- = MAILBOX
- MW = MONITORING WELL
- = POST
- = SATELLITE DISH
- SA = SANITARY MANHOLE
- = SECTION CORNER
- = SIGN
- = PAVEMENT/SOIL BORING
- = PROPOSED HYDRANT
- = PROPOSED GATE VALVE & BOX
- = PROPOSED GATE VALVE & VAULT
- = PROPOSED REDUCER
- = PROPOSED SANITARY MANHOLE
- = PROPOSED STORM MANHOLE
- ST = STORM MANHOLE
- T = TELEPHONE MANHOLE
- TP = TELEPHONE MARKER FLAG
- OP = TELEPHONE ORANGE PAINT
- = TELEPHONE RISER BOX
- = TURNING POINT/TRAVERSE
- = UTILITY POLE
- VLT = VAULT
- = WATER ELEVATION
- W = WATER MANHOLE
- WM = WATER METER
- BP = WATER BLUE PAINT
- = WATER VALVE
- = WATER SPIGOT
- = WELL

TREE DESIGNATORS

- = BUSH
- = CONIFEROUS TREE
- = CONIFEROUS TREE REMOVED
- = DECIDUOUS TREE
- = DECIDUOUS TREE REMOVED
- = STUMP

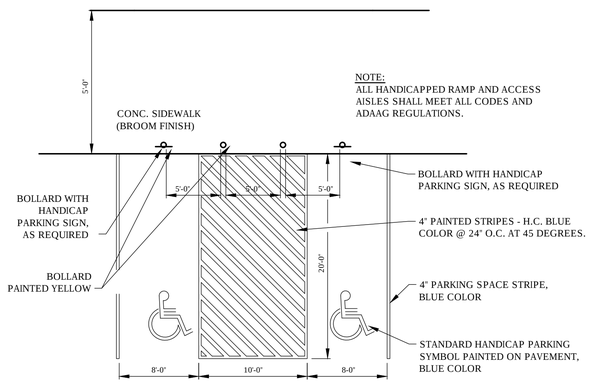
AP	= APPLE
AB	= ARBORVITAE
AS	= ASH
BA	= BASSWOOD
BI	= BIRCH
BO	= BOX ELDER
CA	= CATALPA
CH	= CHERRY
CW	= COTTONWOOD
EL	= ELM
LO	= LOCUST
MA	= MAPLE
MU	= MULBERRY
OA	= OAK
PR	= PEAR
SP	= SPRUCE
TW	= TWIN
WA	= WALNUT
WL	= WILLOW



*TRANSVERSE SIDEWALK SLOPES ARE TYPICALLY 1.5% OR 2% MAXIMUM. IN ORDER TO MEET SITE CONDITIONS, IF THE TRANSVERSE SLOPE IS REQUIRED TO BE LESS THAN 1.5%, LONGITUDINAL DRAINAGE MUST BE PROVIDED.

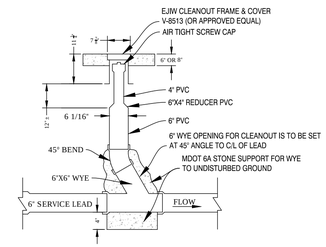
REFER TO MDOT STANDARD PLAN R-29-I
(DRIVEWAY OPENINGS & APPROACHES, AND CONCRETE SIDEWALK)

5' WIDE SIDEWALK SECTION
C5.0 - 030301 NOT TO SCALE

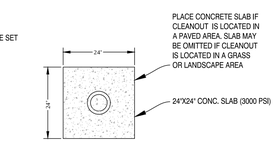


NOTE:
ALL HANDICAPPED RAMP AND ACCESS AISLES SHALL MEET ALL CODES AND ADAAG REGULATIONS.

HANDICAP PARKING DETAIL
C5.0 - 040902 NOT TO SCALE

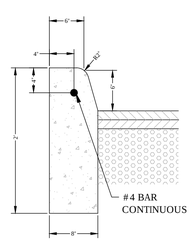


ELEVATION

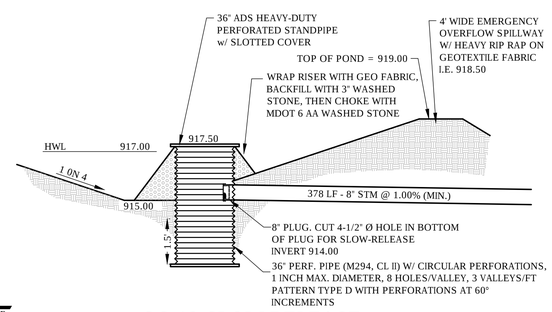


TOP VIEW

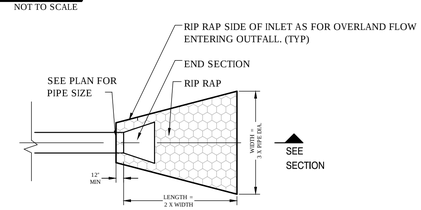
SANITARY SEWER CLEANOUT DETAIL
C5.0 - 090109 NOT TO SCALE



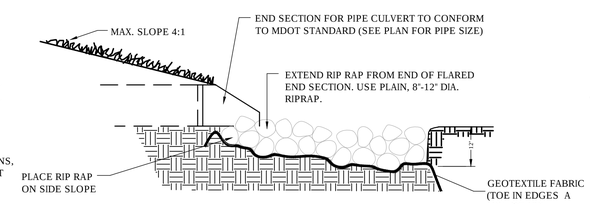
"E2" CURB DETAIL
C5.0 - 030111 NOT TO SCALE



OS-12 SLOW RELEASE AND POND CROSS SECTION
C5.0 NOT TO SCALE

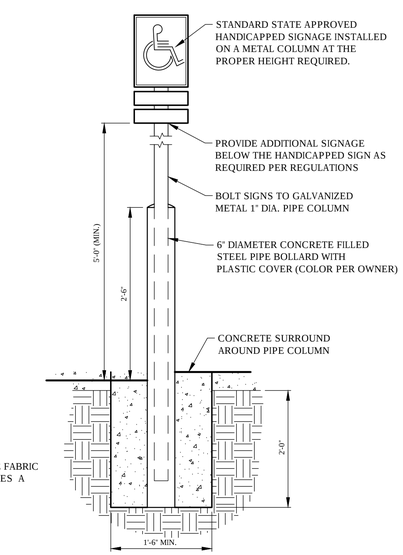


PLAN



SECTION

PIPE CULVERT WITH FLARED END SECTION DETAIL
C5.0 - 050002 NOT TO SCALE



HANDICAP PARKING SIGN DETAIL
C5.0 - 090102 NOT TO SCALE

PLANS PREPARED BY:

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ENGINEER
No. 6201056221
LICENSED PROFESSIONAL ENGINEER

ANDREW ROSSELL, P.E.
No. 6201056221

No.	ISSUED FOR:	DATE	BY
0	SITE PLAN APPROVAL	1/20/2023	SAP
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SHEET TITLE: DETAILS
PROJECT: MARSHALL AMERICAN 1 CU
CLIENT: COVALLE GROUP ARCHITECTS
SITE ADDRESS: 106 WINSTON DRIVE
SITE SECTION: SECTION 27, T02S, R05W

JOB NUMBER
22089008

DATE
1/20/2023

SHEET NUMBER
C5.0

LANDSCAPING NOTES

1. INSTALL CONSTRUCTION FENCE AROUND DRIP LINES OF EXISTING TREES TO REMAIN. NO COMPACTION OR INCREASED DEPTH OF SOIL OVER THE ROOT SYSTEM AREA PRIOR TO AND DURING CONSTRUCTION.
2. ALL LAWN AREAS SHALL BE SEEDED AND MULCHED WITH THE FOLLOWING MIXTURE: 20% IMPROVED PERENNIAL RYEGRASS, 40% FINE FESCUE, AND 40% KENTUCKY BLUEGRASS AT A RATE OF 3-4 LBS/ 1000 SFT.
3. ALL EDGING SHALL BE STANDARD COMMERCIAL-STEEL EDGING 3/16" X 4", ROLLED EDGE, FABRICATED IN SECTIONS OF STANDARD LENGTHS, WITH LOOPS STAMPED FROM OR WELDED TO FACE OF SECTIONS TO RECEIVE STAKES IN STANDARD FINISH OF GREEN PAINT.
4. PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF EXTERIOR PLANTS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS IN ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK." MEASURE ACCORDING TO ANSI Z60.1 STANDARDS.
5. MAINTAIN AND ESTABLISH LAWN BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, REPLANTING, AND OTHER OPERATIONS. ROLL, REGRADE, AND REPLANT BARE OR ERODED AREAS AND REMULCH TO PRODUCE A UNIFORMLY SMOOTH LAWN.
6. BEGIN LAWN MAINTENANCE IMMEDIATELY AFTER EACH AREA IS PLANTED AND CONTINUE UNTIL ACCEPTABLE LAWN IS ESTABLISHED: A MINIMUM OF 60 DAYS AFTER SUBSTANTIAL COMPLETION.
7. PROTECT ADJACENT AND ADJOINING STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND PLANTINGS FROM HYDROSEEDING OVER-SPRAY AND DAMAGE CAUSED BY PLANTING OPERATIONS.
8. REMOVE STONES LARGER THAN 1" IN ANY DIMENSION AND STICK, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER FROM SITE.
9. MAINTAIN LAWN UNTIL A HEALTHY, UNIFORM, CLOSE STAND OF GRASS HAS BEEN ESTABLISHED, FREE OF WEEDS AND SURFACE IRREGULARITIES, WITH COVERAGE EXCEEDING 90% OVER ANY 10 SFT AND BARE SPOTS DO NOT EXCEED 5 BY 5 INCHES.
10. MAINTAIN TREES AND SHRUBS FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, RESTORING PLANTING SAUCERS, TIGHTENING AND REPAIRING STAKES AND GUY SUPPORTS, AND RESETTING TO PROPER GRADES OR VERTICAL POSITION, AS REQUIRED TO ESTABLISH HEALTHY VIABLE PLANTINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.
11. REMOVE AND REPLACE DEAD PLANTS IMMEDIATELY. REPLACE PLANTS THAT ARE MORE THAN 25% DEAD OR IN AN UNHEALTHY CONDITION AT END OF WARRANTY PERIOD. A LIMIT OF ONE REPLACEMENT OF EACH PLANT WILL BE REQUIRED, EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE TO COMPLY WITH REQUIREMENTS.
12. TREES, AND SHRUBS SHALL BE WARRANTED FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.

LEGEND

- 1 / Xx — NUMBER AND TYPE OF PLANTS TO BE PROVIDED AND INSTALLED
- PROPOSED DECIDUOUS TREE
- PROPOSED SHRUB DECIDUOUS/ EVERGREEN
- HYDROSEED LAWN WITH IRRIGATION ON 4" TOPSOIL
- PERENNIAL RYE GRASS WITHOUT IRRIGATION ON 4" TOPSOIL
- HARDWOOD MULCH

ALL PLANTINGS AND LANDSCAPED BEDS REQUIRE IRRIGATION – EITHER DRIP LINE OR MISTERS AS REQUIRED TO ESTABLISH GROWTH AND MAINTAIN HEALTH OF ALL PLANTINGS/LANDSCAPED BEDS.

LANDSCAPING CONTRACTOR RESPONSIBLE FOR TOUCHING-UP AND FINISH-LEVELING OF TOPSOIL AS NECESSARY TO ENSURE HYDROSEED AND SOD ARE INSTALLED ON A SMOOTH AND LEVEL SURFACE FREE OF CLUMPS, STICKS, HOLES, ETC.

LANDSCAPING NOTES

REQUIRED LANDSCAPING
INTERIOR LANDSCAPING:
- 5% OF THE TOTAL LOT AREA
  - 81,892 SFT * 0.05 = 4,094 SFT
- ONE DECIDUOUS TREE FOR EVERY 400 SFT OF REQUIRED INTERIOR LANDSCAPING
  - 4,094 / 400 = 10 TREES
- ONE SHRUB FOR EVERY 250 SFT OF REQUIRED INTERIOR LANDSCAPING AREA
  - 4,094 / 250 = 16 SHRUBS

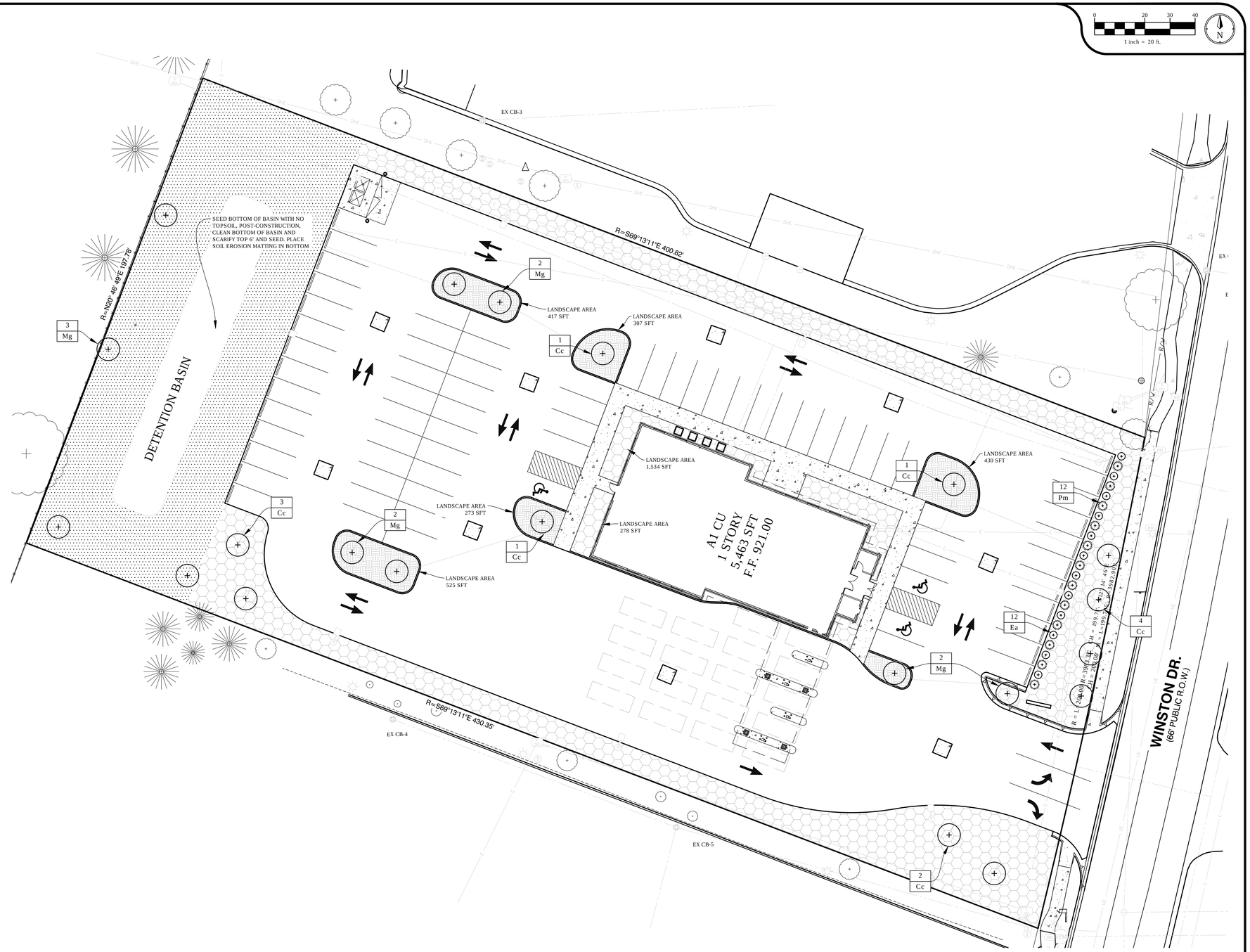
PARKING LOT LANDSCAPING
PERIMETER SCREENING
- OFF STREET PARKING SHALL BE EFFECTIVELY SCREENED ON ANY SIDE THAT ADJOINS OR FACES A RESIDENTIAL OR STREET RIGHT OF WAY

LANDSCAPING WITHIN PARKING LOTS
- LANDSCAPING ISLANDS SHALL BE REQUIRED AT THE END OF ANY ROW OF PARKING.
- 20 SFT OF LANDSCAPE PER PARKING SPACE
  - 72 PARKING SPACES * 20 = 1,440 SFT OF LANDSCAPE ISLANDS
- LANDSCAPING ISLANDS SHALL HAVE A MINIMUM WIDTH OF 10 FEET AND A MINIMUM AREA OF 180 SFT AND SHALL BE TWO FEET SHORTER THAN ANY ADJACENT PARKING SPACE
- A MINIMUM OF ONE DECIDUOUS TREE SHALL BE PROVIDED WITHIN THE BOUNDS OF THE PARKING LOT FOR EVERY 10 PARKING SPACES
  - 72 PARKING SPACES / 10 = 7 TREES

GREENBELT
- MINIMUM GREENBELT WIDTH OF 10'

STREET FRONTAGE
- AT LEAST ONE DECIDUOUS TREE AND FOUR SHRUBS PER 40 LINEAL FEET OF STREET FRONTAGE
  - 164 LFT OF FRONTAGE
  - 164 / 40 = 4.1 = 4 TREES
  - 164 / 40 = 16 SHRUBS

PARKING LOT SCREENING
- ALL PARKING LOTS SHALL BE SEPARATED FROM A PUBLIC THOROUGHFARE WITH A PLANTED HEDGEROW OR DECORATIVE MASONRY WALL WITH PLANTING STRIP OR BERM A MINIMUM OF (30) INCHES HIGH.



Tree Planting Schedule					
Symbol	Latin Name	Common Name	Size	Container Type	Comments
Cc	Cercis canadensis	Redbud Tree	2.5" Cal.	B&B	
Mg	Magnolia grandiflora	Magnolia	6' Ht.	B&B	

Shrub Planting Schedule					
Symbol	Latin Name	Common Name	Size	Container Type	Comments
Ea	Euonymus alatus 'Compactus'	Compact Burning Bush	24" Ht.	3-5 gallon cont.	3' O.C.
Pm	Pinus mugo	Mungo Pine	24" Ht.	B&B or Cont.	3' O.C.

811 Know what's below. Call before you dig.

ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA. FIELD WORK PERFORMED BY: AR ENGINEERING

PLANS PREPARED BY:
AR ENGINEERING
CIVIL ENGINEERING & SURVEYING
MICHIGAN | INDIANA | ILLINOIS | OHIO
269.250.5991 PHONE | 866.569.0604 FAX
www.arengineeringllc.com

DRAWN:	ck/sap
CHECKED:	ASR

STATE OF MICHIGAN
ANDREW SHEA ROSSELL
ENGINEER
No. 6201056221
LICENSED PROFESSIONAL ENGINEER

ANDREW ROSSELL, P.E.
No. 6201056221

ISSUED FOR:

No.		DATE	BY
0	SITE PLAN APPROVAL	1/20/2023	SAP
1	.	.	.
2	.	.	.
3	.	.	.
4	.	.	.

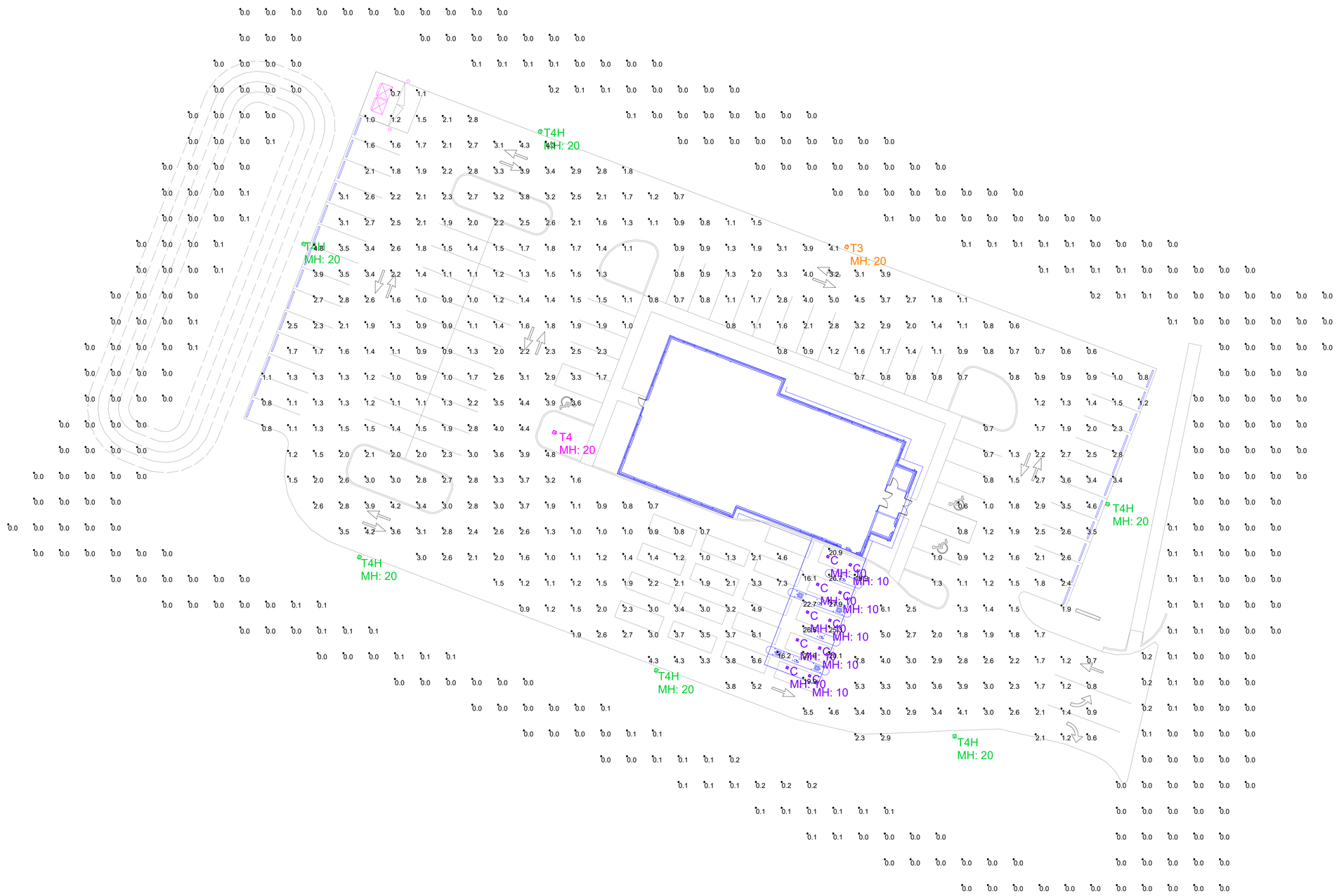
REPRODUCTION, COPYING OR OTHER USE OF THIS DRAWING WITHOUT WRITTEN CONSENT IS PROHIBITED © AR ENGINEERING - 2023

SHEET TITLE: LANDSCAPE PLAN
PROJECT: MARSHALL AMERICAN 1 CU
CLIENT: COVALLE GROUP ARCHITECTS
SITE ADDRESS: 106 WINSTON DRIVE
SITE SECTION: SECTION 27, T02S, R05W

JOB NUMBER
22089008

DATE
1/20/2023

SHEET NUMBER
L1.0



PHOTOMETRIC PLAN

SCALE: NTS

Filename: S:\GRAND RAPIDS\Layouts\Brian Lock\A1CU MARSHALL\A1CU LIGHTING.AGI

Crites, Tidey, & Assoc., Inc
908C West River Center Dr
Comstock Park MI 49321
PH: 616-647-2400
www.critestidey.com

PHOTOMETRIC EVALUATION
NOT FOR CONSTRUCTION

Based on the information provided, all dimensions and luminaire locations represent a recommended application. The engineer and/or architect must determine the applicability of the layout regarding existing or future field conditions.

This lighting layout represents illumination levels calculated using laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved method. Actual performance of a manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in LEDs, and other field conditions. Calculations may not include obstructions such as buildings, curbs, landscaping, or other architectural elements. Fixture nomenclature may not include mounting hardware or poles. This layout is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

DESIGNED FOR:

COVALLE GROUP ARCHITECTS | PLLC

A1CU - MARSHALL

ADDRESS

SALES
B LOCK

DATE
1.18.2023

DESIGNER
JEN YONKERS

REVISIONS

DATE	NAME
XX	XX

SHEET
1

TO: Marshall Planning Commission

FROM: Eric Zuzga, Director of Community Services

DATE: February 3, 2023

SUBJECT: The Millhaven Site Plan

Case #: SP#23.02
Address: 211 West Spruce Street
Parcel #: 53-024-703-00
Zoning District: Regional Commercial (B-4)
Surrounding Zoning: B-4

City staff have been working with Jennifer Ederer, property owner/lease, and Cody Newman, Driven Design, on the proposed redevelopment of the former Oerther's facility. The facility will see the redevelopment of the former storage building/pickle factory at 211 West Spruce Street into a wedding/event venue. The existing building will be renovated and an 800 square foot addition that contains restrooms and a warming kitchen.

The site is adjacent to two other properties that Ms. Ederer owns or leases and has future plans. These sites are not included in this development and will be considered at a future date. The enclosed site plan also includes plans for the County Parking lot and 317 South Grand Street. These properties are only included as they are being used to defer parking on the 211 West Spruce site. We are not requiring any additional work on these properties.

Dimensional Requirements (Setback, lot coverage, etc)
Upon review of the plans, the project meets all dimensional requirements required in the B-4 District. The building will not exceed the 35' height requirement in the district.

Parking Requirements
The proposed use of the space requires 112 parking spaces, with five required to meet ADA Barrier-free requirements. This requirement will be met through the addition of five spots on the property, the use of the County parking lot, and the parking lot at 317 South Grand Street. The zoning ordinance allows for the collective use of parking in this manner. An agreement with the county and the lease for the grand street property are in the process of being submitted for our files. If either property is not available in the future, parking will need to be added on the property.

Landscape Plan
The landscape plan was stamped and submitted by Tim Banfield, a registered Landscape Architect in the State of Michigan. Review by staff indicates that the proposed plan meets the requirements of the ordinance.

The area inside the fence at the rear of the existing building will serve as the site for wedding ceremonies and will receive an upgrade as gardens will be planted in this area. Although it is not required to be submitting for the landscape plan, it will be a major improvement for the site.

Sidewalks
The project will need to add crosswalks at the intersection of Grand and Spruce streets to ensure that those customers using the off-site parking lots are able to safely access the venue. The property owner is requesting the waiver of sidewalks to the Spruce Street ROW between the venue and Eagle Street. Staff believes that this is a reasonable request and recommends that the Planning Commission approve this waiver.

Exterior Lighting
The required lighting/photometric plan was not included in the submitted plan. Staff expects to receive the plan on 2/6 and will update this report and submit to the Planning Commission at the meeting on 2/8.

Development Review Team
On February 3, 2023, the City Development Review Team met to consider the proposed site plan. The following items were provided during the review:

1. Knox boxes are required at each building to ensure Fire Department access in case of an emergency. Must be located outside of the fence at 311 West Spruce building.
2. Agreement with the county and lease for the 317 South Grand Street facility need to be submitted.
3. Due to use of county parking lot and 317 South Grand Street, crosswalks will need to be installed at intersection of South Grand and West Spruce Street.
4. Please show sidewalks to venue entrance(s) on site plan.
5. Installation of 4” fire suppression line must be coordinated with the Water Department.
6. Storm Sewer review is under review by Public Services Dept. Roof storm drain and parking lot runoff must be contained on site.
7. Trash container was not identified on the site plan. This information needs to be provided and must meet the Zoning ordinance and other city ordinances.
8. Electrical needs for new facility must be communicated with City Electric Department as soon as possible.
9. Sidewalk installation along West Spruce is required by ordinance. Request a waiver from planning commission if owner does not want to install.

10. Tap fee invoice for water and sewer connection will be forwarded soon.
11. If you want a separate fiber connection to new building, contact the FiberNet Department as soon as possible. If extending connection off of the existing service, no need to contact.
12. ADA Parking- 5 ADA spaces are required for this project. Please add another space to site to ensure that all required ADA spaces are provided on site. Understand that other sites provide ADA, but demand should be provided on the main site.
13. Landscape plan still to be submitted. Submitted on 2/4
14. Lighting plan was not evident. Will be submitted on 2/6

PLANNING COMMISSION CONSIDERATIONS

Staff have reviewed the site plan based on the requirements of the B-4 Zoning District and related sections of the zoning ordinance. As part of our review, we evaluated the proposed facility through following standards that the Planning Commission will use in the process of reviewing any site plan for approval:

1. Adequacy of information. The site plan information is complete, accurate, and in an understandable form that accurate depicts and describes the proposed development.

The site plan submitted was mostly complete and accurate. The few missing pieces have been requested, but staff do not think this will provide a major impact on our recommendation.

2. Site appearance and preservation. The site layout promotes the normal and orderly development of surrounding lots, and the development layout preserves, to the extent feasible, the site's natural, cultural, and historical features, such as but not limited to significant buildings, wetlands, topography, and woodlands.

The proposed project maintains and improves a historic structure on the site. The proposed use will bring a large aesthetic improvement to the site and neighborhood. Although not included in this project, this redevelopment assists in maintaining the historic mill structure on the adjoining property.

3. Pedestrian access. Existing and proposed sidewalks or pedestrian pathways connect to existing and planned public sidewalks and pathways in the area, and comply with applicable barrier-free access standards.

With the required improvements to Grand and Spruce street intersection, the area will become more pedestrian friendly and will connect the site to the Grand Street sidewalk system, which adds a tie to the area to the downtown.

4. Vehicular circulation. Drives, streets, parking, site access and other vehicle-related elements are designed to minimize traffic conflicts on adjacent streets, and to promote safe and efficient traffic circulation.

The venue's use of the parking lots in the area encourages use of elements that are exist in a safe and efficient traffic circulation. The venue has indicated that it will provide valet service as well.

5. Parking and loading. Off-street parking lots and loading areas are arranged and located to accommodate the intensity of proposed uses, minimize conflicts with adjacent uses, and promote shared-use of common facilities where feasible.

The use of common facilities in the neighborhood will minimize conflict and is a efficient use of land. The site will contain the necessary ADA spaces for its customers.

6. Building composition. Building design and architecture are harmonious with the surrounding neighborhood with regard to scale, mass, proportion, and materials.

The existing building will be improved which has existed on the site for many decades. The addition is reasonable in regards to scale and mass on the site.

7. Screening. Adequate screening elements have been provided to buffer or separate unlike or conflicting land uses, and to screen off-street parking, mechanical appurtenances, loading and unloading areas and storage areas from abutting residential districts and street rights-of-way.

The landscaping proposed provides the required screening from the ROW and will dramatically improve the aesthetics in the area. This is the first step toward improving the site.

8. Exterior lighting. All exterior lighting fixtures are designed and arranged to minimize glare and light trespass, prevent vision impairments, and maximize security.

To be determined.

9. Impact upon public services. The impact upon public services (including utilities, streets, police and fire protection, emergency access, and public sidewalks and pathways) will not exceed the existing or planned capacity of such services.

The Development Review team reviewed the plans and determined that the city has the capacity to provide service to the site.

Recommendation
Staff recommends approval of the site plan for The Millhaven at 211 West Spruce Street.

City of Marshall
Application for Site Plan Review

Attn: Planning and Zoning Administrator
323 W Michigan Ave.
Marshall, Michigan, 49068

The following application is made to the City of Marshall Planning Commission in accordance with the provisions of the Planning and Zoning Department.

1. Applicant Information

Address of property being developed:

211 W Spruce St Marshall, MI 49068

Owner of property being developed:

Jennifer Ederer

Owner's Address:

Marshall	MI	49068
City	State	Zip

Owner's Phone Number:

616-540-8267

2. Owner's Agent if working for property owner.

Name and Title:

Tyler Cravens, PE

Address:

Delton	MI	49046
City	State	Zip

Phone Number:

269-364-5626

City of Marshall
Application for Site Plan Review

3. Brief description of proposed project

Construction of building addition to existing building on site, with corresponding parking, storm water management, and utilities.

4. Property Information

Is this property located in a floodplain?	No
Is this property located in a wetland?	No
Land area in square feet?	211,266
Proposed building area in square feet?	800
Proposed paved area in square feet?	8,058
Existing paved area in square feet?	3,712
Lake or stream within 500 feet?	No
Any other agencies contacted for approvals?	No

If so, please list:

City of Marshall
Application for Site Plan Review

5. Authorization (Must be signed by the owner of the property)

I am the owner of record for this property for which this application is being filed and as such, I am familiar with the development being proposed to be carried out on my property.

I hereby, give permission for this application to be filed with the full understanding that certain restriction may be placed on the property relative to the approval of the proposed work.

I further certify that under penalties of perjury, I am to sign this application.

Name (Please Print) Jennifer Ederer

Title: Leasee Date: 01/24/2023

Signature:

Note: If there are multiple owners of the property or you are representing a group, corporation, or other organization attach a copy of a certified letter authorizing you to sign this application for the proposed development.

LAND USE AND DEVELOPMENT FEES	
PLATS	
Up to 30 Lots	$550.00
Over 30 Lots	$750.00
SITE CONDOMINIMUMS	
Up to 30 Lots	$450.00
Over 30 Lots	$650.00
SITE PLANS	
Commercial and	$350.00 < 30 acres
I	
Special Land Use	$400.00
Planned Unit Development	$500.00
Amend a PUD	$150.00
Multiple Family Developments (Apartment &	$50 plus $5.00 per unit or lot
Additions to existing Site Plans if Planning Commission Review is required	$100.00
Extending Site Plan with Planning Commission	$150.00

CITY OF MARSHALL

City of Marshall
Grease Discharge Control Policy

All non-residential establishments that prepare, cook, or dispense food and discharge wastewater to the City of Marshall sanitary sewer system, are required to install and maintain an appropriately sized grease trap/grease interceptor. These establishments include but are not limited to restaurants, school kitchens, hotel kitchens, hospitals, church kitchens, bars, clubs, grocery stores, etc.

The City of Marshall Sewer Use Ordinance prohibits the discharge of grease in amounts that could cause interference or obstruction of wastewater flow. The Sewer Use Ordinance establishes the City's authority to enforce this policy and to impose fines and penalties for non-compliance, and to recover costs associated with enforcement & non -compliance.

Owners are required to contract a licensed plumber to install a properly sized grease trap/interceptor in accordance with the State of Michigan Plumbing Code. The grease trap or interceptor shall be certified by and/or designed according to the Plumbing and Drainage Institute standards. Prior to final connection to the City's sanitary sewer, the owner must notify the City Plumbing Inspector for inspection. The City of Marshall Wastewater Treatment Department must also be notified. Grease trap/interceptor location and specifications must be provided along with a written employee grease handling policy and an appropriate grease trap/interceptor maintenance schedule. Failure to meet code requirements, or provide required information will result in a denial to connect.

City personnel will inspect grease trap/interceptors and maintenance records on a regular basis. Failure to appropriately maintain a grease trap/interceptor may result in fines and/or disruption of service.

Cross Connections

In an effort to eliminate cross connections, the applicant needs to install backflow prevention devices in accordance with the Michigan Plumbing Code. For non-residential water users, backflow prevention devices for facility containment are preferred. Prior to connecting to water services, a cross connection inspection must be scheduled with the Water Superintendent.

Water Superintendent: Aaron Ambler 269.558.0328

Building Official: Tim Musser 269.781.3985

CITY OF MARSHALL

Site Plan Review Checklist for General Development

Date: 01/19/2023

Zoning District B-4 Regional Commercial

Proposed Use: Wedding Venue

Is this a Permitted Use? ☒ Yes ☐ No
If yes list section number: 3.1.10 B. xxxi.

Is the property in the Well Head Protection Area? ☐ Yes ☒ No ☐ NA

Property Address: 221 W Spruce St Marshall, MI 49068

Information of Responsible Party that prepared plans

Name: Tyler Cravens

Company Name: Mitten State Engineering

Company Address: 10123 S M43, Suite E Delton, MI 49046

CITY OF MARSHALL

Zoning Ordinance, Article 6: Development Procedures: Section 6:3 - Site Plan Review is needed when:

- [ ] (A) - Any use or development stipulated elsewhere in the ordinance.
- [ ] (B) - All uses subject to land approval.
- [x] (C) - Any areas for which off-street parking is required except for single- and two-family dwellings on a single lot.
- [x] (D) - All permitted use, new construction, or any change of use lying contiguous to or across the street from a residential district.
- [ ] (E) - All residentially related uses permitted in a one-family district such as, but not limited to, institutional uses, churches, or public facilities.
- [x] (F) - Any new use, addition or accessory structure that requires additional off-street parking to that already provided.
- [ ] (G) - Site plans for subdivisions and site condo developments.
- [ ] (H) - All uses not otherwise included within a specific use district.
- [ ] (I) - Any use for which the zoning administrator determines that PC review is necessary to determine compliance with the zoning ordinance.
- [ ] (J) - Amendments to approve site plans, except that the City Manager may approve minor modifications.

Note: Staff will review all plans prior to submitting them to Planning Commission.

Development Procedures: 6.3 – Site Plan Review: The following information should be included in your site plan:

- [x] Plans submitted for site plan review shall be stamped by a design professional licensed by the State of Michigan such as a landscape architect, architect, or civil engineer.
- [x] Site plans shall be drawn to an engineer's scale appropriate for a sheet size of at least 24 by 36 inches, not to exceed one (1) inch equals 50 feet. If a large development must be depicted in sections on multiple sheets, then an overall composite sheet shall be provided.
- [x] Date, north arrow scale, existing zoning, zoning of adjacent properties, legal description of the property, easements, and the names and addresses of the

architect, planner, designer, or civil engineer responsible for the preparation of the site plan.

- [x] The dimensions of all lot and property lines, showing the relationship of the subject property to abutting properties and a boundary survey of the parcel.
- [x] The location, height and dimensions of all existing and proposed structures on the subject property and all existing structures within 100 feet of the subject property.
- [x] A finished floor elevation and exterior building elevation drawing shall be submitted with the site plan.
- [x] The location of all existing and proposed drives, walks and parking areas.
- [x] The location and right-of-way widths of all abutting streets and alleys.
- [x] The location and size of all existing and proposed sanitary sewer lines, water lines, and storm drainage facilities must be shown.
- [x] The location and size of all existing and proposed electric, natural gas, telephone, cable TV and solid waste disposal facilities must be shown.
- [x] The location, height area of illumination and fixture details of all existing and proposed lighting shall be provided. All lighting shall be located and oriented to have a minimal impact on adjacent properties.
- [x] The size, height, location and illumination of all existing and proposed signs shall be provided to insure ordinance compliance.
- [x] The location of existing natural features such as wooded areas, floodplains, wetlands, drainage courses, and a topographic survey of spot elevations of the site.
- [x] Other information as requested by the Zoning Administrator or Planning Commission to verify that the site and use follow the Ordinance.
- [x] The Planning Commission may waive any of the foregoing requirements determined unnecessary for site plan review purposes.

CITY OF MARSHALL

PLANNING COMMISSION CONSIDERATIONS

The Planning Commission shall consider the following standards in the process of reviewing any site plan for approval:

1. **Adequacy of information.** The site plan information is complete, accurate, and in an understandable form that accurate depicts and describes the proposed development.

2. **Site appearance and preservation.** The site layout promotes the normal and orderly development of surrounding lots, and the development layout preserves, to the extent feasible, the site's natural, cultural, and historical features, such as but not limited to significant buildings, wetlands, topography, and woodlands.

3. **Pedestrian access.** Existing and proposed sidewalks or pedestrian pathways connect to existing and planned public sidewalks and pathways in the area, and comply with applicable barrier-free access standards.

4. **Vehicular circulation.** Drives, streets, parking, site access and other vehicle-related elements are designed to minimize traffic conflicts on adjacent streets, and to promote safe and efficient traffic circulation.

5. **Parking and loading.** Off-street parking lots and loading areas are arranged and located to accommodate the intensity of proposed uses, minimize conflicts with adjacent uses, and promote shared-use of common facilities where feasible.

6. **Building composition.** Building design and architecture are harmonious with the surrounding neighborhood with regard to scale, mass, proportion, and materials.

7. **Screening.** Adequate screening elements have been provided to buffer or separate unlike or conflicting land uses, and to screen off-street parking, mechanical appurtenances, loading and unloading areas and storage areas from abutting residential districts and street rights-of-way.

8. **Exterior lighting.** All exterior lighting fixtures are designed and arranged to minimize glare and light trespass, prevent vision impairments, and maximize security.

9. **Impact upon public services.** The impact upon public services (including utilities, streets, police and fire protection, emergency access, and public sidewalks and pathways) will not exceed the existing or planned capacity of such services

EVENT SPACE

311 W SPRUCE ST, MARSHALL, MI 49068

RENDERING - FOR REFERENCE ONLY

PROJECT NOTES

1. CONSTRUCTION MUST COMPLY WITH ALL NATIONAL, STATE, AND LOCAL BUILDING CODES, AS WELL AS ALL LOCAL ORDINANCES.
2. DO NOT SCALE DRAWINGS. NOMINAL DIMENSIONS ARE SHOWN. REFER TO DETAILS, NOTES, SPECIFICATIONS AND PARTITION KEY FOR INFORMATION. CONTACT ARCHITECT IF ADDITIONAL INFORMATION IS REQUIRED.
3. EXISTING BUILDING AND SITE INFORMATION WAS OBTAINED FROM THE OWNER AND ADDITIONAL FIELD MEASUREMENTS BY THE ARCHITECT. THE CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS PRIOR TO COMMENCEMENT OF WORK. DRAWINGS MAY CONTAIN DISCREPANCIES DUE TO CONCEALED CONDITIONS, INACCURACIES IN THE ORIGINAL DRAWINGS, INACCESSIBLE LOCATIONS, UNRECORDED BUILDING ALTERATIONS AND OTHER CONFLICTING INFORMATION. INFORMATION OUTSIDE OF CONTRACT AREA IS RELATIVE AND FOR REFERENCE ONLY. ALWAYS VERIFY FIELD CONDITIONS BEFORE COMMENCING WORK. NOTIFY ARCHITECT IF FIELD CONDITIONS CONFLICT SUBSTANTIALLY WITH PROPOSED WORK.
4. INSTRUCTIONS FOR BUILDING CONSTRUCTION MAY BE LOCATED IN ANY PART OF THE CONSTRUCTION DRAWINGS. FAILURE OF THE GENERAL CONTRACTOR OR HIS SUB CONTRACTORS AND SUPPLIERS TO SEE INFORMATION IN ANY PART OF THE CONTRACT DOCUMENTS WILL NOT BE A VALID REASON FOR ISSUING A CHANGE ORDER.
5. ALL HOLES CREATED FROM ABANDONED DUCT, CONDUIT, ELEC. DEVICES, ETC., WHICH ARE IN VIEW AND ARE NOT SCHEDULED TO BE BOARDED OVER, OR ON A WALL TO BE DEMOLISHED, ARE TO BE FILLED AND PATCHED TO MATCH EXISTING.
6. PATCH AND REPAIR ALL EXISTING WALL SURFACES ADJACENT TO NEW WORK AS REQUIRED TO ACHIEVE AN UNINTERRUPTED SURFACE APPEARANCE. PATCH AND REPAIR ALL FLOORING FOR EXISTING BUILDINGS TO ACHIEVE A CONTINUOUS, SMOOTH, AND FLUSH FLOOR SURFACE.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING REQUIRED TO EXECUTE WORK. THE CONTRACTOR SHALL COORDINATE ALL TEMPORARY CONSTRUCTION WITH THE ARCHITECT AND OWNER TO ASSURE A MINIMUM AMOUNT OF INTERRUPTION WITH THE OWNER'S ACTIVITIES.
8. IF THE PROJECT IS A REMODEL, THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL SURFACES NOT BEING REMODELED IN THE PROJECT AND IN THE PATH OF THE CONTRACTORS TRAVEL, SETUP AND/ OR PROJECT MATERIAL STORAGE. THE CONTRACTOR MUST RETURN THE AREAS DISTURBED AS REQUIRED FOR ACCESS TO ITS PRE-EXISTING CONDITION.
9. THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL BE RESPONSIBLE TO OBTAIN AND PAY FOR ALL LOCAL/REQUIRED PERMITS AND INSPECTIONS.
10. ALL SAFETY ISSUES RELATED TO CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR AND MUST COMPLY WITH ALL STATE, LOCAL, ENVIRONMENTAL AND LABOR LAWS DURING THE CONSTRUCTION OF THIS PROJECT.
11. ALL WORK TO BE GUARANTEED A MINIMUM OF ONE YEAR FROM THE DATE OF OWNER ACCEPTANCE OF WORK, EXCEPT WHERE MANUFACTURER'S GUARANTEE IS LONGER.
12. IF DISCREPANCIES OCCUR BETWEEN DRAWINGS AND FIELD CONDITIONS CONTACT THE ARCHITECT TO VERIFY HOW TO PROCEED BEFORE DOING SO.
13. SEE T001 FOR ADDITIONAL PROJECT NOTES, MOUNTING HEIGHTS, AND SYMBOLS
14. 3D VIEWS AND RENDERINGS ON THIS PAGE AND THROUGHOUT THE SET ARE FOR REFERENCE ONLY, VERIFY ALL CONSTRUCTION DETAILS THROUGHOUT THE ENTIRE SET OF DOCUMENTS
15. THE PROJECT SHALL CONFORM TO UNDERWRITERS LABORATORY FIRE RESISTANCE DIRECTORY AND BUILDING MATERIALS DIRECTORY.
16. ANY MATERIAL SUBSTITUTIONS TO A LISTED UL DESIGN NUMBER SHALL BE COORDINATED BY THE CONSTRUCTION MANAGER, CONTRACTOR, SUBCONTRACTOR AND/OR MATERIAL SUPPLIER FOR COMPLIANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPROVALS - FOR ANY MATERIALS SUBSTITUTION IN THE REQUIRED UL DESIGN ASSEMBLY - BY THE FIRE MARSHAL AND BUILDING INSPECTOR HAVING JURISDICTION PRIOR TO ACCEPTANCE.
17. FOR ANY CHANGE OF UL DESIGN NUMBER, OR ANY CHANGE IN MATERIAL(S) IN A UL DESIGN ASSEMBLY, IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL OTHER RELATED MATERIALS OR ASSEMBLIES AFFECTED BY THE CHANGE OF MATERIAL OR UL DESIGN NUMBER ASSEMBLY.
18. PROVIDE COMPLETE UL APPROVED THROUGH-PENETRATION FIRESTOP SYSTEMS AT ALL RATED WALL PENETRATIONS.
19. PROVIDE FIRESTOPPING AS REQUIRED AT ALL OPENINGS FOR PLUMBING, CONDUIT, DUCTWORK, ETC AT FIRE RATED ASSEMBLIES.
20. REFER TO THE FLOOR PLANS FOR IDENTIFICATION OF ALL FIRE AND SMOKE-RATED PARTITIONS.

PROJECT DESCRIPTION

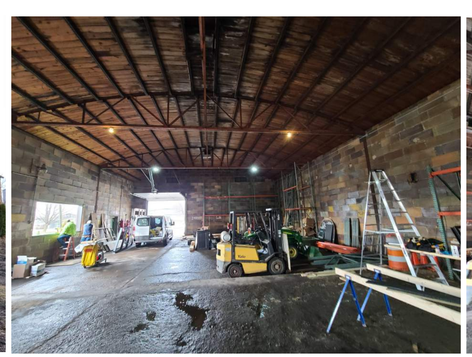
AN EXISTING VACANT STORAGE BUILDING IS TO BE CONVERTED INTO AN EVENT SPACE.

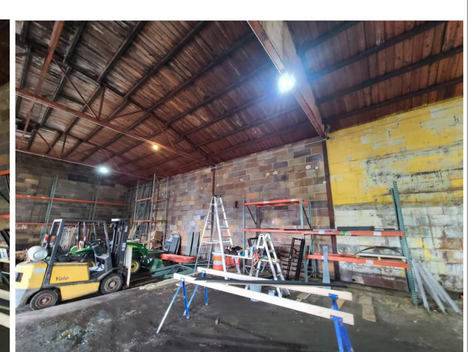
DRAWING LIST

SHEET NUMBER	DRAWING TITLE	1/25/2023 - SITE PLAN SET
00 GENERAL		
T000	TITLE SHEET	X
T001	RENDERINGS	X
T002	MOUNTING HEIGHTS + ABBREVIATIONS	X
T003	MOUNTING HEIGHTS CONTINUED	X
T004	CODE COMPLIANCE	X
T005	AREA PLANS	X
01 CIVIL		
C001	COVER SHEET	X
C100	DEMOLITION PLAN	X
C101A-C 101B	SITE PLAN	X
C102	GRADING AND UTILITY PLAN	X
C103	EROSION CONTROL PLAN	X
C104	EROSION CONTROL DETAILS	X
C105	CONSTRUCTION DETAILS	X
C106	DUMPSTER ENCLOSURE DETAILS	X
02 ARCHITECTURAL		
A000	EXISTING FLOOR PLANS	X
A110	DEMOLITION PLANS	X
A120	NEW FLOOR PLANS	X
A130	ENLARGED PLANS	X
A200	REFLECTED CEILING PLANS	
A210	ROOF PLAN	X
A211	METAL ROOF DETAILS	X
A300	INTERIOR ELEVATIONS	
A400	DOOR SCHEDULE AND DETAILS	X
A500	EXTERIOR ELEVATIONS	X
A600	BUILDING SECTIONS	
04 MEP		
MEP101	MECH, ELEC, PLUMB SPECS/NOTES	X

Grand total: 26

EXISTING PHOTOS - FOR REFERENCE ONLY

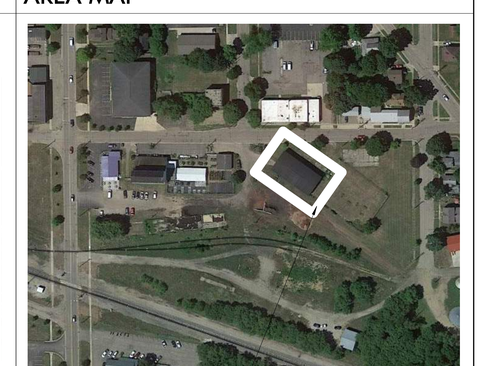




ZONING MAP

ZONING - B-4 (REGIONAL COMMERCIAL)

AREA MAP



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NOT FOR CONSTRUCTION

PROJECT NAME
EVENT SPACE

PROJECT ADDRESS
311 W SPRUCE ST, MARSHALL, MI 49068

CLIENT
MILLHAVEN

ISSUE
SITE PLAN REVIEW

REVISION

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DATE 1/24/2023 5:18:45 PM

SCALE

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STATE OF MICHIGAN
CODY NEWMAN
ARCHITECT
No. 1301065496
LICENSED ARCHITECT

PROJECT NUMBER
2023.007

TITLE SHEET
T000

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2023.007

RENDERINGS

T001

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ABBREVIATION LIST

A/C	AIR CONDITIONING
A/V	AUDIO/VISUAL
ACP	ACOUSTICAL CEILING PANEL
AD	AREA DRAIN
ADA	AMERICANS WITH DISABILITIES ACT
ADJ	ADJUSTABLE
AFF	ABOVE FINISHED FLOOR
ALT	ALTERNATE
ALUM	ALUMINIUM
APPROX	APPROXIMATELY
ARCH	ARCHITECT(URAL, URE)
ASSOC	ASSOCIATED
AUTO	AUTOMATIC
AWP	ACOUSTICAL WALL PANEL
BD	BOARD
BF	BARRIER FREE
BIT	BITUMINOUS, BITUMEN
BLDG	BUILDING
BLKG	BLOCKING
BM	BEAM
BOT	BOTTOM
CAB	CABINET
CJ	CONTROL JOINT
CLG	CEILING
CLR	CLEAR(ANCE)
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
COM	COMMUNICATIONS
CONC	CONCRETE
CONFIG	CONFIGURATION
CONST	CONSTRUCTION
CONT	CONTINUOUS
COORD	COORDINATE
CORR	CORRIDOR
CPT	CARPET
CT	CERAMIC TILE
CTR	CENTER
DEG	DEGREE
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DIAG	DIAGONAL
DIM	DIMENSION
DIV	DIVISION
DN	DOWN
DR	DOOR
DS	DOWNSPOUT
DTL	DETAIL
DWG(S)	DRAWING(S)
E	EAST
EA	EACH
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRICAL
ELEV	ELEVATION
EMER	EMERGENCY
ENCL	ENCLOS(E,URE)
EQ	EQUAL
EQUIP	EQUIPMENT
EST	ESTIMATE(D)
EXIST	EXISTING
EXP	EXPANSION
EXT	EXTERIOR
FA	FIRE ALARM
FD	FLOOR DRAIN
FDN	FOUNDATION
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FF	FINISHED FACE
FGL	FIBERGLASS
FHC	FIRE HOSE CABINET
FIXT	FIXTURE
FL	FLOOR(ING)
FLUOR	FLUORESCENT
FOC	FACE OF CONCRETE
FOS	FACE OF STUDS
FP	FIREPROOF(ING)
FT	FEET
FTG	FOOTING
FUR	FURR(ED,ING)
GA	GAUGE
GALV	GALVANIZED
GB	GRAB BAR
GC	GENERAL CONTRACT(OR)
GL	GLASS, GLAZING
GOVT	GOVERNMENT
GT	GROUT
GYP BD	GYPSUM WALLBOARD
HC	HOLLOW CORE
HDR	HEADER
HDWD	HARDWOOD
HDWR	HARDWARE
HGT	HEIGHT
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HP	HIGH POINT
HR	HOUR
HT	HEIGHT
HVAC	HEATING, VENTILATION & AIR CONDITIONING
ID	INSIDE DIAMETER
IN	INCH(ES)
INCAN	INCANDESCENT
INCL	INCLUDE(D,ING)
INSUL	INSULATION, INSULATED
INT	INTERIOR
JAN	JANITOR
JT(S)	JOINT(S)
KIT	KITCHEN

ABBREVIATION LIST

LAM	LAMINATE(D)
LAV	LAVATORY
LBL	LABEL
LH	LEFT HAND
LL	LIVE LOAD
LP	LOW POINT
LTG	LIGHTING
LTL	LINTEL
MANF	MANUFACTURE(R)
MAS	MASONRY
MATL	MATERIAL(S)
MAX	MAXIMUM
MECH	MECHANICAL
MEMB	MEMBRANE
MIN	MINIMUM
MISC	MISCELLANEOUS
MO	MASONRY OPENING
MTD	MOUNTED
MTG	MOUNTING
MTL	METAL
N	NORTH
N/A	NOT APPLICABLE
NAT	NATURAL
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OH	OVERHEAD
OPNG	OPENING
OPP	OPPOSITE
OPP HD	OPPOSITE HAND
PART	PARTITION
PC	PRECAST
PERF	PERFORATE(D)
PL	PLATE
PLAM	PLASTIC LAMINATE
PLAS	PLASTER
PLWD	PLYWOOD
PNL	PANEL(ED)
PR	PAIR
PREP	PREPARE (SURFACE)
PROV	PROVIDE
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PT	PAINT
PVMT	PAVEMENT
QTY	QUANTITY
R	RISER
RAD	RADIUS
RB	RUBBER BASE
REF	REFRIDGERATOR
REINF	REINFORCED
REQD / REQ'D	REQUIRED
RES	RESILIENT
RET	RETAINING
REV	REVISION(S) / REVISE(D)
RFG	ROOFING
RH	RIGHT HAND
RM	ROOM
RO	ROUGH OPENING
S	SOUTH
SC	SOLID CORE
SCHED	SCHEDULE
SECT	SECTION
SF	SQUARE FEET
SHT	SHEET
SIM	SIMILAR
SPEC(S)	SPECIFICATION(S)
SQ	SQUARE
SS	STAINLESS STEEL
STD	STANDARD
STL	STEEL
STN	STAIN
STO	STORAGE
STRUC	STRUCTURAL
SUSP	SUSPENDED
SYM	SYMMETRICAL
SYS	SYSTEM
T	TREAD
T&G	TONGUE AND GROOVE
T.O.	TOP OF
TECH	TECHNOLOGY
TEL	TELEPHONE
TEMP	TEMPERED
THK	THICK(NESS)
THRESH	THRESHOLD
TOC	TOP OF CURB
TOM	TOP OF MASONRY
TOS	TOP OF STEEL
TOW	TOP OF WALL
TRANS	TRANSPARENT
TV	TELEVISION
TYP	TYPICAL
UL	UNDERWRITER'S LABORATORY
UNFIN	UNFINISHED
UNO	UNLESS OTHERWISE NOTED
VAR	VARIES
VCT	VINYL COMPOSITION TILE
VERT	VERTICAL
VEST	VESTIBULE
VIF	VERIFY IN FIELD
VU	VENTILATION UNIT
VWC	VINYL WALLCOVERING

ABBREVIATION LIST

W	WATER RESISTANT
W/	WITH
W/O	WITHOUT
WC	WATER CLOSET
WD	WOOD
WDW	WINDOW
WH	WALL HUNG
WP	WORK POINT
WR	PAINT(ED)
WT	WEIGHT
WWF	WELDED WIRE FABRIC
#	NUMBER
&	AND
+/-	EXIST (OR APPROX) DIM - VIF
CL	CENTER LINE
L	ANGLE

INTERIOR STEEL STUD FRAMING

THE INTERIOR STUD FRAMING GUIDE DESIGNATES THE DESIGN INTENT OF THE ARCHITECT. THE GUIDE IS FOR THE CONTRACTORS REFERENCE WHEN INSTALLING INTERIOR STUD FRAMED WALLS. IT IS THE CONTRACTORS RESPONSIBILITY TO FOLLOW ALL INFORMATION PORTRAYED WITHIN THIS GUIDE AND THE CONTRACT DOCUMENTS.

NOTE: VERIFY MIN. STEEL STUD FRAMING GAUGE REQUIREMENTS /MAXIMUM ALLOWABLE HEIGHTS WITH STEEL STUD FRAMING SUPPLIER.

*FIRE BLOCKING TO BE PROVIDED HORIZONTALLY AT 10'-0" O.C. MAX, FIRE CAULK AROUND BLOCKING, IF METAL STUDS ARE USED A MINIMUM OF 20 GA. STUDS MUST BE UTILIZED.

MAXIMUM ALLOWABLE HEIGHTS (NON-LOAD BEARING - METAL STUDS)

STEEL STUD FRAMING SECTION 092216			COLD-FORMED MT'L FRAMING SECTION 054000			
SIZE \ GA.	25	20	18	16	14	12
2 1/2"	9'-10"	11'-2"	12'-7"	13'-5"	14'-4"	--
3 5/8"	12'-4"	14'-3"	16'-8"	17'-11"	19'-2"	21'-2"
6"	17'-11"	21'-4"	24'-9"	26'-7"	28'-4"	31'-8"
2 1/2" CH STUD	10'-7"	13'-4"	--	--	--	--

* DEFLECTION = L/360
* SPACING = 16" O.C.

GENERAL NOTES

*THE MOUNTING HEIGHTS, MATERIALS, AND SYMBOLS SHOWN ON THIS PAGE ARE FOR REFERENCE THROUGHOUT THE PROJECT. NOT ALL ELEMENTS SHOWN WILL APPLY TO THIS SPECIFIC PROJECT. REVIEW THE PROJECT PLANS, SECTIONS, AND ELEVATIONS FOR ADDITIONAL DETAILS AND TO VERIFY WHAT RELATES TO THIS PROJECT.

MATERIAL DESIGNATIONS & SYMBOLS

EXISTING WALL TO REMAIN
NEW WALL
1 HOUR PARTITION
2 HOUR PARTITION
3 HOUR PARTITION
ELEMENTS TO BE REMOVED
EXTENT OF WORK
CMU
CONCRETE
WOOD BLOCKING
STEEL (LARGE SCALE)
PLASTER
RIGID INSULATION
PLYWOOD
MILLWORK

Room name
101
ROOM NUMBER
FINISH TYPE

1i DOOR NUMBER

1i WALL TYPES

1t WINDOW NUMBER

EXISTING ELEVATION

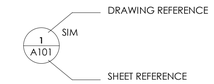
NEW ELEVATION

BATT INSULATION

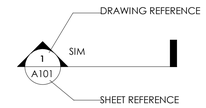
1 COLUMN CENTER LINE / IDENTIFIER

REVISION INDICATION

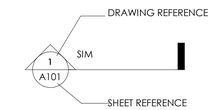
DETAIL / PLAN / ELEVATION



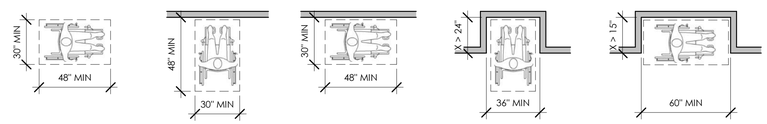
BLDG SECTION CUT



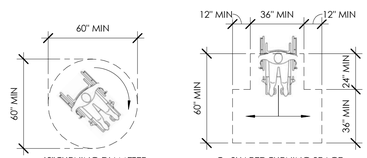
WALL SECTION



REQUIRED CLEARANCES

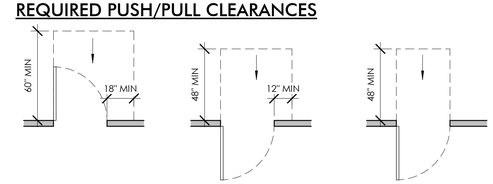


CLEAR FLOOR SPACE | FORWARD APPROACH | PARALLEL APPROACH | ALCOVE, FORWARD APPROACH | ALCOVE, SIDE APPROACH

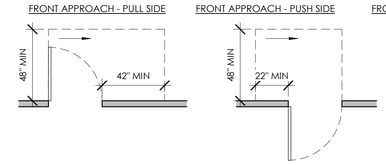


60" TURNING DIAMETER | T - SHAPED TURNING SPACE

REQUIRED PUSH/PULL CLEARANCES



FRONT APPROACH - PULL SIDE | FRONT APPROACH - PUSH SIDE | FRONT APPROACH - PUSH SIDE



HINGE APPROACH - PULL SIDE | HINGE APPROACH - PUSH SIDE

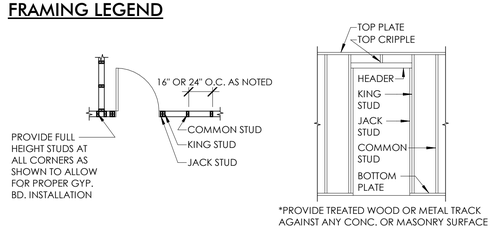
TYPICAL MOUNTING HEIGHTS

1. MOUNTING HEIGHTS SHOWN ARE BASED UPON RECOGNIZED DESIGN STANDARDS AND/OR BARRIER FREE CODE REQUIREMENTS. IT IS INTENDED THAT LIKE DEVISES ALL BE MOUNTED AT THE SAME HEIGHT THROUGHOUT THE ENTIRE PROJECT. RECESSED DEVICES IN MASONRY WALLS MAY DICTATE A DEVIATION (+/- 2") FROM THESE HEIGHTS (WHEN PERMITTED BY CODE) SO AS TO ALLOW THE BOTTOM OR THE TOP OF THE DEVICE RECESS TO ALIGN WITH MASONRY COURSING. COORDINATE THESE DEVIATIONS WITH THE ARCHITECTS/OWNER'S REPRESENTATIVE. MOUNTING HEIGHTS ARE TYPICAL UNLESS NOTED OTHERWISE ON DRAWINGS.

DIMENSIONING

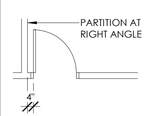
1. DIMENSIONS ARE FROM FINISHED FACE TO FINISHED FACE, UNLESS NOTED OTHERWISE. SEE DIMENSIONING KEY ON THIS PAGE FOR REFERENCE

FRAMING LEGEND



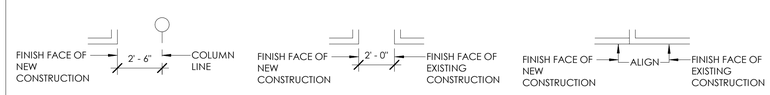
*PROVIDE TREATED WOOD OR METAL TRACK AGAINST ANY CONC. OR MASONRY SURFACE

DIMENSIONING KEY



*IF THE DOOR IS NOT AGAINST A RIGHT ANGLE PARTITION OR EXISTING, IT IS TO BE CENTERED IN THE ROOM, U.N.O.

DIMENSIONING SYSTEM (UNLESS NOTED OTHERWISE)



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MOUNTING HEIGHTS + ABBREVIATIONS

T002

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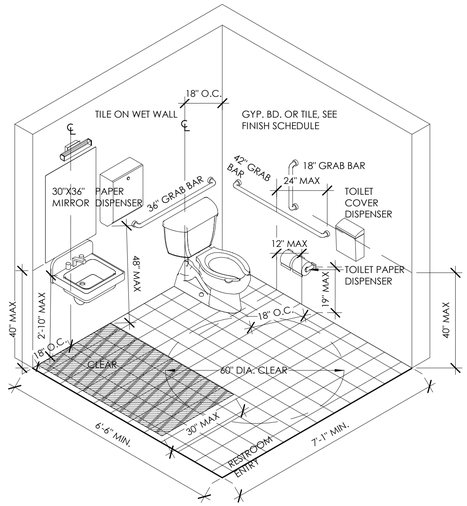
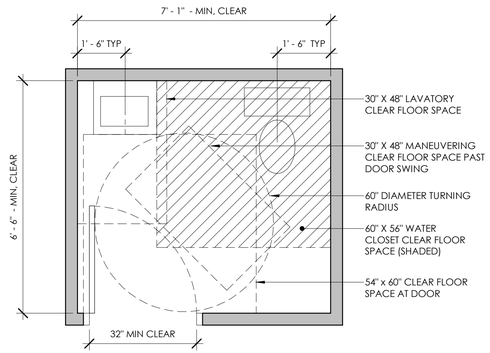
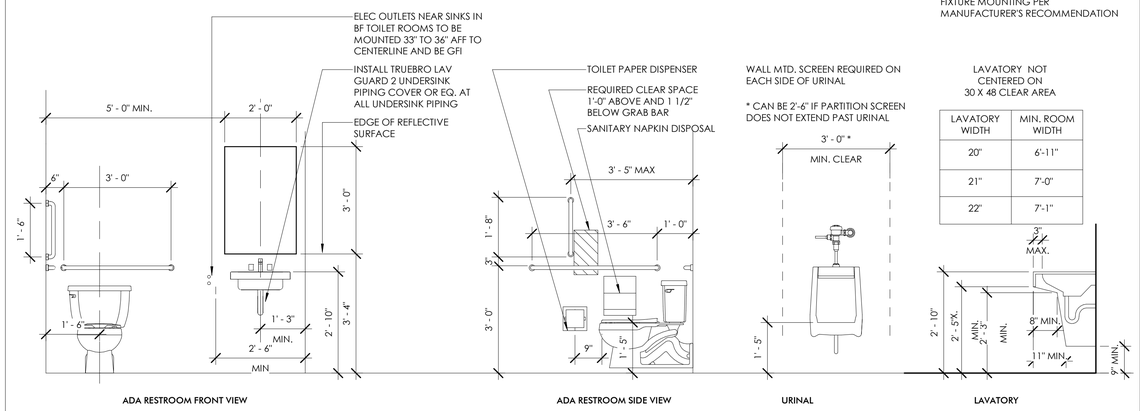


ADA RESTROOM AXON - NTS



ADA RESTROOM PLAN - NTS

*NOTE: PROVIDE BLOCKING AS REQUIRED FOR ALL GRAB BARS AND FIXTURE MOUNTING PER MANUFACTURER'S RECOMMENDATION

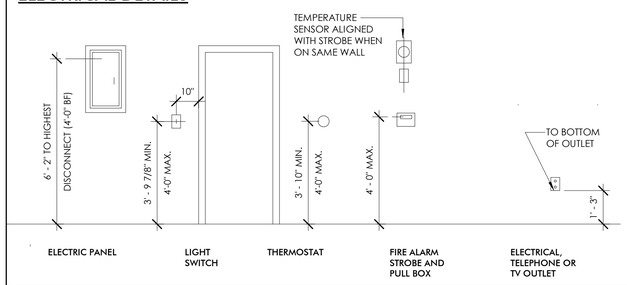


LAVATORY WIDTH	MIN. ROOM WIDTH
20"	6'-11"
21"	7'-0"
22"	7'-1"

ADA RESTROOM FRONT VIEW | ADA RESTROOM SIDE VIEW | URINAL | LAVATORY

RESTROOM DETAILS - NTS

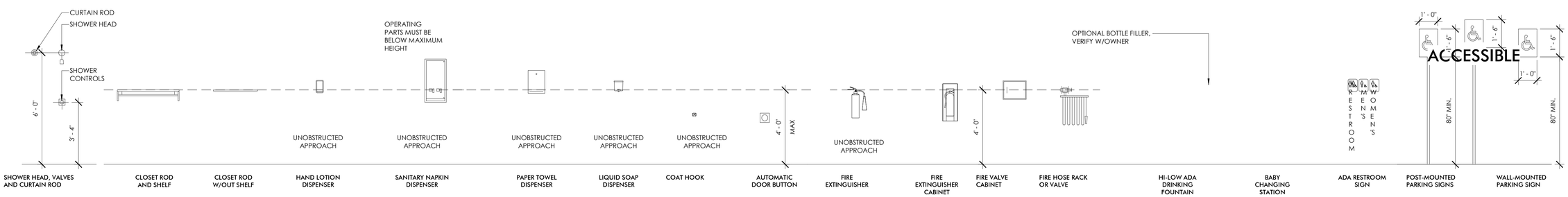
ELECTRICAL DETAILS



ACCESSORIES SCHEDULE

TYPE MARK	DESCRIPTION	MANUFACTURER	MODEL	COMMENTS
GB-1	18" VERTICAL GRAB BAR	BRADLEY CORP.	812-001-18	
GB-2	36" GRAB BAR	BRADLEY CORP.	812-001-36	
GB-3	42" GRAB BAR	BRADLEY CORP.	812-001-42	
MI-1	MIRROR	BRADLEY CORP.	748-2436	
PTD-1	PAPERTOWEL DISPENSER	BRADLEY CORP.	250-15	
SD-1	SOAP DISPENSER	BRADLEY CORP.	6562	
SND-1	SANITARY NAPKIN DISPOSAL	BRADLEY CORP.	4A10	
TTD-1	TOILET TISSUE DISPENSER	BRADLEY CORP.	5084	

MOUNTING HEIGHTS



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PROJECT ADDRESS: 311 W SPRUCE ST, MARSHALL, MI 49068
CLIENT: MILLHAVEN

ISSUE: SITE PLAN REVIEW

REVISION

DRAWN BY: CMN
DATE: 1/24/2023 5:16:34 PM
SCALE: As indicated
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PROJECT NUMBER: 2023.007

MOUNTING HEIGHTS CONTINUED

T003

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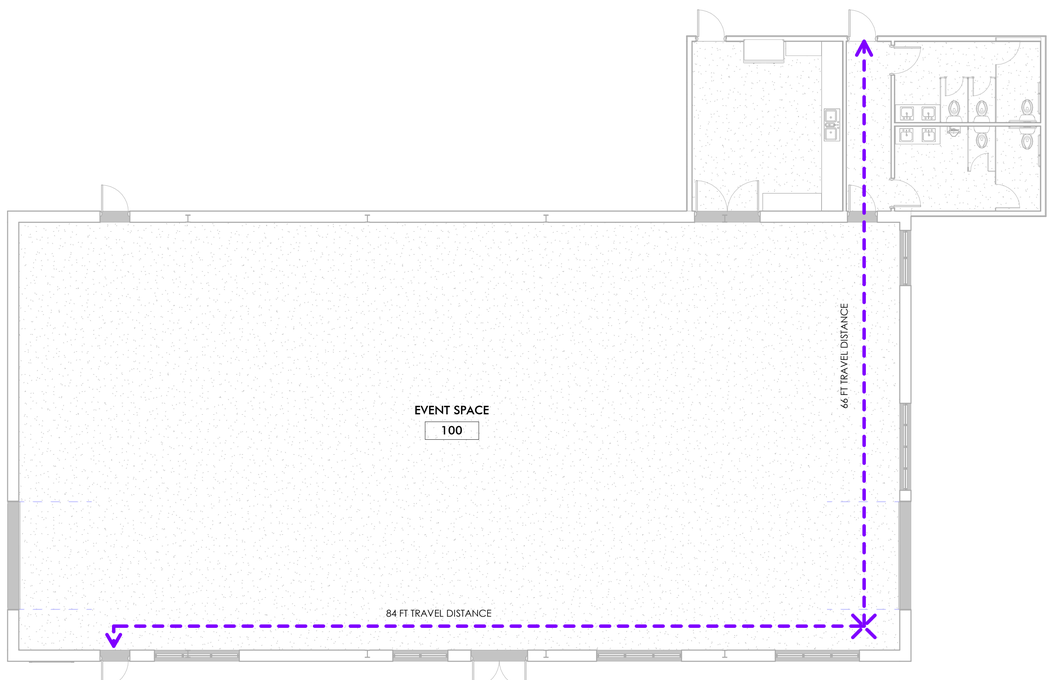

1 / T004 FIRST FLOOR COMPLIANCE PLAN
1/8" = 1'-0"

CODE COMPLIANCE

TOPIC	SECTION	ALLOWED/REQUIRED	ACTUAL
APPLICABLE CODES			
2015 INTERNATIONAL FIRE CODE			
2015 MICHIGAN BUILDING CODE			
2015 MICHIGAN MECHANICAL CODE			
2015 MICHIGAN REHABILITATION CODE	504	LEVEL 2 ALTERATION	INTERIOR RENOVATION LESS THAN 50%
2017 NATIONAL ELECTRICAL CODE			
2018 MICHIGAN PLUMBING CODE			
ANSI/ASHRAE 90.1-2013			
ICC/ANSI 117.1-2009			
NFPA 13 (2013) + NFPA 72 (2013)			
ZONING			
ZONING	CITY OF MARSHAL L		B-4 GENERAL BUSINESS
1 - SCOPE AND ADMIN			
DEFERRED SUBMITTALS	107.3.4.1		THERE ARE NO DEFERRED SUBMITTALS FOR THIS PROJECT
DESIGN PROFESSIONAL IN CHARGE	107.3.4		CODY NEWMAN IS TO BE THE DESIGN PROFESSIONAL IN CHARGE
SPECIAL INSPECTIONS	110		THERE ARE NO SPECIAL INSPECTIONS FOR THIS PROJECT
3 - USE			
BUILDING USE	303.3	BEFORE - UNOCCUPIED	AFTER - A-2
3 - GROSS BUILDING AREA			
1 - FIRST FLOOR			5,480 SF
5 - GENERAL BUILDING HEIGHTS AND AREAS			
ALLOWABLE BUILDING HEIGHT	TABLE 504.3	65 FT	24 FT
BASE STORIES ALLOWED	TABLE 504.4	3 STORIES	1 STORY
6 - TYPE OF CONSTRUCTION			
TYPE OF CONSTRUCTION	TABLE 601	III-A	III-A
7 - FIRE AND SMOKE PROTECTION			
			THERE ARE NO SPECIAL REQUIREMENTS
9 - FIRE PROTECTION SYSTEMS			
AUTOMATIC SPRINKLER SYSTEM	903.2.1.3	LESS THAN 14,000 SF, NOT REQUIRED	NOT PROVIDED
FIRE ALARM AND DETECTION SYSTEMS	907	MANUAL FIRE ALARMS REQUIRED	PROVIDED
10 - MEANS OF EGRESS			
DOOR EGRESS WIDTH	1005.3.2	72 IN	72 IN
EXIT ACCESS TRAVEL DISTANCE	TABLE 1017.2	200 FT	98 FT
NUMBER OF EXITS	TABLE 1006.3.1	2 EXITS	3 EXITS
10 - OCCUPANCY			
TOTAL OCCUPANT LOAD		4,718 SF / 15	315 PEOPLE
15 - ROOF ASSEMBLY			
	1501.1		EXISTING RUBBER ROOF TO REMAIN, NEW METAL ROOF ON ADDITION
27 - ELECTRICAL			
EMERGENCY LIGHTING	1008.1	WILL COMPLY	ON COMPLIANCE DRAWINGS
EMERGENCY POWER	1008.3.2.1 1008.3.3	WILL COMPLY	ON COMPLIANCE DRAWINGS
EXIT SIGNS	1011.1	WILL COMPLY	ON COMPLIANCE DRAWINGS
28 - PLUMBING			
DRINKING FOUNTAIN REQUIREMENTS	TABLE 403.1	1 REQUIRED	1 PROVIDED
LAVATORY REQUIREMENTS	TABLE 403.1	1 MALE / 1 FEMALE	2 MALE / 2 FEMALE
SERVICE SINK REQUIREMENTS	TABLE 403.1	1 REQUIRED	1 PROVIDED
WATER CLOSETS REQUIREMENTS	TABLE 403.1	3 MALE / 3 FEMALE	3 MALE / 3 FEMALE

CODE COMPLIANCE GENERAL NOTES

1. ENSURE EXIT SIGNS ARE MOUNTED ABOVE THE DOORS AND VISIBLE FROM 75 FEET AWAY. ALL EGRESS LIGHTING IS TO POINT DOWN TO ILLUMINATE THE EGRESS PATH OF TRAVEL.
2. ALL FIRE EXTINGUISHERS ARE TO BE ABC EXTINGUISHERS, UNLESS NOTED OTHERWISE. ALL EXTINGUISHERS ARE TO BE TAGGED WITH THE CURRENT YEAR'S INSPECTION ON IT. ANNUAL INSPECTIONS ARE TO OCCUR FOR ALL FIRE EXTINGUISHERS.
3. PROVIDE ADA RESTROOM SIGNS AT ALL RESTROOMS, CORRESPONDING TO THE CORRECT SEX.
4. SEE T002 FOR MOUNTING HEIGHTS AND LOCATIONS
5. SEE T003 FOR ADDITIONAL CODE COMPLIANCE INFORMATION
6. FURNITURE AND EQUIPMENT SHOWN ON COMPLIANCE DRAWINGS ARE FOR REFERENCE ONLY

COMPLIANCE LEGEND

SYMBOL	ITEM
FE	FIRE EXTINGUISHER
	EXIT SIGN W/ EGRESS LIGHTS
	EGRESS LIGHTING
	TRAVEL DISTANCE
	1 HOUR WALL
	2 HOUR WALL
SD	SMOKE DETECTOR
CO	CARBON MONOXIDE DETECTOR

DRIVEN DESIGN

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NOT FOR CONSTRUCTION

PROJECT NAME
EVENT SPACE
PROJECT ADDRESS
311 W SPRUCE ST, MARSHALL, MI 49068
CLIENT
MILLHAVEN

ISSUE
SITE PLAN REVIEW

REVISION

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SCALE As indicated
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PROJECT NUMBER
2023.007

CODE COMPLIANCE
T004

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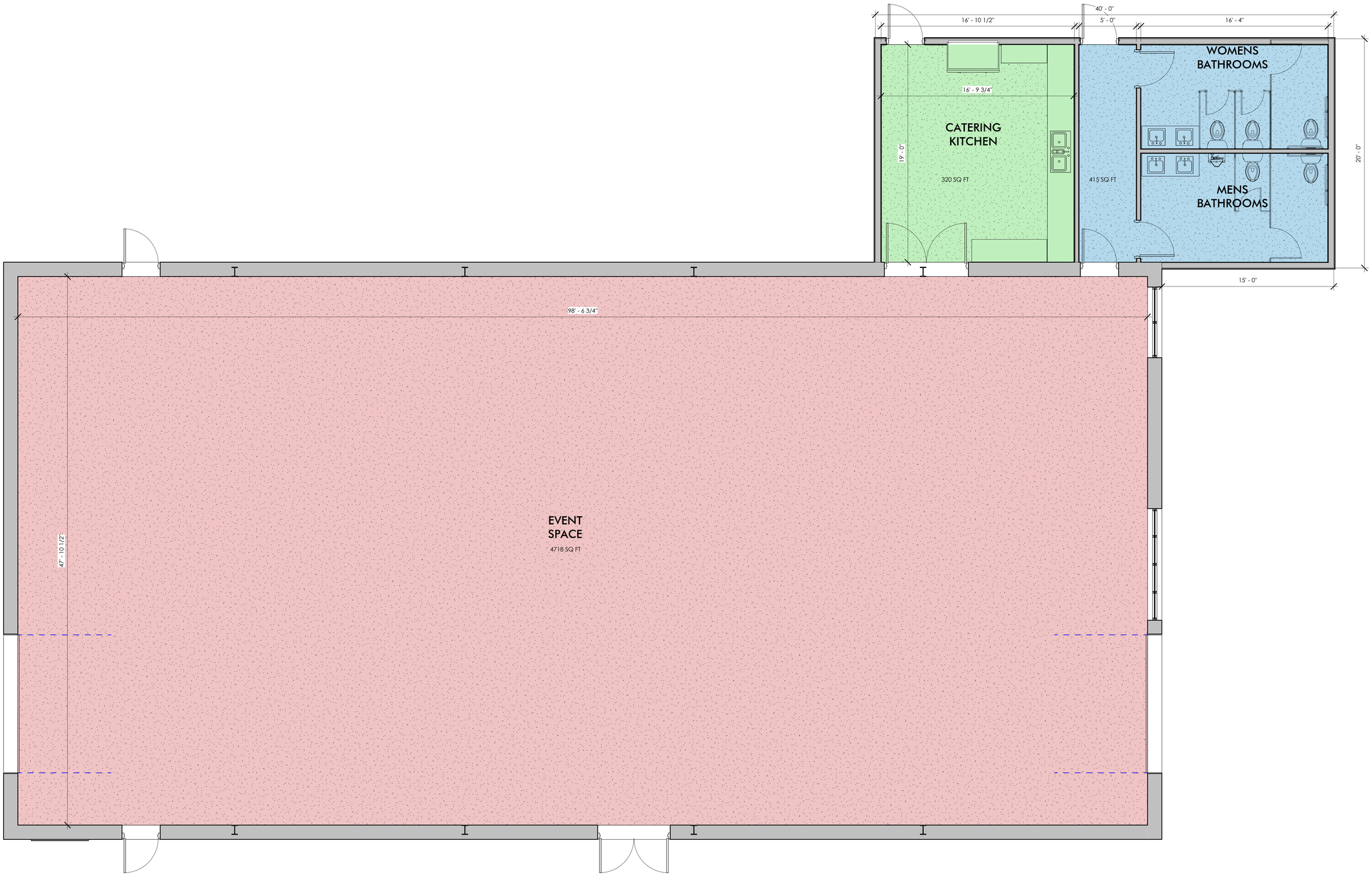

1 / T005 FIRST FLOOR PROPOSED PLAN
1/4" = 1'-0"

DRIVEN DESIGN

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AREA PLANS
T005

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PRELIMINARY ENGINEERING PLANS
MILL HAVEN WEDDING VENUE
211 W SPRUCE ST
MARSHALL, MI 49068

PROJECT TEAM

LEASEE: MILL HAVEN
311 W SPRUCE ST
MARSHALL, MI 49068
(616) 540-8267
JENNIFER EDERER

CIVIL ENGINEER: MITTEN STATE ENGINEERING
15 CARLYLE STREET, 2ND FLOOR
BATTLE CREEK, MI 49017
(269) 364 5626
TYLER CRAVENS

ARCHITECT: DRIVEN DESIGN STUDIO
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CODY NEWMAN

SURVEYOR: CRANE LAND SURVEYING
14250 BEADLE LAKE RD
BATTLE CREEK, MI 49014
(269) 963 7977
MIKE PRATT

UTILITY AND AGENCY CONTACTS

ELECTRIC: CITY OF MARSHALL
900 S MARSHALL AVE
MARSHALL, MI 49068
(269) 558-0330

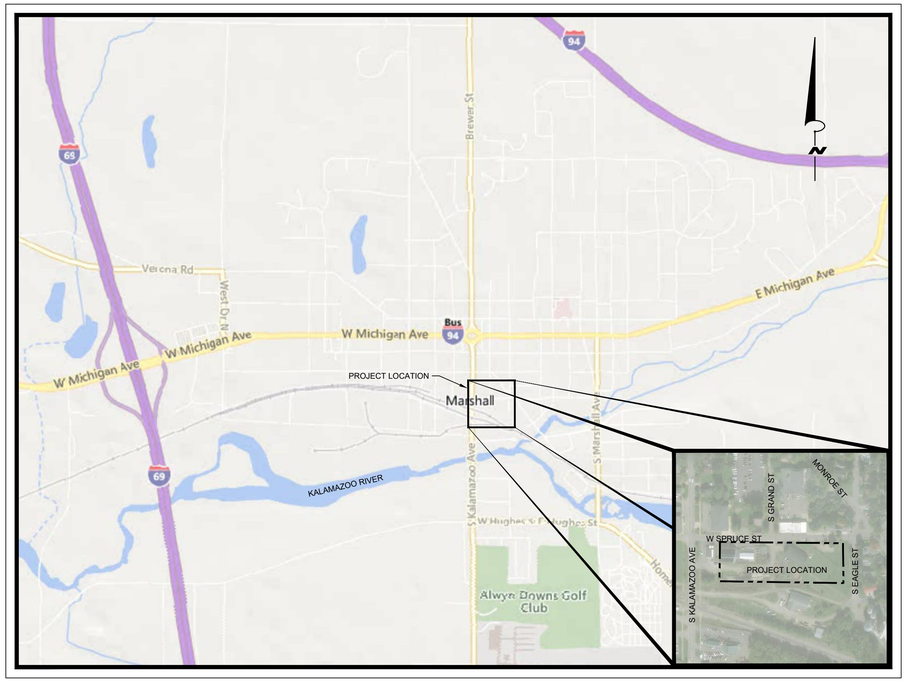
GAS: CONSUMERS ENERGY
(800) 778-9140

WATER / SEWER: CITY OF MARSHALL
832 EAST GREEN ST
MARSHALL, MI 49068
(269) 317-4654

"MISS DIG" 811

PROJECT NOTES

1. THE "2020 STANDARD SPECIFICATIONS FOR CONSTRUCTION" AND "STANDARD PLANS" BY THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) ARE HEREBY INCORPORATED INTO THESE CONTRACT DOCUMENTS.
2. THE PLACING OF TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS SHALL BE DONE IN ACCORDANCE WITH THE 2011 MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD), AS AMENDED.
3. ALL WORK SHALL CONFORM TO ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT THE TIME OF CONSTRUCTION.
4. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND/OR PLANS PREPARED BY OTHERS. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR POSTING ALL BONDS AND INSURANCE CERTIFICATES AND SUBMITTING TRAFFIC CONTROL PLANS FOR REVIEW AND APPROVAL WHICH MAY BE REQUIRED BY THE CITY FOR THE CONSTRUCTION OF THIS PROJECT WITHIN THE ROAD RIGHT-OF-WAY. THE CONTRACTOR SHALL APPLY FOR THESE PERMITS UNLESS OTHERWISE NOTED.
6. IN ACCORDANCE WITH PUBLIC ACT 174 OF 2013, ALL CONTRACTORS SHALL CALL MISS DIG @ 811 OR 800-428-7171 FOR PROTECTION OF UNDERGROUND UTILITIES A MINIMUM OF THREE FULL WORKING DAYS (EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS) PRIOR TO BEGINNING EACH EXCAVATION IN ANY AREA. MEMBERS WILL THUS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.



LOCATION MAP
N.T.S.

SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
C001	COVER SHEET
C100	DEMOLITION PLAN
C101A - C101B	SITE PLAN
C102	GRADING AND UTILITY PLAN
C103	EROSION CONTROL PLAN
C104	EROSION CONTROL DETAILS
C105	CONSTRUCTION DETAILS

No.	REVISIONS	DATE	BY

MITTEN STATE ENGINEERING
ADDRESS:
10123 S M43, SUITE E
DELTON, MI 49046
PHONE:
(269) 364-5626

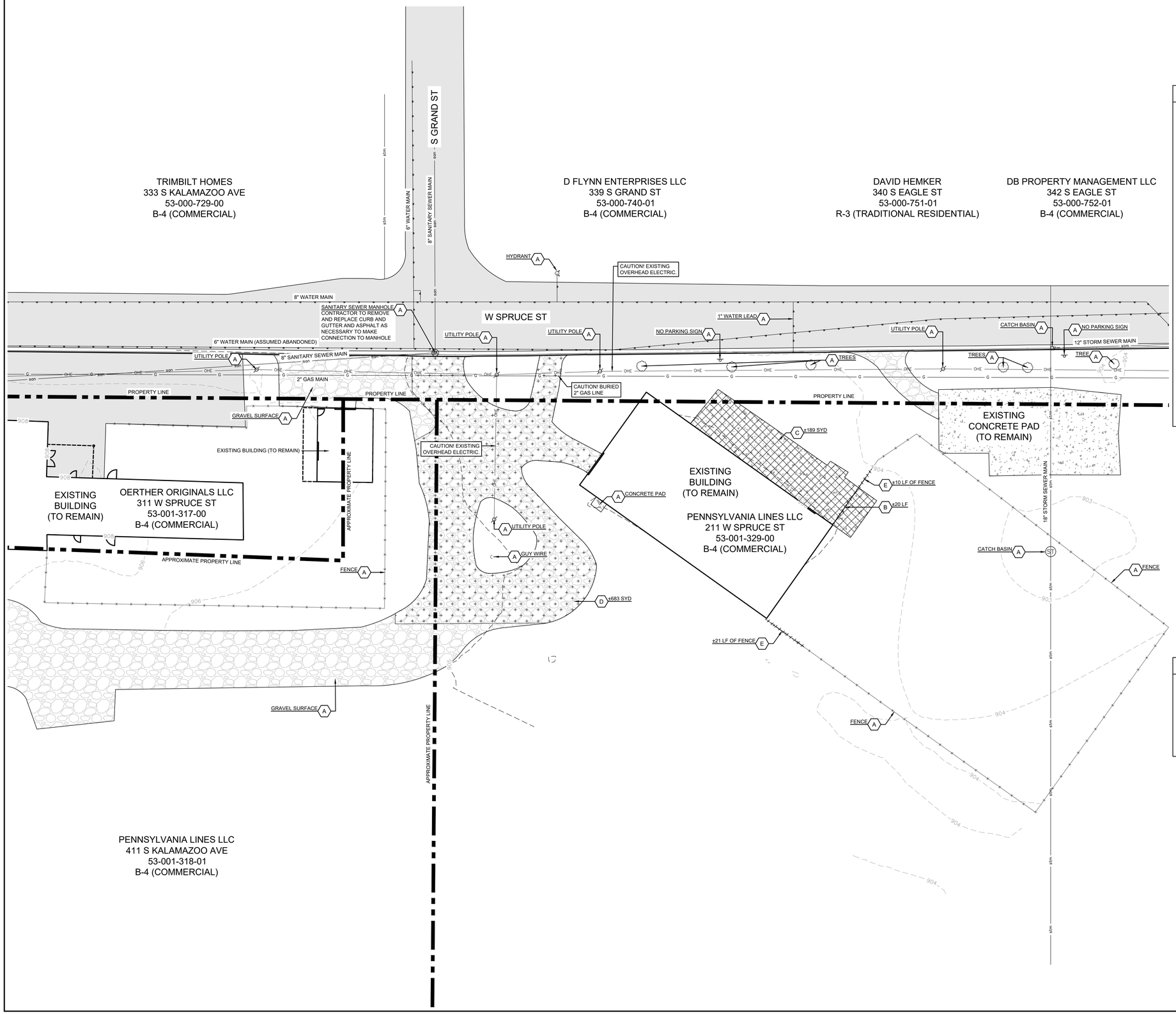
SCALE: AS NOTED
DESIGNED BY: TLB
DRAWN BY: DMP
CHECKED BY: TWC

STATE OF MICHIGAN
TYLER W. CRAVENS
ENGINEER
No. 6201067811
LICENSED PROFESSIONAL ENGINEER
1/23/2023

COVER SHEET

MILL HAVEN WEDDING VENUE
MARSHALL, MI

ORIGINAL ISSUE: 01/23/2023
PROJECT NO. 22112
SHEET NUMBER
C001



0 20 30 40

1 inch = 20 ft.

DEMOLITION NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING PAVING, STRUCTURES, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED ON THE PLANS
2. THE CONTRACTOR SHALL DISPOSE OF ALL DEBRIS, TRASH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. DISPOSAL OF SUCH ITEMS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS
3. ANY DAMAGE TO ADJACENT PROPERTIES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE CONTRACTOR SHALL RECEIVE WRITTEN PERMISSION PRIOR TO ANY OFFSITE DISTURBANCE, UNLESS SPECIFICALLY MENTIONED ON THIS SHEET
4. THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN. UTILITY LOCATIONS SHOWN ARE BASED OFF PREVIOUS RECORD DRAWINGS AND FIELD MEASUREMENTS WHERE APPLICABLE. THE INFORMATION IS NOT TO BE RELIED UPON AND MUST BE CONFIRMED BY THE UTILITY COMPANY. THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANY AT LEAST 72 HOURS PRIOR TO THE EXCAVATION TO REQUEST FIELD LOCATING.
5. ANY DEMOLITION WITHIN THE RIGHT-OF-WAY MUST BE COORDINATED WITH THE LOCAL JURISDICTION. FURTHERMORE, THE CONTRACTOR SHALL ENSURE THAT ALL REQUIRED TRAFFIC CONTROL IS IN PLACE PRIOR TO WORK WITHIN THE RIGHT-OF-WAY.
6. EROSION CONTROL BMP'S SHALL BE IN PLACE PRIOR TO ANY DEMOLITION WORK
7. THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR ALL SUBSURFACE INFORMATION
8. ALL UTILITIES SHOWN THAT ARE NOT TO BE REMOVED DURING DEMOLITION SHALL BE PROTECTED. ANY DAMAGE TO SUCH UTILITIES OR STRUCTURES, SHALL BE REPAIRED OR REPLACED AT THE GENERAL CONTRACTORS EXPENSE.
9. THE CONTRACTOR SHALL USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO LIMIT DUST. SEE EROSION CONTROL SHEET FOR FURTHER EROSION CONTROL REQUIREMENTS.
10. THE CONTRACTOR SHALL COMPLETELY FILL ALL VOIDS RESULTING FROM DEMOLITION ACTIVITIES. MATERIAL SHALL BE IN ACCORDANCE WITH MDOT SPECIFICATIONS FOR BACKFILL. FILL MATERIALS SHALL BE PLACED IN HORIZONTAL LAYERS NOT EXCEEDING 12 INCHES IN LOOSE DEPTH AND COMPACTED TO 95% OF MODIFIED PROCTOR DENSITY.
12. THE CONTRACTOR SHALL NOTIFY MISS DIG (800-482-7171) TO COORDINATE FIELD LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.

DEMOLITION LEGEND

A	ITEM TO REMAIN, PROTECT DURING CONSTRUCTION
B	FENCE REMOVAL
C	CONCRETE REMOVAL
D	GRAVEL REMOVAL
E	ITEM TO BE REMOVED AND REPLACED / RELOCATED

EXISTING UTILITY LEGEND

G	NATURAL GAS LINE
OHE	OVERHEAD ELECTRIC LINE
	WATER LINE
san	SANITARY SEWER LINE
stm	STORM SEWER LINE

LEGAL DESCRIPTION

MARSHALL CITY, UPPER VILLAGE LOTS 328 TO 339 INCL. ALSO LOTS 350 TO 353 INCL.& INCLUDING ALL OF VACATED UNNAMED STREET LYING BETWEEN LOT 338 & 339 AND LOTS 350 & 351. ALSO INCLUDING E 1/2 OF VACATED GRAND STREET ADJACENT ABOVE PARCEL. ALSO INCLUDING W 1/2 OF VACATED EAGLE ST LYING SLY OF N LI RAILROAD.EXC THAT PART LYING SLY OF A LINE DESCRIBED AS BEG NE COR LOT 391; NWLY 233 FT TO PT ON W LI EAGLE ST VACATED 190 FT N OF N LI PEARL ST; NWLY PARL & 10 FT SLY AT R/A OF SLY RAIL MOSCOW BRANCH TRACK CONNECTION 233 FT; SWLY 22 FT; NWLY 32 FT; NELY 17.9 FTTO PT 8.5 FT SLY AT R/A OF CL MOSCOW BRANCH; SWLY PARL & 8.5 FT SLY OF MOSCOW BRANCH 198 FT; S 63.9 FT; W 66 FT; S 45.5 FT; W 45 FT TO NW COW LOT 347.COMBINED 001-328-00,001-330-00,PART OF 001-334-00, & 001-350-00 12/1/16 TO CORRECT LEGAL DESCRIPTIONSBLL ON THIS PROPERTY 299-101-00, 299-102-02,299-102-01, 299-341-10

No.	REVISIONS	DATE	BY

MITTEN STATE ENGINEERING
ADDRESS:
10123 S M43, SUITE E
DELTON, MI 49046
PHONE:
(269) 364-5626

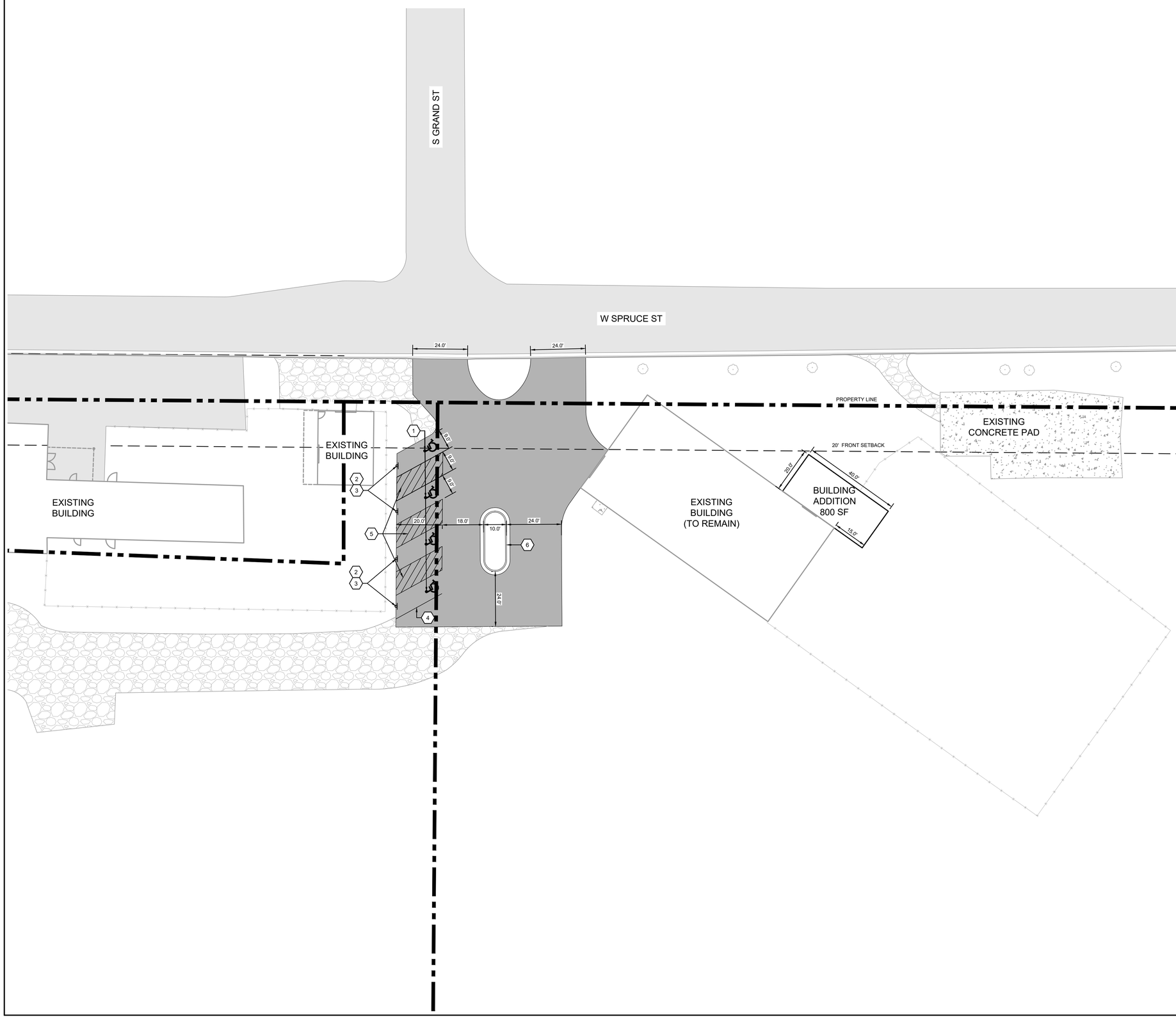
SCALE: AS NOTED
DESIGNED BY: TLB
DRAWN BY: DMP
CHECKED BY: TWC

STATE OF MICHIGAN
TYLER W. CRAVENS
ENGINEER
No. 6201067811
LICENSED PROFESSIONAL ENGINEER
4/23/2023

EXISTING CONDITIONS AND DEMOLITION PLAN

MILL HAVEN WEDDING VENUE
MARSHALL, MI

ORIGINAL ISSUE: 01/23/2023
PROJECT NO. 22112
SHEET NUMBER
C100



0 20 30 40

1 inch = 20 ft.

SITE INFORMATION

ZONING: B4 - REGIONAL COMMERCIAL

BUILDING SETBACK:
FRONT: 20 FT

OFF-STREET PARKING REQUIREMENTS:
STANDARD PARKING SPACE: 20 FT X 9 FT

WEDDING VENUE:
1 PARKING SPACE PER 45 SFT OF UFA:
5,019 SFT OF UFA / 45 SFT = 112 SPACES

TOTAL SPACES REQUIRED:	112 SPACES
TOTAL SPACES PROVIDED ON-SITE (SHEET C101A):	4 SPACES
TOTAL SPACES PROVIDED OFF-SITE (SHEET C101B):	113 SPACES
TOTAL SPACES PROVIDED:	117 SPACES
ADA PARKING SPACES REQUIRED:	5 SPACES
ADA PARKING SPACES PROVIDED ON-SITE (SHEET C101A):	4 SPACES
ADA PARKING SPACES PROVIDED OFF-SITE (SHEET C101B):	2 SPACES
TOTAL ADA PARKING SPACES PROVIDED:	6 SPACES

OFFICES/STORAGE BUILDING:
1 PARKING SPACE PER 300 SFT OF UFA:
1,155 SFT OF UFA / 300 FT = 4 SPACES

TOTAL SPACES REQUIRED:	4 SPACES
TOTAL SPACES PROVIDED (SHEET C101B):	4 SPACES
ADA PARKING SPACES REQUIRED:	1 SPACE
ADA PARKING SPACES PROVIDED:	1 SPACE

SITE GENERAL NOTES

1. DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED
2. CONTRACTOR TO FIELD VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON SITE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
3. BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING, UNLESS NOTED OTHERWISE.
4. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.

KEY NOTES

1. ACCESSIBLE PAVEMENT MARKINGS, TYP. (SEE DETAILS)
2. ACCESSIBLE PARKING SIGN, TYP. (MUTCD D9-6)
3. ACCESSIBLE PARKING SIGN, TYP. (MUTCD R7-8P)
4. 4" WIDE PAINTED SOLID BLUE LINE, TYP.
5. 4" WIDE PAINTED SOLID BLUE LINE AT 45 DEGREES, TYP.
6. TYPE C4 CURB AND GUTTER (SEE DETAILS)

PAVEMENT LEGEND

STANDARD DUTY PAVEMENT:
1.5" HMA (165#/SYD) 5E1 TOP COURSE
1.5" HMA (275#/SYD) 4E1 LEVELING COURSE
6" AGGREGATE BASE, 22A
12" SUBBASE, CIP

EXISTING ASPHALT PAVEMENT

EXISTING GRAVEL SURFACE

EXISTING GRAVEL SURFACE

No.	REVISIONS	DATE	BY

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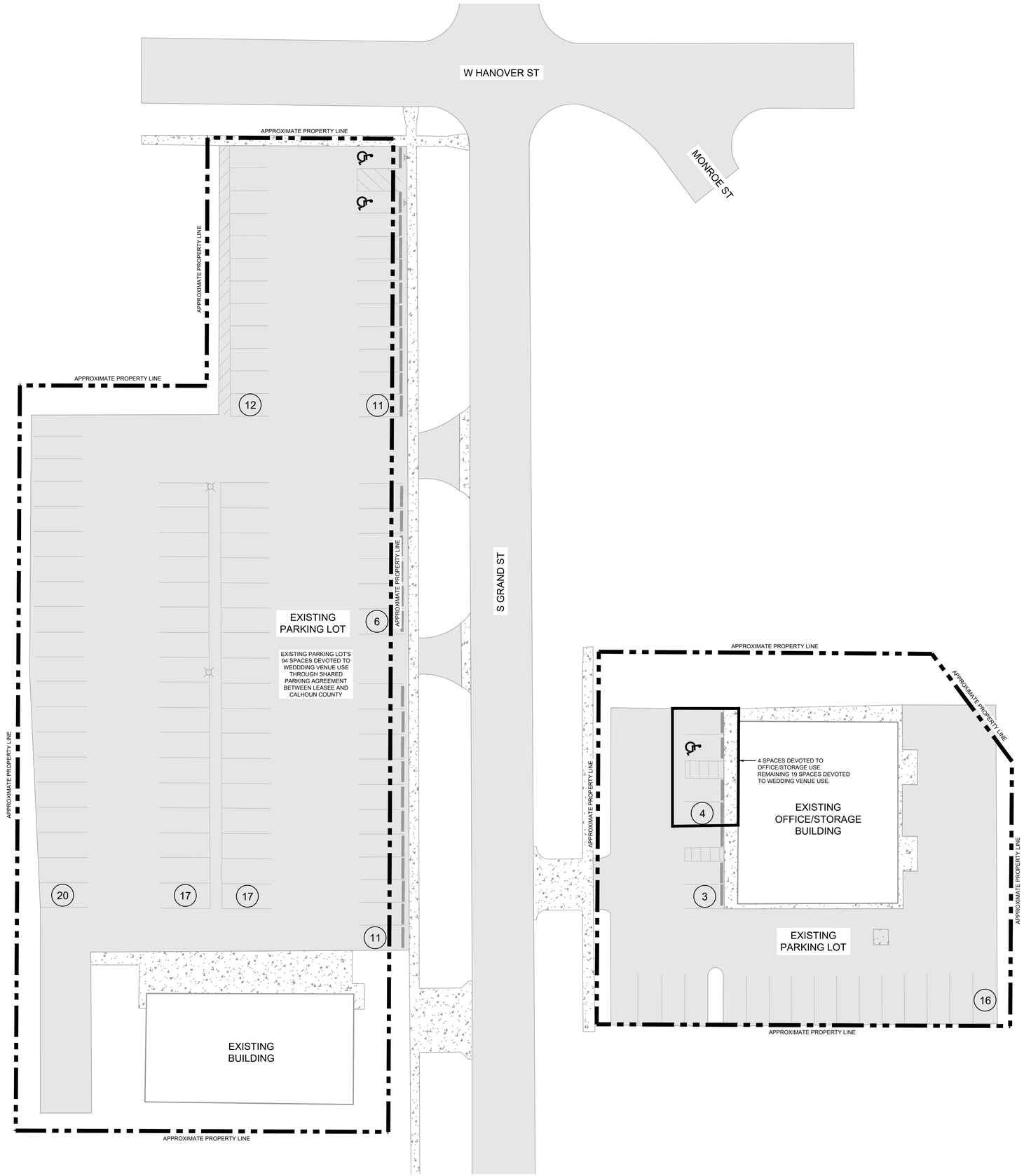
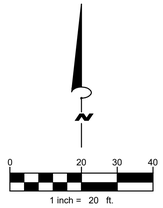
STATE OF MICHIGAN
TYLER W. CRAVENS
ENGINEER
No. 6201067811
LICENSED PROFESSIONAL ENGINEER
1/23/2023

SITE PLAN

MILL HAVEN WEDDING VENUE
MARSHALL, MI

ORIGINAL ISSUE: 01/23/2023
PROJECT NO. 22112
SHEET NUMBER
C101A





PAVEMENT LEGEND

- EXISTING ASPHALT PAVEMENT
- EXISTING GRAVEL SURFACE

No.	REVISIONS	DATE	BY

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STATE OF MICHIGAN
TYLER W. CRAVENS
ENGINEER
No. 6201067811
LICENSED PROFESSIONAL ENGINEER
1/23/2023

SITE PLAN

MILL HAVEN WEDDING VENUE
MARSHALL, MI

ORIGINAL ISSUE: 01/23/2023
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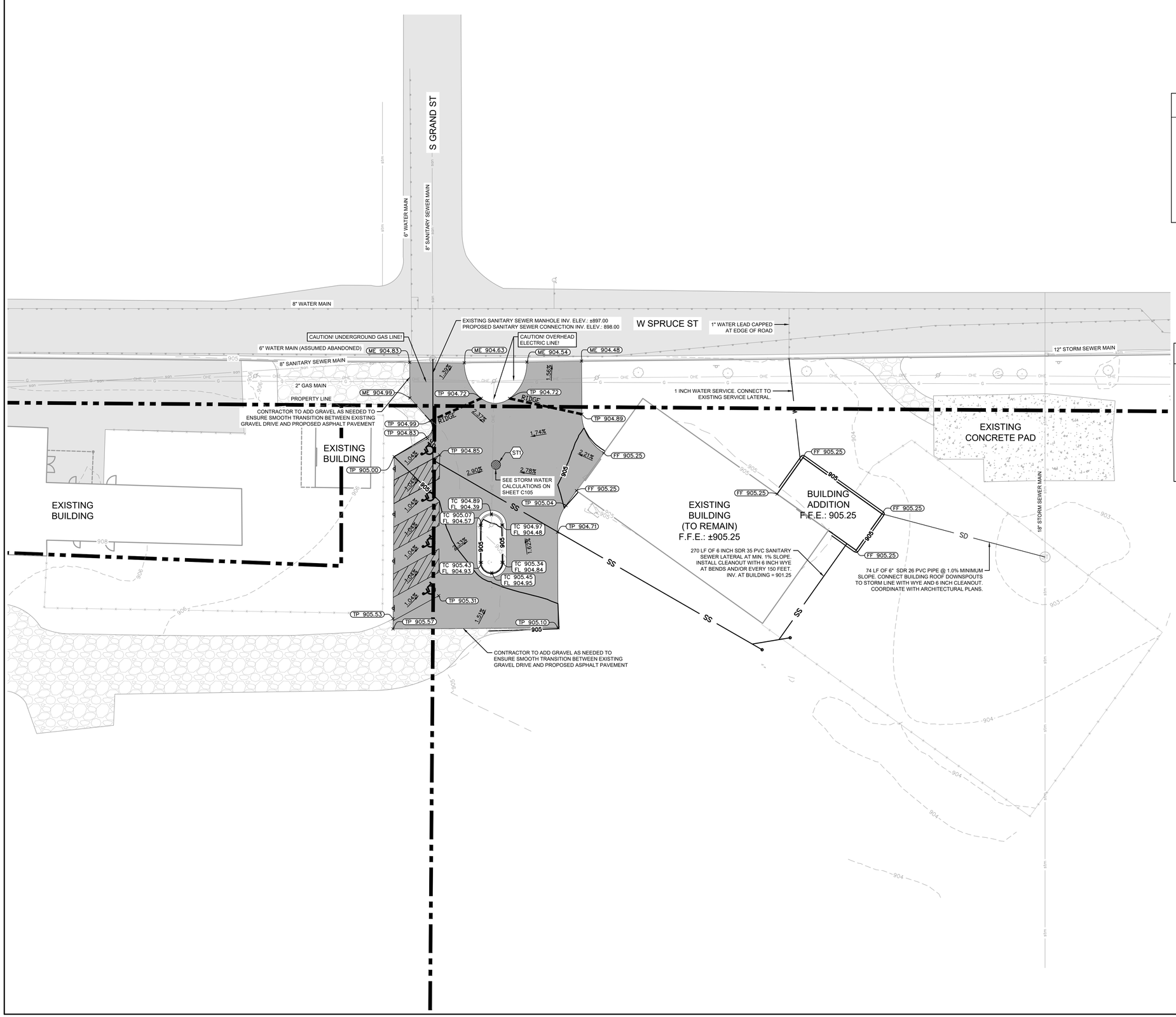
SHEET NUMBER
C101B



1 inch = 20 ft.

GRADING NOTES

1. CONTRACTOR SHALL COORDINATE WITH EXCAVATOR, LANDSCAPE, AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
2. ALL EARTHEN SLOPES SHALL BE LESS THAN 4:1 UNLESS OTHERWISE NOTED
3. MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ANY DIRECTION
4. THE CONTRACTOR SHALL MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS UNLESS OTHERWISE NOTED
5. WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM THE CURB, THE CONTRACTOR SHALL INSTALL REVERSE GUTTER PITCH

GRADING LEGEND

ME = MATCH ELEVATION
FF = FINISH FLOOR
TP = TOP OF PAVEMENT

XXX	EXISTING CONTOUR
XXX	PROPOSED CONTOUR
RIDGE	RIDGE LINE

UTILITY NOTES

1. ALL REINFORCED CONCRETE PIPE SHALL BE CLASS IV
2. ALL WATER LINES GREATER THAN 3 INCHES IN DIAMETER SHALL BE DUCTILE IRON PIPE, CLASS 52
3. SANITARY SEWER LINES SHALL BE PVC MEETING ASTM D-3034 SDR 26 EXCEPT FOR SANITARY SEWER THAT CROSSES ABOVE WATER MAIN. THIS PIPE SHALL BE AWWA C900 (UNLESS CASING IS UTILIZED). PROVIDE 42" MINIMUM COVER, MINIMUM 18" VERTICAL SEPARATION, AND 10' HORIZONTAL SEPARATION BETWEEN PIPES.
4. ANY DISRUPTIONS TO EXISTING SERVICE LINES FOR ADJACENT PROPERTIES SHALL BE COORDINATED WITH AFFECTED PROPERTY OWNERS
5. THE CONTRACTOR SHALL NOTIFY MISS DIG (800-482-7171) TO COORDINATE FIELD LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
6. SEE ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING PLANS FOR EXACT UTILITY CONNECTION LOCATIONS AT BUILDING

UTILITY LEGEND

G	EXISTING NATURAL GAS LINE
OHE	EXISTING OVERHEAD ELECTRIC LINE
w	EXISTING WATER LINE
san	EXISTING SANITARY SEWER LINE
stm	EXISTING STORM SEWER LINE
W	PROPOSED WATER LINE
SS	PROPOSED SANITARY SEWER LINE
SD	PROPOSED STORM SEWER LINE
	PROPOSED OPEN LID STORM MANHOLE

STRUCTURE TABLE

ST1 6' LEACHING BASIN SEE DETAILS EJ 1020, TYPE M1	RIM 904.18

No.	REVISIONS	DATE	BY

MITTEN STATE ENGINEERING
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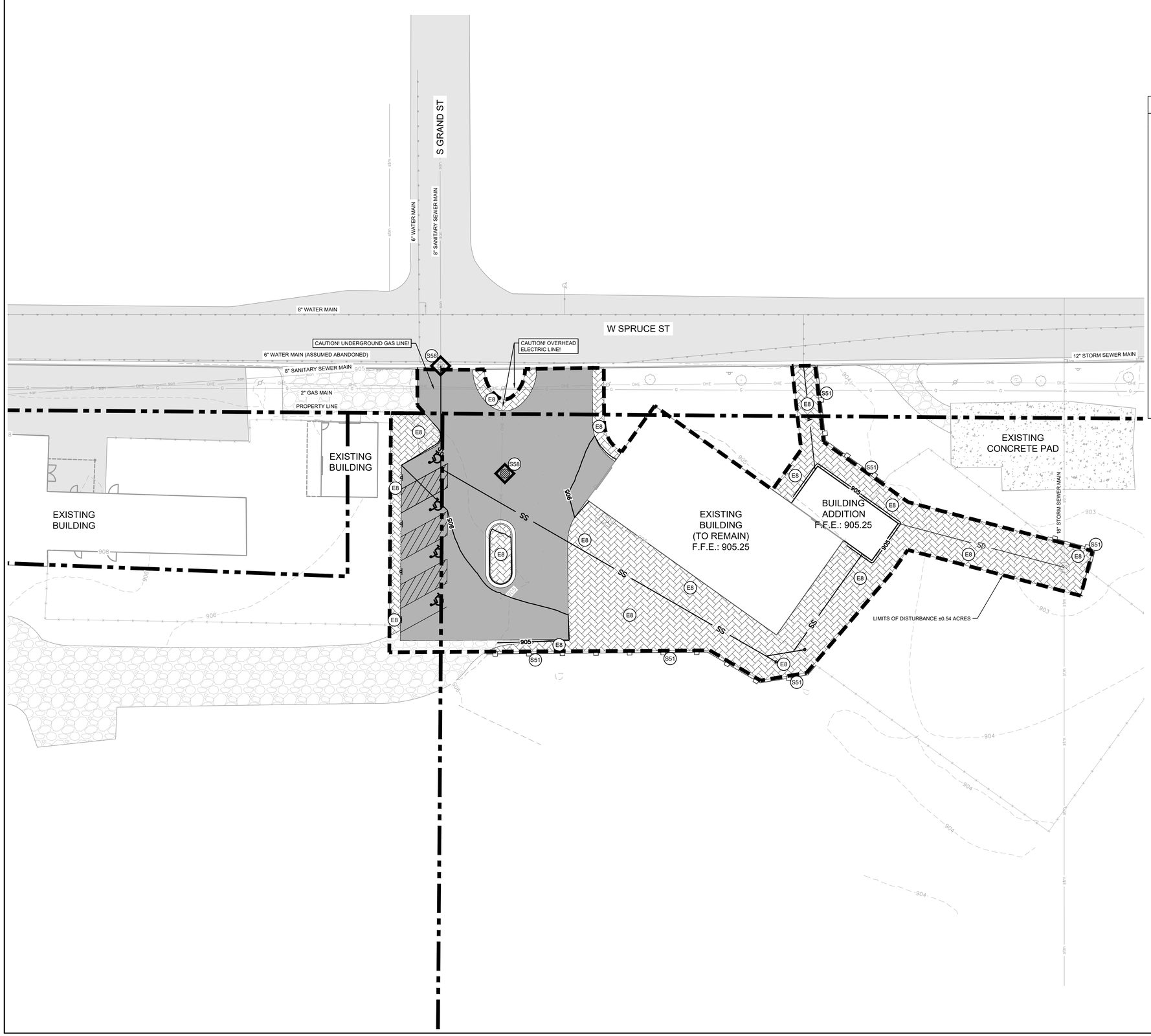
STATE OF MICHIGAN
TYLER W. CRAVENS
ENGINEER
No. 6201067811
LICENSED PROFESSIONAL ENGINEER
01/23/2023

GRADING AND UTILITY PLAN

MILL HAVEN WEDDING VENUE
MARSHALL, MI

ORIGINAL ISSUE: 01/23/2023
PROJECT NO. 22112
SHEET NUMBER
C102



0 20 30 40

1 inch = 20 ft.

SOIL EROSION & SEDIMENTATION CONTROL NOTES

1. ALL CONSTRUCTION METHODS SHALL BE DONE IN COMPLIANCE WITH THE MICHIGAN SOIL EROSION AND SEDIMENTATION CONTROL ACT. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING A "SOIL EROSION PERMIT" FROM THE COUNTY AND A "PERMIT BY RULE/NOTICE OF COVERAGE" FROM THE MDEQ PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL REQUIREMENTS OF THE COUNTY "SOIL EROSION PERMIT" AND FOR ALL CERTIFIED STORM WATER INSPECTION SERVICE REQUIRED BY THE "PERMIT BY RULE." EROSION CONTROL MEASURES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS AND SHALL NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR PROVIDING ALL REQUIRED EROSION CONTROL MEASURES.
2. AVOID UNNECESSARY DISTURBING OR REMOVING OF EXISTING VEGETATED TOPSOIL OR EARTH COVER, THESE COVER AREAS ACT AS SEDIMENT FILTERS.
3. ALL TEMPORARY SOIL EROSION PROTECTION SHALL REMAIN IN PLACE UNTIL REMOVAL IS REQUIRED FOR FINAL CLEAN UP AND APPROVAL.
4. GEOTEXTILE SILT FENCE SHALL BE INSTALLED AS REQUIRED WHEN CROSSING CREEKS OR WHEN ADJACENT TO WETLANDS OR SURFACE WATER BODIES TO PREVENT SILTATION AND ELSEWHERE AS DIRECTED BY THE ENGINEER. SEEDING AND/OR SODDING SHALL BE INSTALLED ON CREEK BANKS IMMEDIATELY AFTER CONSTRUCTION TO PREVENT EROSION.
5. MAINTENANCE, CLEANING, AND REMOVAL OF THE VARIOUS SEDIMENT CONTROL MEASURES SHALL BE INCLUDED IN THE VARIOUS EROSION CONTROL ITEMS.

(##) NUMBER IN CIRCLE REFERS TO NUMBERED DETAILS IN STATE OF MICHIGAN SOIL EROSION AND SEDIMENTATION CONTROL GUIDEBOOK. SOIL EROSION CONTROL PLANS DENOTE MINIMUM EROSION MEASURES REQUIRED AS DESCRIBED BELOW.

(E8) DENOTES PERMANENT SEEDING. ALL DISTURBED AREAS NOT PAVED OR GRAVELED SHALL BE RESTORED. SEE DETAIL SHEET.

(S51) DENOTES TEMPORARY SILT FENCE. SILT FENCE SHALL BE INSTALLED AT CREEK CROSSINGS, ADJACENT TO ALL WETLANDS AND SURFACE WATERS, AND OTHER LOCATIONS AS DIRECTED BY THE ENGINEER. EACH SILT FENCE SHALL BE INSTALLED GENERALLY ALONG THE SAME CONTOUR ELEVATION. SEE DETAIL SHEET.

(S58) DENOTES INLET PROTECTION FABRIC DROP. SHALL BE INSTALLED AT EXISTING AND PROPOSED STORM SEWER INLETS TO PROVIDE SETTLING AND FILTERING OF SILT LADEN WATER PRIOR TO ENTRY INTO THE DRAINAGE SYSTEM. SEE DETAIL SHEET.

EROSION CONTROL LEGEND

- PERMANENT SEEDING. INSTALL MULCH BLANKET ON ALL SLOPES GREATER THAN 3:1
- INLET PROTECTION
- = EXISTING MAJOR CONTOUR
- = EXISTING MINOR CONTOUR
- = PROPOSED MAJOR CONTOUR
- = PROPOSED MINOR CONTOUR
- = SILT FENCE
- = LIMITS OF DISTURBANCE

CONSTRUCTION SEQUENCING

1. INSTALL SOIL EROSION MEASURES.
2. ROUGH GRADING OF THE SITE.
3. BEGIN BUILDING ADDITION CONSTRUCTION.
4. UTILITY CONNECTIONS AND SERVICES TO BUILDING ADDITION.
5. FINAL GRADING OF THE SITE.
6. PAVE SITE.
7. REMOVE TEMPORARY SOIL EROSION MEASURES AFTER VEGETATION HAS BEEN ESTABLISHED.

NEARBY WATER

NEAREST COUNTY DRAIN / RIVER / STREAM / LAKE IS NORTH BRANCH KALAMAZOO RIVER. (±900 FEET TO THE SOUTH)

SOILS INFORMATION

BASED ON USDA INFORMATION. THE SITE CONSISTS OF KALAMAZOO COMPLEX. SOIL HYDRAULIC GROUP B.

No.	REVISIONS	DATE	BY

MITTEN STATE ENGINEERING

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DELTON, MI 49046

PHONE:
(269) 364-5626

SCALE: AS NOTED | DESIGNED BY: TLB | DRAWN BY: DMP | CHECKED BY: TWC

STATE OF MICHIGAN
TYLER W. CRAVENS
ENGINEER
No. 6201067811
LICENSED PROFESSIONAL ENGINEER

1/23/2023

EROSION CONTROL PLAN

MILL HAVEN WEDDING VENUE
MARSHALL, MI

ORIGINAL ISSUE: 01/23/2023

PROJECT NO. 22112

SHEET NUMBER

C103

STABILIZATION TYPE	JAN.	FEB.	MAR.	APR.	MAY	JUNE	JULY	AUG.	SEPT.	OCT.	NOV.	DEC.
PERMANENT SEEDING			A			*	*					
DORMANT SEEDING	B										B	
TEMPORARY SEEDING			C				D					
SODDING			E **									
MULCHING	F											

A KENTUCKY BLUEGRASS 90 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 30 LBS/ACRE

B KENTUCKY BLUEGRASS 135 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 45 LBS/ACRE + 2 TONS STRAW MULCH/ACRE

C SPRING OATS 100 LBS/ACRE

D WHEAT OR CEREAL RYE 150 LBS/ACRE

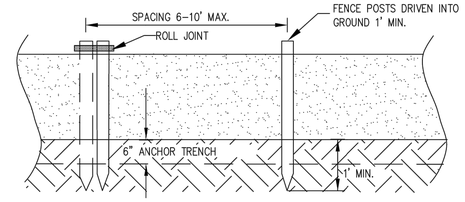
E SOD

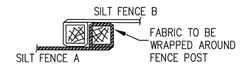
F STRAW MULCH 2 TONS/ACRE

* WATERING NEEDED DURING JUNE AND JULY

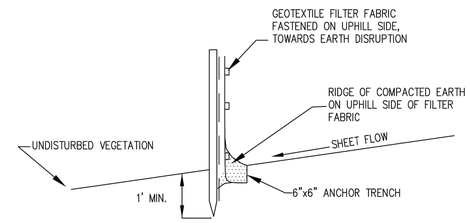
** WATERING NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOD

S51 SILT FENCE





ROLL JOINTS



STANDARD SYMBOL

STATE OF MICHIGAN
DEPARTMENT OF TECHNOLOGY, MANAGEMENT AND BUDGET
STATE FACILITIES ADMINISTRATION

E8 PERMANENT SEEDING

Planting Zones:	Lower Peninsula (South of T20N) Zone 1	Lower Peninsula (North of T20N) Zone 2	Upper Peninsula Zone 3
Seeding Window Permanent Seeding	4/15 – 10/10	5/1 – 10/1	5/1 – 9/20
Seeding Window Dormant Seeding*	11/15 – Freeze	11/01 – Freeze	11/01 – Freeze

Source: Adapted from MDOT Interim 2003 Standard Specifications for Construction

	Zone 1 Lower Peninsula (South of U.S. 10)	Zone 2 Lower Peninsula (North of U.S. 10)	Zone 3 Upper Peninsula
Seeding Dates (with Irrigation or Mulch)	4/1 – 8/1	5/1 – 9/20	5/1 – 9/10
Seeding Dates (w/o Irrigation or Mulch)	4/1 – 5/20 or 8/10 – 10/1	5/1 – 6/10 or 8/1 – 9/20	5/1 – 6/15 or 8/1 – 9/20
Dormant Seeding Dates*	11/1 – Freeze	10/25 – Freeze	10/25 – Freeze

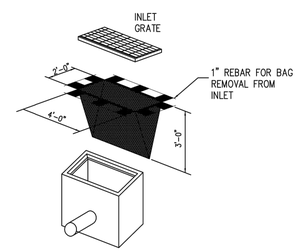
Source: Adapted from USDA NRCS Technical Guide #342 (1999)

* Dormant seeding is for use in the late fall after the soil temperature remains consistently below 50°F, prior to the ground freezing. This practice is appropriate if construction on a site is completed in the fall but the seed was not planted prior to recommended seeding dates. No seed germination will take place until spring. A cool season annual grass may be added in an attempt to have some fall growth.

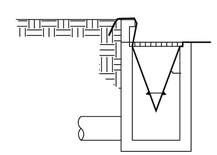
- Mulch must be used with dormant seed.
- Do not seed when the ground is frozen or snow covered.
- Do not use a dormant seed mix on grassed waterways.

STATE OF MICHIGAN
DEPARTMENT OF TECHNOLOGY, MANAGEMENT AND BUDGET
STATE FACILITIES ADMINISTRATION

S58 INLET PROTECTION – FABRIC DROP



ISOMETRIC VIEW



INSTALLATION DETAIL

STANDARD SYMBOL

STATE OF MICHIGAN
DEPARTMENT OF TECHNOLOGY, MANAGEMENT AND BUDGET
STATE FACILITIES ADMINISTRATION

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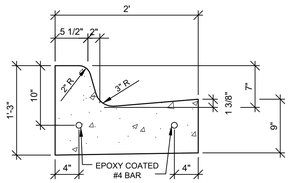
STATE OF MICHIGAN
TYLER W. CRAVENS
ENGINEER
No. 6201067811
LICENSED PROFESSIONAL ENGINEER
1/23/2023

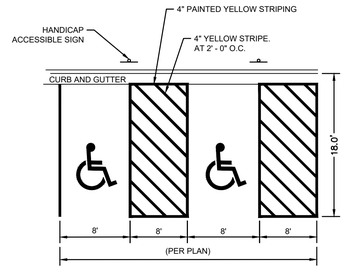
EROSION CONTROL DETAILS

MILL HAVEN WEDDING VENUE
MARSHALL, MI

ORIGINAL ISSUE: 01/23/2023
PROJECT NO. 22112
SHEET NUMBER
C104



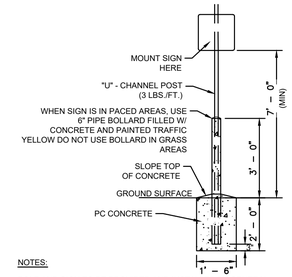
CURB & GUTTER - DETAIL C4



NOTE: REFER TO PLAN FOR
DETAILED LAYOUT AND DIMENSIONS

TYPICAL HANDICAP STRIPING

SCALE: NONE



NOTES:

POLE AND SIGN TO BE PROVIDED AND INSTALLED BY GENERAL CONTRACTOR.

ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

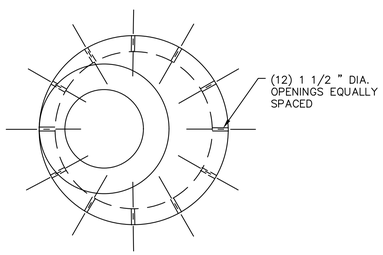
STANDARD SIGN BASE

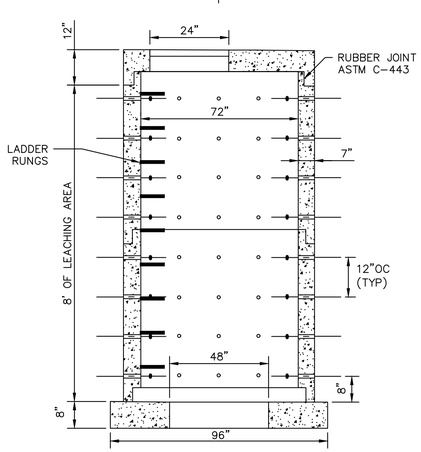
SCALE: NONE

STORM WATER CALCULATIONS

REQUIRED FLOOD CONTROL VOLUME CALCULATIONS
C = RUNOFF COEFFICIENT: 0.9
A = PARKING LOT AREA: 0.18 ACRES
P = DESIGN RAINFALL (100-YEAR): 5.5 INCHES
REQUIRED FLOOD CONTROL VOLUME = CAP X 3630 = 3,231 CFT

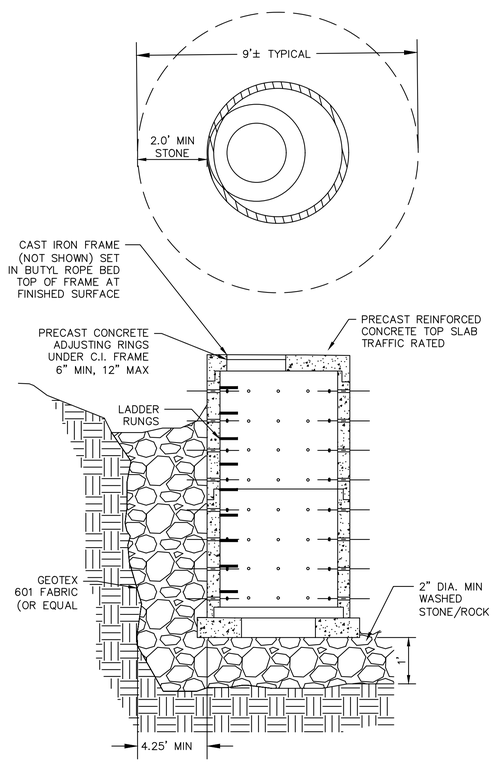
LEACHING BASIN PARAMETERS:
6' DIAMETER
8' LEACHING HEIGHT
4.25' OF STONE AROUND LEACHING BASIN
40% STONE POROSITY
24-HR DESIGN
PROPOSED FLOOD CONTROL VOLUME = 3,320 CFT





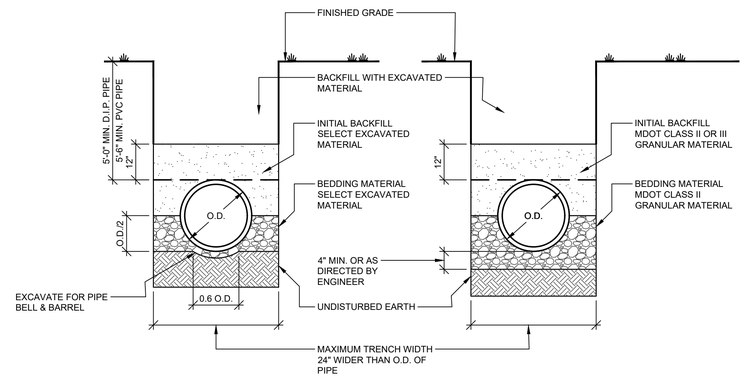
TYPICAL LEACHING BASIN

N.T.S.



TYPICAL LEACHING BASIN INSTALLATION

N.T.S.



TRENCH DETAIL
IN SUITABLE SOIL

TRENCH DETAIL
IN UNSUITABLE SOIL

No.	REVISIONS	DATE	BY

MITTEN STATE ENGINEERING

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CHECKED BY: TWC

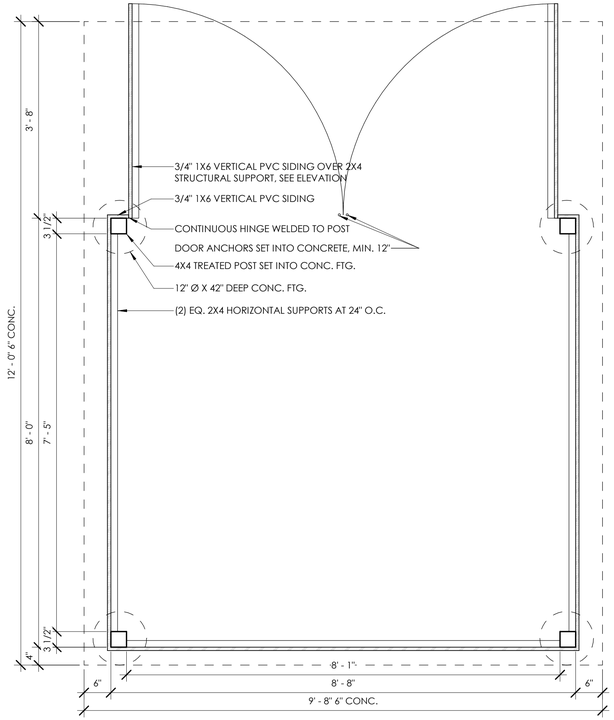
STATE OF MICHIGAN
TYLER W. CRAVENS
ENGINEER
No. 6201067811
LICENSED PROFESSIONAL ENGINEER

1/23/2023

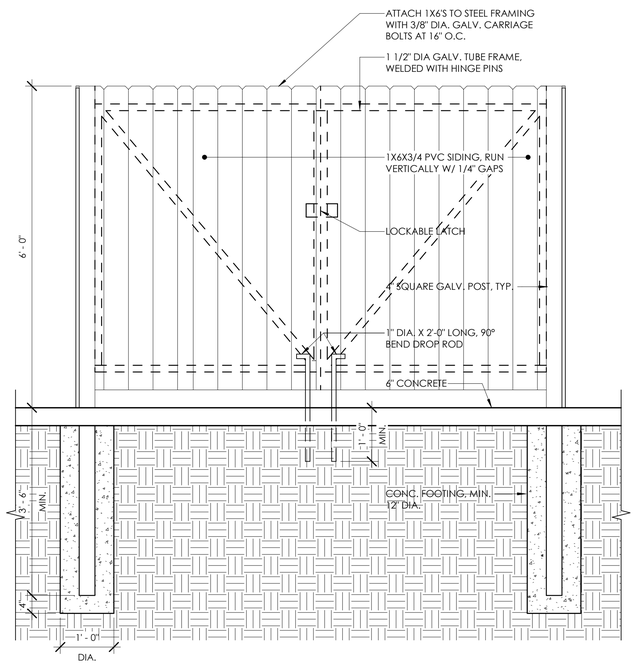
CONSTRUCTION DETAILS

MILL HAVEN WEDDING VENUE
MARSHALL, MI

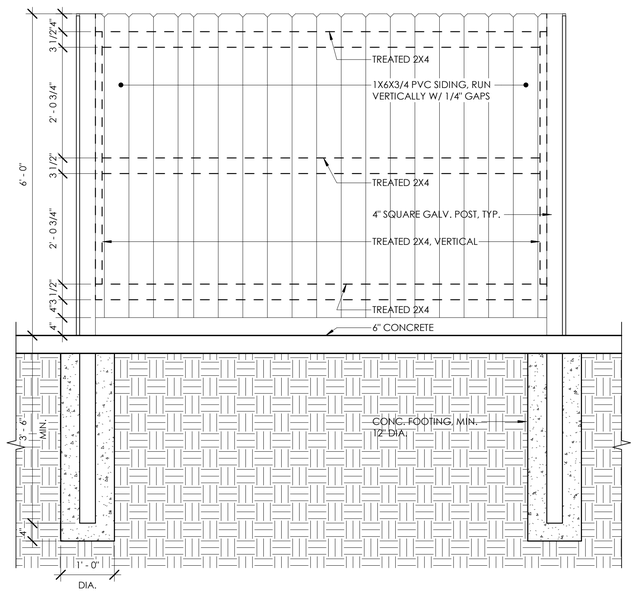
ORIGINAL ISSUE: 01/23/2023
PROJECT NO. 22112
SHEET NUMBER
C105



1 C106 **DUMPSTER FRONT ELECATION**
3/4" = 1'-0"



2 C106 **DUMPSTER FRONT ELECATION**
3/4" = 1'-0"



3 C106 **DUMPSTER FRONT ELECATION**
3/4" = 1'-0"

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CLIENT
MILLHAVEN

ISSUE
SITE PLAN REVIEW

REVISION

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SCALE 3/4" = 1'-0"
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PROJECT NUMBER
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DUMPSTER ENCLOSURE DETAILS

C106

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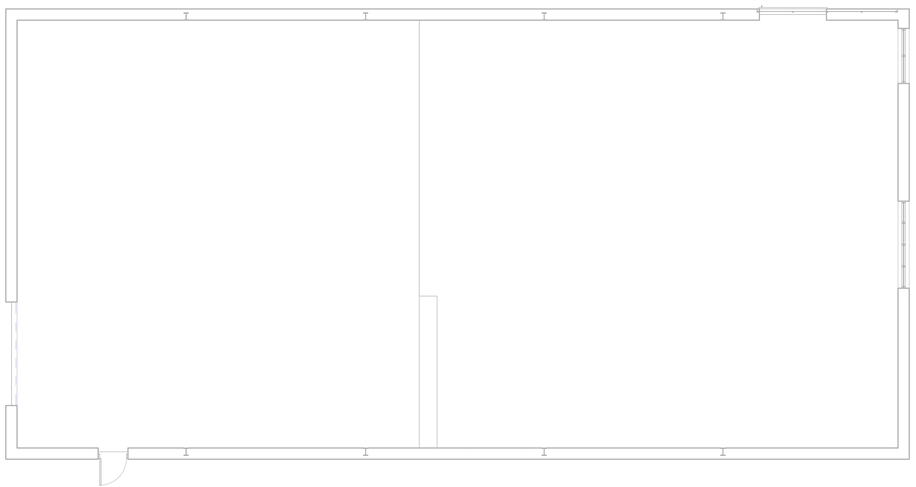

1 A000 FIRST FLOOR EXISTING PLAN
1/8" = 1'-0"

GENERAL NOTES

EXISTING PLANS AND DIMENSIONS ARE SHOWN FOR REFERENCE ONLY

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EXISTING FLOOR PLANS

A000

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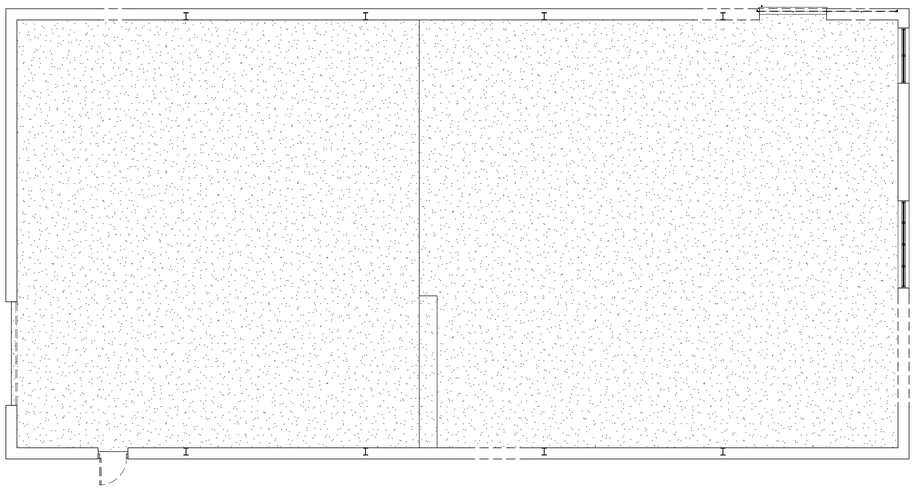

1 / A110 FIRST FLOOR DEMOLITION PLAN
1/8" = 1'-0"

DEMOLITION NOTES

1. REMOVE ALL DASHED WALLS, WINDOWS, AND DOORS COMPLETELY.
2. OWNER TO REMOVE ALL FURNISHINGS/ EQUIPMENT THAT THEY WISH TO RETAIN FROM THE AREAS OF DEMOLITION/ CONSTRUCTION PRIOR TO THE START OF CONSTRUCTION WORK IN EACH AREA. OWNER TO COORDINATE WITH CONTRACTOR REGARDING THE TIME SCHEDULE FOR THIS TO BE COMPLETED.
3. PATCH AND FILL ANY HOLES IN THE WALL CAUSED BY THE REMOVAL OF DOORS, WINDOWS, OR WALLS TO MATCH SURROUNDINGS.
4. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL SURFACES NOT BEING REMODELED IN THE PROJECT AND IN THE PATH OF THE CONTRACTORS TRAVEL, SETUP AND/ OR PROJECT MATERIAL STORAGE. THE CONTRACTOR MUST RETURN THE AREAS DISTURBED AS REQUIRED FOR ACCESS TO ITS PRE-EXISTING CONDITION.
5. ANY HAZARDOUS MATERIALS ARE TO BE REMOVED BY A LICENSED PROFESSIONAL IN THE STATE OF MICHIGAN.
6. ALL SAFETY ISSUES RELATED TO DEMOLITION ARE THE RESPONSIBILITY OF THE CONTRACTOR AND MUST COMPLY WITH ALL STATE, LOCAL, ENVIRONMENTAL AND LABOR LAWS DURING THE CONSTRUCTION OF THIS PROJECT.
7. SEQUENCE DEMOLITION WITH STRUCTURAL WORK TO ASSURE SAFETY, PROVIDE SHORING AS REQ'D TO ENSURE SAFE CONDITIONS EXIST. SHORING IS NOT SHOWN ON PLANS. STRUCTURAL ELEMENTS ARE TO REMAIN, UNLESS NOTED OTHERWISE. COORDINATE WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS.
8. ALL TRADES TO COORDINATE BETWEEN ONE ANOTHER TO AVOID CONFLICTS.
9. NOTATIONS ARE MADE IN VARIOUS PLACES ON THE DRAWINGS TO CALL ATTENTION TO DEMOLITION WHICH IS REQUIRED. THESE DRAWINGS ARE NOT INTENDED TO SHOW EACH AND EVERY ITEM TO BE REMOVED. CONTRACTOR SHALL REMOVE ALL MATERIALS RELATED TO THEIR RESPECTIVE TRADES AS REQUIRED TO PERMIT THE CONSTRUCTION OF THE NEW WORK AS SHOWN.
10. THE CONTRACTOR SHOULD TAKE CARE DURING THE PROJECT TO NOT INTERRUPT THE USE IN AREAS NOT IN SCOPE.
11. PRIOR TO ANY DIGGING ON OR AROUND THE SITE UTILITIES ARE TO BE LOCATED USING MISS DIG.
12. ALL RUBBISH AND DEBRIS FROM DEMOLITION IS TO BE REMOVED IMMEDIATELY FROM THE SITE AFTER DEMOLITION. COORDINATE ALL DEMOLITION, DUMPSTER LOCATIONS, BARRICADING, PEDESTRIAN PROTECTION MEASURES, ETC. WITH THE OWNER AND LOCAL MUNICIPALITY PRIOR TO COMMENCEMENT.
13. REMOVE ALL LIGHTING, WIRING, FIRE ALARM DEVICES, RECEPTACLES, AND SPEAKERS FROM WALLS AND CEILINGS BEING REMOVED. COORDINATE WITH ARCHITECT AS REQUIRED. REMOVE ALL ABANDONED EXPOSED CONDUIT AND WIRING BACK TO SOURCE. REMOVE WIRING BACK TO PANEL OR NEAREST JUNCTION BOX. RE-LABEL CIRCUIT BREAKER AS SPARE, IN SCOPE OF WORK.
14. PROVIDE BLANK COVERPLATE OVER EMPTY OUTLET BOXES IF DEVICE IS REMOVED AND NOT REPLACED.
15. REMOVE ALL EXISTING HVAC, FIRE PROTECTION AND PLUMBING EQUIPMENT, PIPING BACK TO MAIN AND ALL ASSOCIATED ACCESSORIES. SANITARY, STORM, AND VENT STACKS TO REMAIN, CAP ANY UNUSED AREAS.
16. SALVAGE MATERIALS AS REQUIRED IF PART OF THE SCOPE IS MATCHING MATERIALS OR INFILL MATERIALS AS PART OF A RENOVATION PROJECT.
17. REMOVE ALL CEILINGS AND FLOOR FINISHES IN AREAS OF DEMOLITION U.N.O.
18. ALL EXISTING COLUMNS AND STRUCTURAL ELEMENTS TO REMAIN. ANY DISCREPANCIES THAT OCCUR IN THE FIELD DURING DEMOLITION SHOULD BE BROUGHT TO THE ARCHITECT'S ATTENTION.
19. THE CONTRACTOR SHALL MAINTAIN THE JOB SITE TO BROOM CLEAN AT ALL TIMES.
20. THE OWNER WILL MAINTAIN OCCUPANCY OF SPACES ADJACENT TO AREAS OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL POTENTIALLY DISRUPTIVE ACTIVITIES WITH THE OWNER.

WALL LEGEND

- EXISTING WALL TO REMAIN
- ELEMENTS TO BE REMOVED
- 1 HOUR PARTITION
- 2 HOUR PARTITION
- EXTENT OF WORK

MATERIAL LEGEND

- CMU
- CONCRETE
- WOOD BLOCKING
- STEEL (LARGE SCALE)
- PLASTER
- RIGID INSULATION
- PLYWOOD
- MILLWORK

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DEMOLITION PLANS
A110

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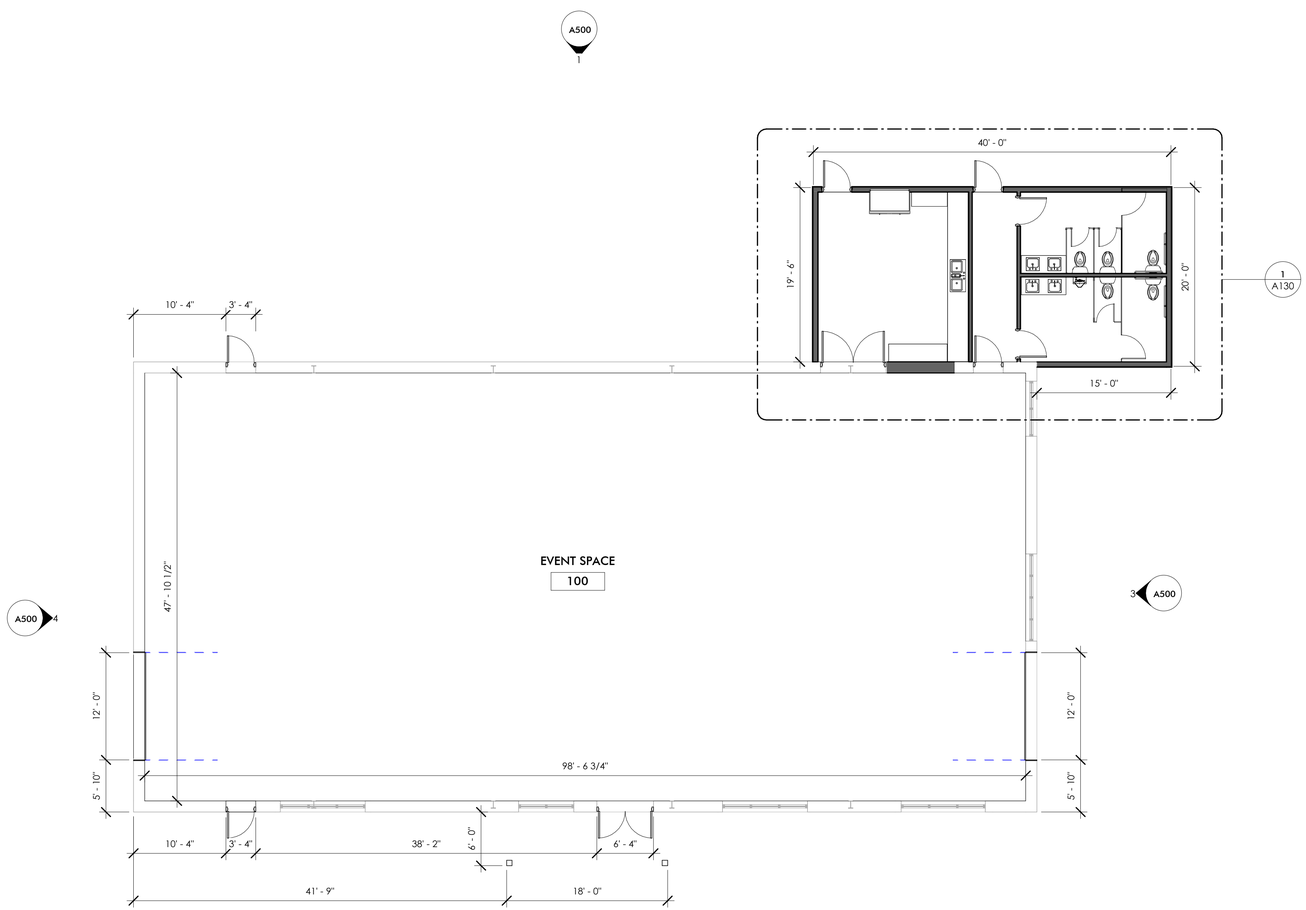

1 A120 **FIRST FLOOR PLAN**
1/8" = 1'-0"

GENERAL NOTES

1. ALL GYPSUM BOARD THROUGHOUT IS TO BE 5/8" TYPE-X AS A MINIMUM.
2. ALL EXISTING INTERIOR WALLS THAT ARE TO REMAIN ARE TO BE PATCHED AS REQUIRED FROM NEW UTILITIES OR GENERAL CONSTRUCTION.
3. INFILL OF EXISTING WALL OPENINGS IS TO RESULT IN FLUSH FINISHES ON BOTH SIDES OF THE WALL, UNLESS OTHERWISE NOTED, USE APPROPRIATE STUD FRAMING TO ACHIEVE DESIRED FINISH.
4. INSTALL WOOD BLOCKING IN WALLS AS NECESSARY FOR INSTALLATION OF ALL CASEWORK, MIRRORS, TOWEL BARS, SHOWER CURTAIN RODS, TOILET PAPER DISPENSERS, PAPER TOWEL HOLDERS, TOILET PARTITIONS, RAILINGS, AND ANY OTHER ACCESSORIES.
5. PROVIDE CEMENT BOARD IN LIEU OF GYPSUM BOARD AT ALL BATHTUB, SHOWER, AND KITCHEN LOCATIONS TO RECEIVE WALL TILE. COORDINATE WITH INTERIORS.
6. DRAWINGS ESTABLISH THE DESIGN INTENT OF WORK TO BE PERFORMED. ALL PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. ALL TRADES SHALL CAREFULLY COORDINATE WORK OF ALL OTHER TRADES. CONTRACTORS SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS AND FOR VERIFYING THEM WITH THE CONTRACT DOCUMENTS. ANY DISCREPANCIES OR CONFLICTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT AND THE OWNER PRIOR TO FABRICATION OR INSTALLATION.
7. COORDINATE SIZE AND LOCATION OF ALL EQUIPMENT SUPPORTS INCLUDING BUT NOT RESTRICTED TO CONCRETE HOUSEKEEPING PADS WITH APPROPRIATE EQUIPMENT MANUFACTURER.
8. VERIFY QUANTITY, SIZE, AND LOCATION OF ALL FLOOR, ROOF, AND WALL OPENINGS FOR ALL DISCIPLINES INCLUDING BUT NOT RESTRICTED TO MECHANICAL AND ELECTRICAL WORK WITH THE APPROPRIATE TRADE. PROVIDE ALL OPENINGS SHOWN OR REQUIRED FOR THE COMPLETION OF THE WORK. PROVIDE ALL LINTELS REQUIRED FOR THESE OPENINGS PER SPECIFICATIONS.
9. VERIFY QUANTITY, SIZE, AND LOCATION OF ALL FLOOR, ROOF, AND WALL OPENINGS FOR ALL DISCIPLINES INCLUDING BUT NOT RESTRICTED TO MECHANICAL AND ELECTRICAL WORK WITH THE APPROPRIATE TRADE.
10. DIMENSIONS PRECEDED BY +/- SHOULD BE REVIEWED AND ALL NECESSARY ADJUSTMENTS MADE PRIOR TO FABRICATION AND/OR INSTALLATION OF AFFECTED WORK. NOTIFY ARCHITECT'S REPRESENTATIVE IF DISCREPANCIES ARISE BEFORE PROCEEDING WITH THE WORK.
11. BATHROOM MIRRORS AND LIGHT FIXTURES ABOVE VANITIES SHALL BE CENTERED ON THE SINKS.

DRIVEN DESIGN

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REVISION

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NEW FLOOR PLANS
A120

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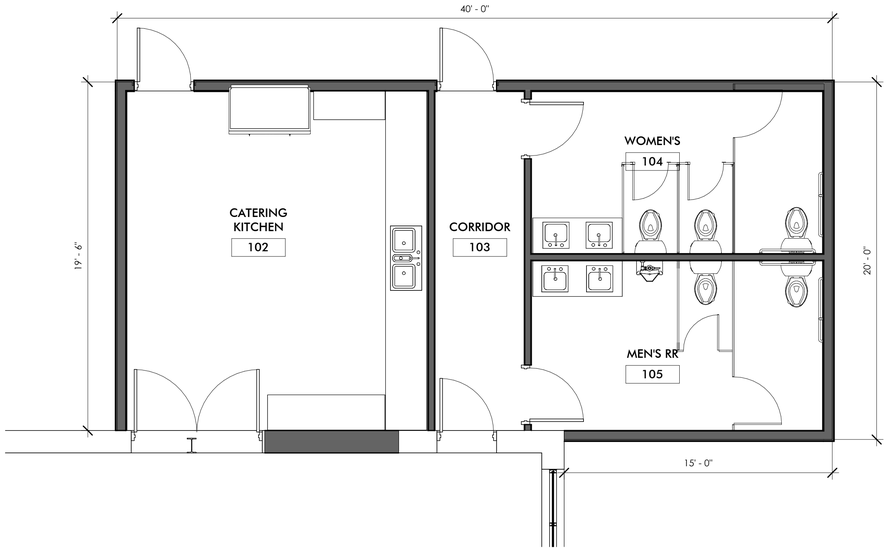

1 A130 **ENLARGED PLAN**
1/4" = 1'-0"

GENERAL NOTES

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SCALE 1/4" = 1'-0"
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ENLARGED PLANS

A130

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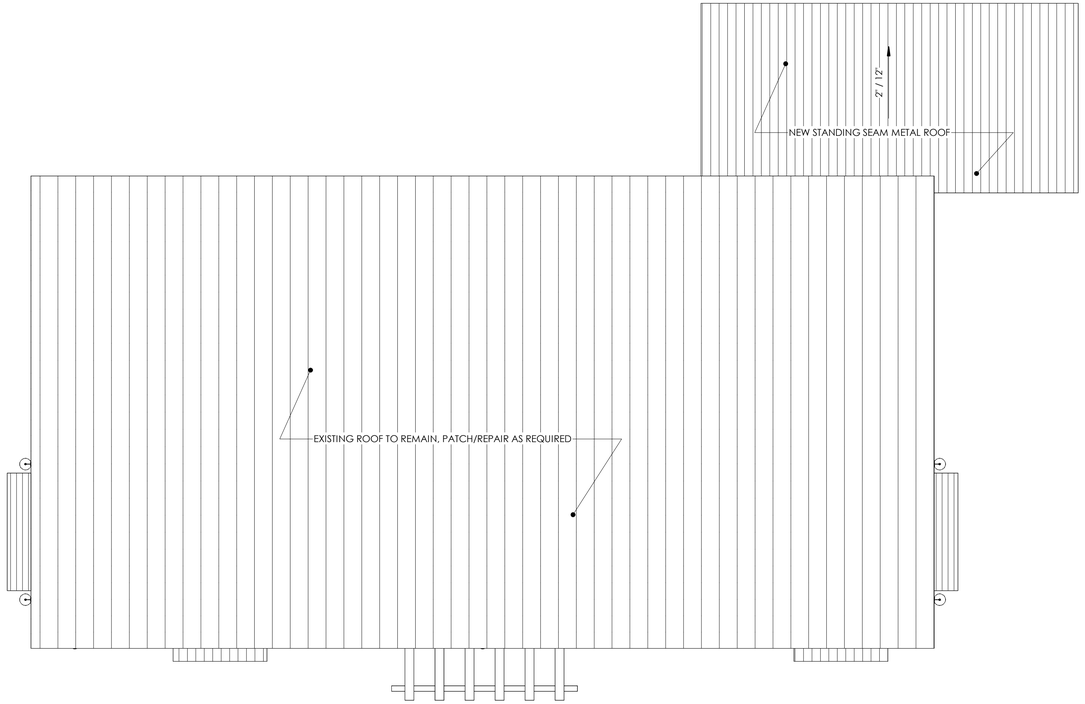

1 A210 **ROOF PLAN**
1/8" = 1'-0"

GENERAL NOTES

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ROOF PLAN

A210

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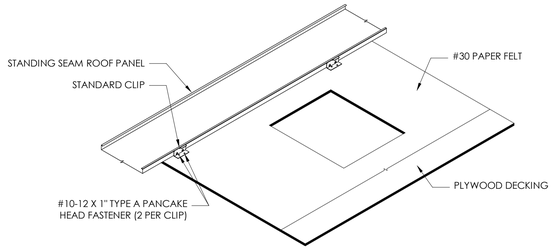
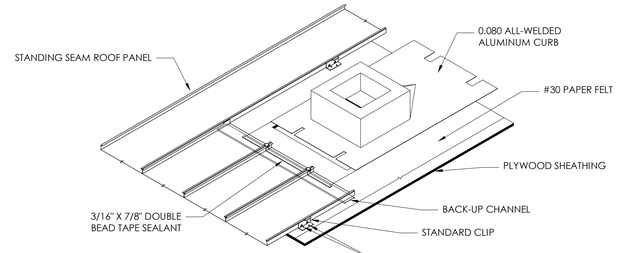


STEP #1



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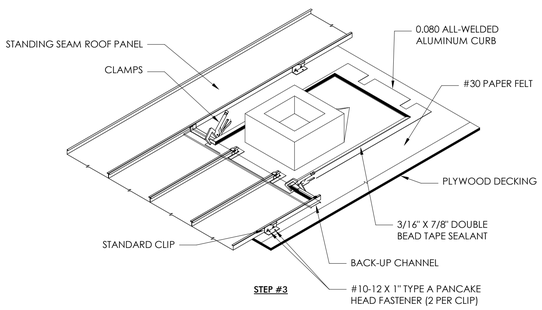

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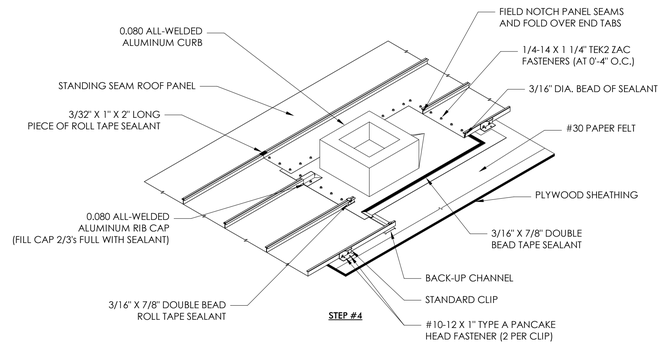

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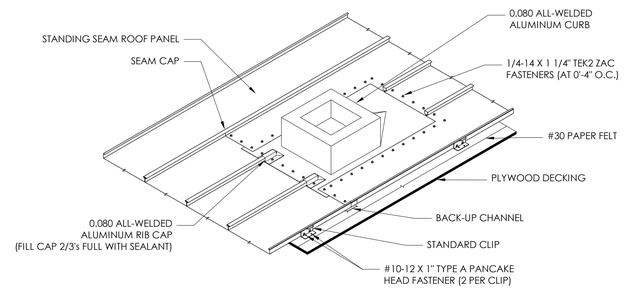
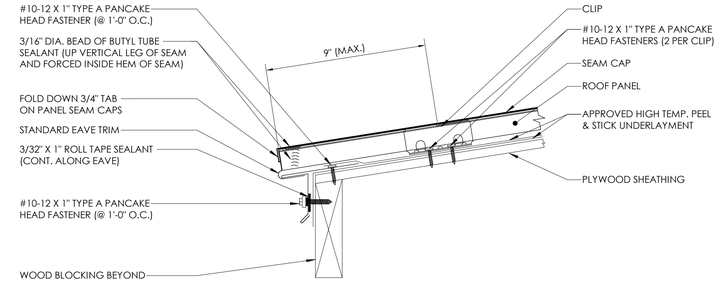
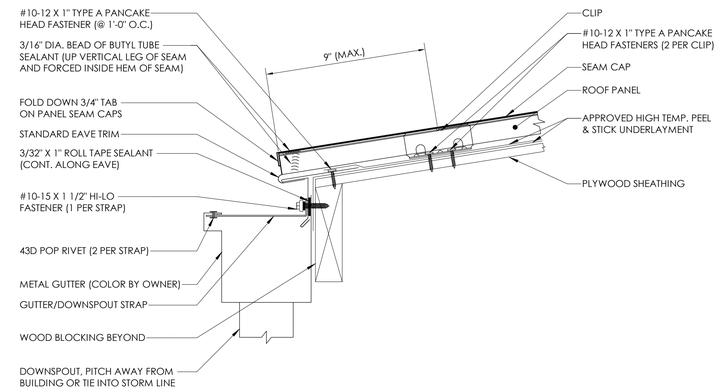


STEP #5

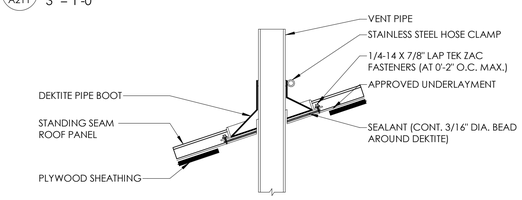
1 A211 CURB DETAILS
1" = 1'-0"



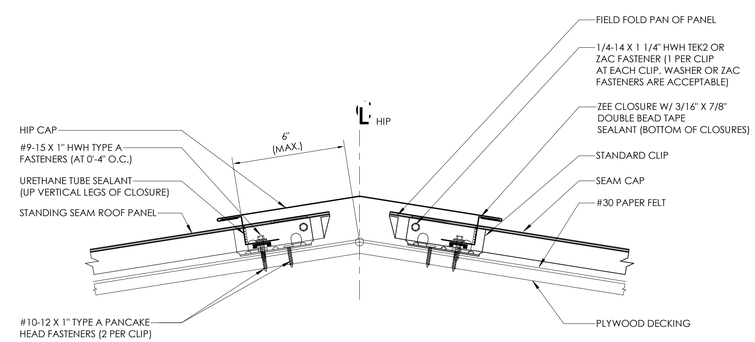
2 A211 EAVE DETAIL
3" = 1'-0"



3 A211 EAVE DETAIL GUTTER
3" = 1'-0"



4 A211 PIPE PENETRATION
1 1/2" = 1'-0"



5 A211 HIP DETAIL
3" = 1'-0"

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METAL ROOF DETAILS

A211

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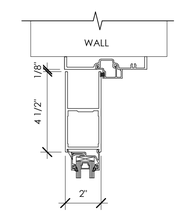
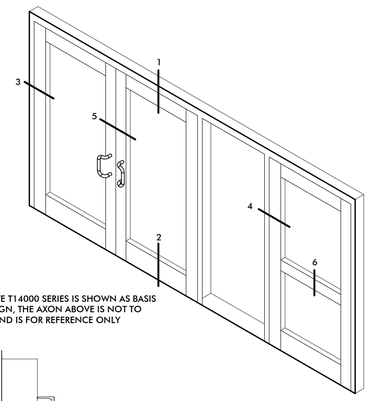
DOOR SCHEDULE

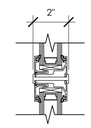
DOOR NUMBER	ROOM NUMBER	ROOM NAME	NEW OR EXIST	DOOR TYPE	FIRE RATING	DOOR SIZE WIDTH	DOOR SIZE HEIGHT	DOOR SIZE THICKNESS	DOOR MAT'L	DOOR FINISH	DOOR FRAME TYPE	DOOR FRAME MAT'L	DOOR FRAME FINISH	DOOR FRAME DETAILS HEAD	DOOR FRAME DETAILS JAMB	DOOR FRAME DETAILS SILL	HDWR SET	COMMENTS
FIRST FLOOR																		
103				N		7' - 8"	8' - 8"	1 3/4"										
104				LLL		3' - 0"	6' - 8"	1 3/4"										
105	100	EVENT SPACE		R		11' - 7"	11' - 9"	2"		Prime								
120	100	EVENT SPACE		TTT		3' - 0"	7' - 0"	1 3/4"										
121				CC		6' - 0"	7' - 0"	1 3/4"										
122	100	EVENT SPACE		V		12' - 0"	12' - 0"	1 1/2"										
NEW FLOOR																		
106				V		12' - 0"	12' - 0"	1 1/2"										
107				TTT		3' - 0"	7' - 0"	1 3/4"										
112				F		3' - 0"	7' - 0"	1 3/4"										
113				TT		7' - 0"	6' - 8"	1 3/4"										
114				F		3' - 0"	7' - 0"	1 3/4"										
115				F		3' - 0"	7' - 0"	1 3/4"										
116				F		3' - 0"	7' - 0"	1 3/4"										
117				F		3' - 0"	7' - 0"	1 3/4"										



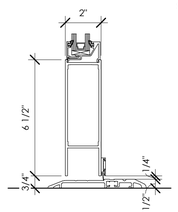
1 - HEAD DETAIL



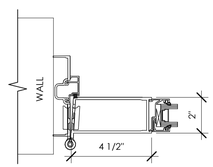
*TUBELITE T14000 SERIES IS SHOWN AS BASIS OF DESIGN. THE AXON ABOVE IS NOT TO SCALE AND IS FOR REFERENCE ONLY



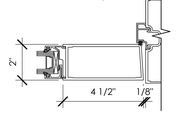
6 - MULLION DETAIL



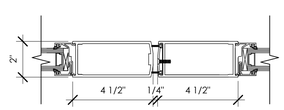
2 - SILL DETAIL



3 - JAMB DETAIL

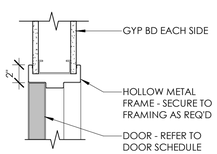


4 - JAMB DETAIL

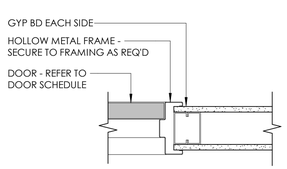


5 - DOOR CONNECTION DETAIL

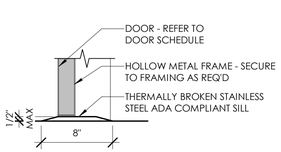
6 A400 ALUM DOOR DETAILS
3" = 1'-0"



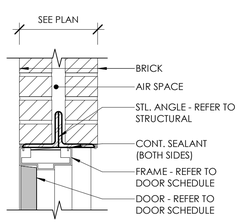
1 A400 HEAD DETAIL - H.M. GYP BD
1 1/2" = 1'-0"



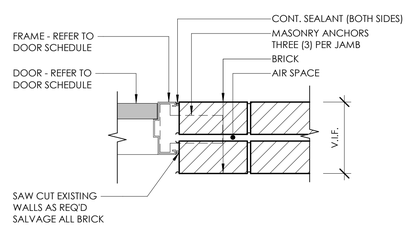
2 A400 JAMB DETAIL - H.M. GYP. BD.
1 1/2" = 1'-0"



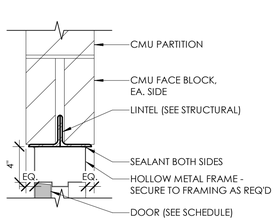
3 A400 SILL DETAIL - H.M. FRAME
1 1/2" = 1'-0"



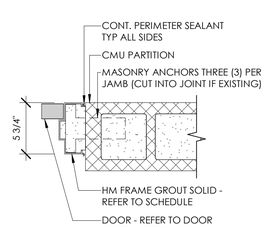
7 A400 HEAD DETAIL - BRICK WALL
1 1/2" = 1'-0"



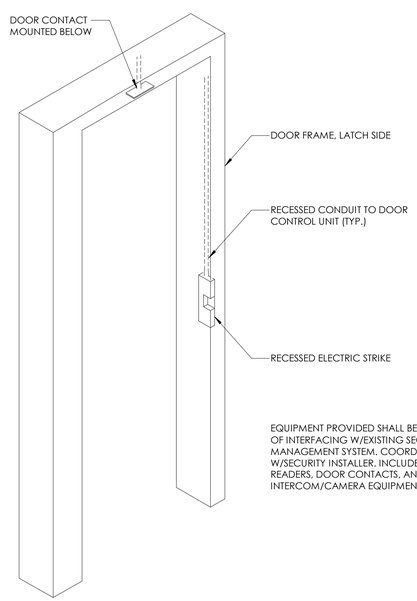
8 A400 JAMB DETAIL - BRICK
1 1/2" = 1'-0"



10 A400 HEAD DETAIL - EXISTING CMU
1 1/2" = 1'-0"



12 A400 JAMB DETAIL - CMU
1 1/2" = 1'-0"



EQUIPMENT PROVIDED SHALL BE CAPABLE OF INTERFACING W/EXISTING SECURITY MANAGEMENT SYSTEM. COORDINATE WORK W/SECURITY INSTALLER. INCLUDE CARD READERS, DOOR CONTACTS, AND INTERCOM/CAMERA EQUIPMENT.

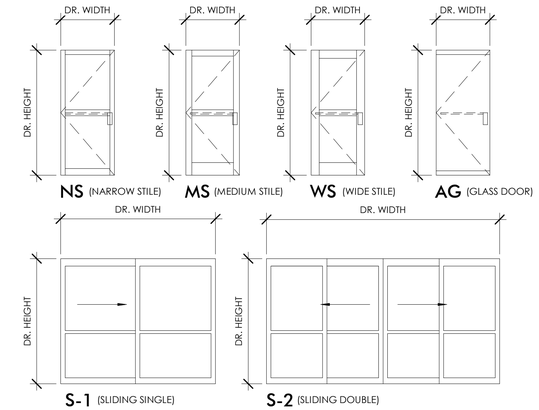
14 A400 DOOR ACCESS CONTROL INSTALL
12" = 1'-0"

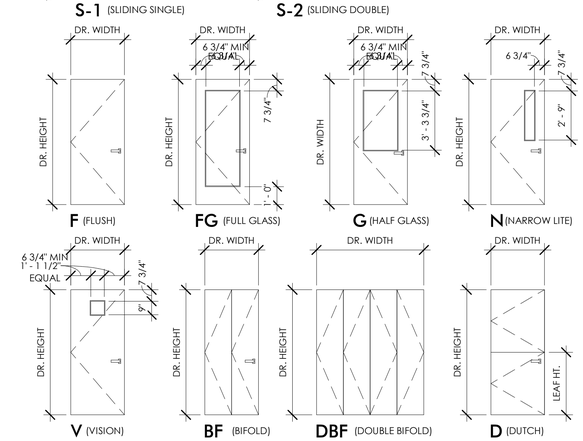
ABBREVIATIONS

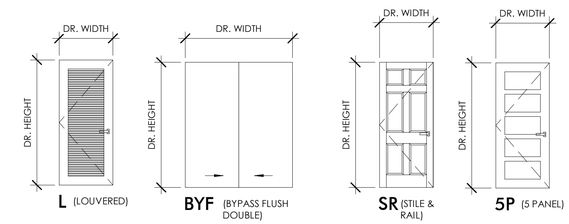
WOOD - WOOD VENEER ON SOLID CORE WOOD DOOR
H.M. - HOLLOW METAL
PT - INTERIOR PAINT SYSTEM
EXIST - EXISTING
ALUM - ALUMINUM
FS - ROLLING FIRE SHUTTER
SCD - SOLID CORE DOOR
AE - AUTOMATIC ENTRY DOORS
WD - WOOD VENEER

GENERAL NOTES

1. REFER TO DOOR SCHEDULE FOR HEIGHTS, WIDTHS AND GLAZING TYPES.
2. ALL HARDWARE TO BE ADA COMPLIANT LEVER HARDWARE.
3. ALL EXTERIOR AND RATED DOORS ARE TO HAVE ADA COMPLIANT SILLS WITH MAX THRESHOLDS OF 1/2"

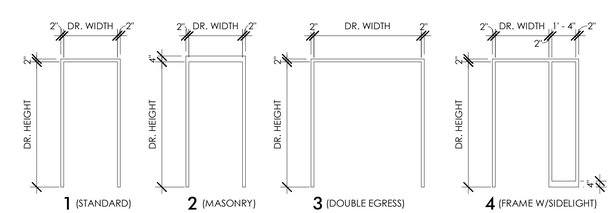






DOOR TYPES

NOTE: REFER TO DOOR SCHEDULE FOR HEIGHTS / WIDTHS AND GLAZING TYPE



FRAME TYPES

NOTE: REFER TO DOOR SCHEDULE FOR HEAD, JAMB, AND SILL DETAILS

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DOOR SCHEDULE AND DETAILS
A400

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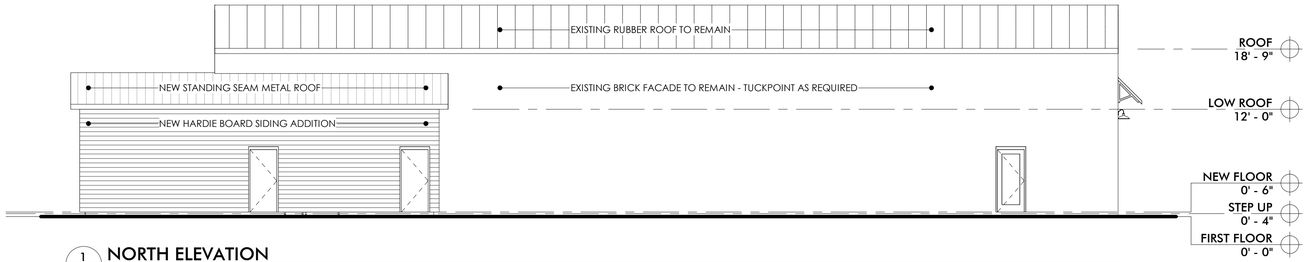
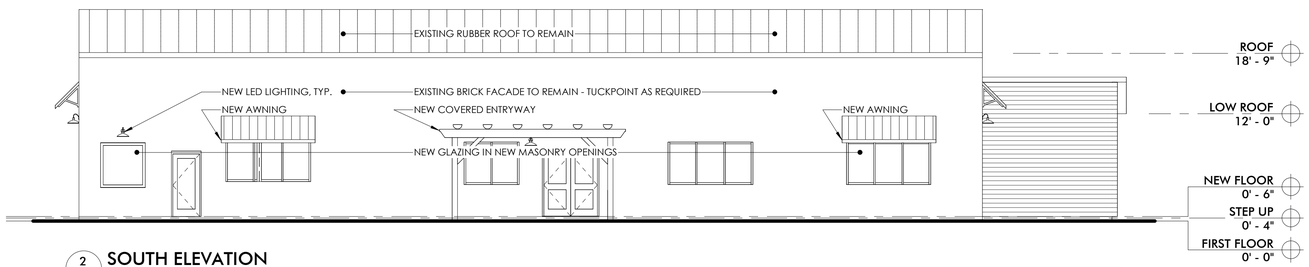
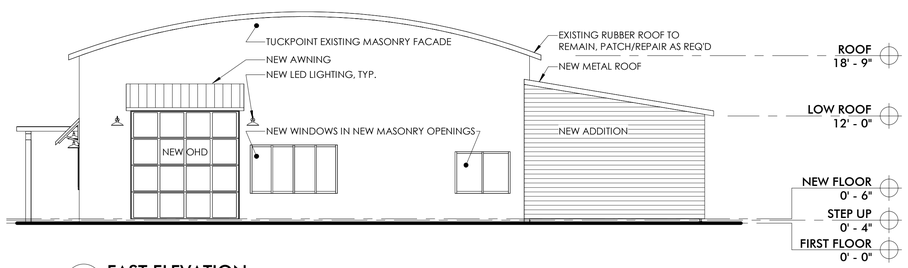


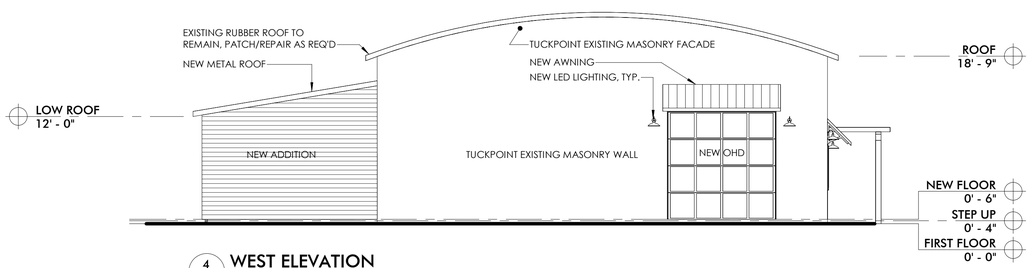
1 A500 **NORTH ELEVATION**
1/8" = 1'-0"



2 A500 **SOUTH ELEVATION**
1/8" = 1'-0"



3 A500 **EAST ELEVATION**
1/8" = 1'-0"



4 A500 **WEST ELEVATION**
1/8" = 1'-0"

GENERAL NOTES

1. REFER TO MATERIAL LEGEND FOR EXTERIOR FINISH PANEL TYPES AND COLOR.
2. REFER TO MATERIAL LEGEND FOR ROOF TYPES AND COLOR.
3. ALL GLAZING SHALL BE LOW-E GLASS, TINT TO BE RECOMMENDED BY MANUFACTURER.
4. ALL FINISH MATERIALS TO BE VERIFIED WITH OWNER AND ARCHITECT PRIOR TO CONSTRUCTION. ALL SUBSTITUTIONS NEED TO BE APPROVED IN WRITING.

EXTERIOR ELEVATION SYMBOL LEGEND

- CMU
- BRICK
- STONE
- SIDING / METAL SIDING
- METAL ROOFING
- ASPHALT ROOFING
- KNOT WOOD

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PROJECT NAME
EVENT SPACE
PROJECT ADDRESS
311 W SPRUCE ST, MARSHALL, MI 49068
CLIENT
MILLHAVEN

ISSUE
SITE PLAN REVIEW

REVISION

DRAWN BY CMN
DATE 1/24/2023 5:16:41 PM
SCALE As indicated
STAMP

PROJECT NUMBER
2023.007

EXTERIOR ELEVATIONS

A500

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MECHANICAL NOTES

1. INSTALL ALL DUCTWORK PER SMACNA STANDARDS. USING METAL DUCT ADEQUATELY SUPPORTED TO AVOID DEFLECTION IN DUCT. WRAP ALL SUPPLY DUCTWORK WITH 1 1/2", 3/4 P.C.F. DENSITY FIBERGLASS INSULATION WITH VAPOR BARRIER. TAPE & SEAL ALL SEAMS, CUT-OUTS, & PENETRATIONS. INSULATE TOPS & NECKS OF ALL DIFFUSERS AND REGISTERS. PROVIDE EXPOSED SPIRAL UNINSULATED DUCT IN ALL CONDITIONED SPACES.
2. TEST AND BALANCE AIR DISTRIBUTION SYSTEM, PROVIDE BALANCE REPORT TO OWNER FOR REVIEW AT PROJECT COMPLETION.
3. RUN ALL DUCTS BELOW CEILING, UNLESS NOTED OTHERWISE
4. PROVIDE ALL NECESSARY DUCT FITTINGS AND TRANSITIONS FOR A COMPLETE SYSTEM.
5. INSTALL DIFFUSERS WITH AIR TIGHT CONNECTIONS.
6. FIELD VERIFY CONDITIONS OF EXHAUST FANS, MODIFY OR CHANGE AS NECESSARY TO PROVIDE REQUIRED CFM'S.
7. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES, AND LAWS.
8. ARRANGE AND PAY FOR ALL PERMITS AND INSPECTIONS AS REQUIRED.
9. ALL WORK SHALL BE TESTED, BALANCED, AND GUARANTEED. PROVIDE REPORT TO ARCHITECT AND OWNER FOR THEIR RECORDS.
10. ANY MECHANICAL UNITS OR SYSTEMS SHOWN ARE DIAGRAMMATIC IN NATURE. THE CONTRACTOR SHALL PROVIDE FITTINGS, OFFSETS, ETC. AS NECESSARY TO PROVIDE COMPLETE SYSTEMS.
11. FINAL LOCATION OF ALL CEILING FEATURES TO BE COORDINATED WITH ALL TRADES.
12. MECHANICAL CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS.
13. PROVIDE APPROPRIATE FIRE STOPPING MATERIALS WHERE FIRE RATED ASSEMBLIES ARE PENETRATED.
14. ALL WORK AND MATERIALS SHALL BE GUARANTEED IN WRITING FOR ONE YEAR FROM THE PROJECT COMPLETION.
15. ANY MODEL NUMBERS OR MANUFACTURERS LISTED THROUGHOUT THE DRAWINGS ARE A BASIS OF DESIGN. THE CONTRACTOR MAY AT HIS OPTION PROVIDE AN "OR EQUAL" MANUFACTURER OR PRODUCT. THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL COST ADDITIONS REQUIRED TO THE SYSTEM SHOULD AN "OR EQUAL" MANUFACTURER BE SELECTED.
16. ALL GAS PIPING SHALL BE SCHEDULE 40 BLACK STEEL. RUN IN BULKHEADS OR EMBEDDED IN WALL WHERE APPLICABLE. PAINT TO MATCH WHEN EXPOSED.
17. PROVIDE A GAS SHUTOFF VALVE, COMPLETE WITH DIRT LEG AT EACH PIECE OF GAS FIELD EQUIPMENT.
18. THE HEATING AND COOLING SYSTEMS ARE TO BE A DESIGN BUILD SYSTEM. IT IS TO BE DESIGNED, PROVIDED AND INSTALLED BY A LICENSED MECHANICAL CONTRACTOR OR ENGINEER IN THE STATE OF MICHIGAN. THE SYSTEM IS TO BE DESIGNED TO ALL APPLICABLE MICHIGAN MECHANICAL CODES IN FORCE AT THE TIME OF INSTALLATION AND INSPECTION. ANY MECHANICAL SHOWN ON THE PLANS ARE FOR REFERENCE ONLY AND HAVE BEEN PROVIDED BY A LICENSED CONTRACTOR. THE ARCHITECT DOES NOT TAKE ANY LIABILITY FOR THESE SYSTEMS.
19. A CFM SCHEDULE IS TO BE PROVIDED WITH A LAYOUT OF DUCTWORK WHEN APPLYING FOR MECHANICAL PERMIT.

ELECTRICAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST ADOPTED EDITION OF THE NATIONAL ELECTRIC CODE AND ALL AUTHORITIES HAVING JURISDICTION.
2. ELECTRICAL CONTRACTOR TO SECURE AND PAY FOR ALL PERMITS AND FEES.
3. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH ALL OTHER TRADES FOR INSTALLATION OF ALL EQUIPMENT. INSTALL EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS.
4. ALL WIRING SHALL BE COPPER NO. 12 AWG MINIMUM SIZE, TYPE THNN/THXX INSULATION.
5. ALL WIRING SHALL BE INSTALLED IN A METALLIC CONDUIT SYSTEM. RUN ALL NEW CONDUIT CONCEALED IN FINISHED AREAS.
6. ALL RECEPTACLES SHALL BE 20 AMP, GROUNDING TYPE, MATCHING EXISTING COLOR AND COVERPLATES. PROVIDE GFCI TYPES WHERE SHOWN AND ANYWHERE WITHIN SIX FEET OF A PLUMBING FIXTURE. VERIFY AND COORDINATE ALL POWER OUTLETS TYPES AND LOCATIONS WITH OWNER PRIOR TO INSTALLATIONS.
7. ALL LIGHT SWITCHES SHALL BE SILENT TYPE, 20 AMP., TO MATCH EXISTING.
8. MAXIMUM LOAD FOR A 20 AMP BREAKER SHALL BE 15 AMPS OR 1800 WATTS AT 120 VAC.
9. PROVIDE NEW TYPED PANEL INDEXES ON ALL ELECTRICAL PANELS THAT WERE REVISED.
10. LIGHTING SHOWN SCHEMATICALLY ON REFLECTED CEILING PLAN. CENTER LIGHTINGS IN ROOM UNLESS NOTED OTHERWISE.
11. ELECTRICAL CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS.
12. GUARANTEE ELECTRICAL MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE.
13. IT IS UNDERSTAND AND AGREED BY THE INSTALLER THAT WORK HEREIN DESCRIBED SHALL BE COMPLETE IN EVERY DETAIL, EVEN THOUGH EVERY ITEM INVOLVED IS NOT PARTICULARLY MENTIONED. INSTALLER SHALL BE HELD TO PROVIDE ALL LABOR AND MATERIALS NECESSARY FOR THE WORK INTENDED AND DESCRIBED FOR A COMPLETE AND OPERATIONAL SYSTEM. SUCH MATERIALS SHALL INCLUDE, BUT ARE NOT LIMITED TO, CONDUIT, FITTINGS, COVERPLATES, WIRING, BREAKERS, CONTROL DEVICES, LIGHTING ACCESSORIES, ETC. THIS ALSO INCLUDES EQUIPMENT REQUIRED BY STATE AND LOCAL CODES.
14. ELECTRICAL AND DATA OUTLETS ARE SHOWN SCHEMATICALLY IN NATURE. REVIEW FINAL PLACEMENT WITH OWNER BEFORE INSTALL.
15. THE ELECTRICAL SYSTEM IS TO BE A DESIGN BUILD SYSTEM. IT IS TO BE DESIGNED, PROVIDED, AND INSTALLED BY A LICENSED ELECTRICAL CONTRACTOR OR ENGINEER IN THE STATE OF MICHIGAN. THE SYSTEM IS TO BE DESIGNED TO MEET ALL APPLICABLE MICHIGAN ELECTRICAL CODES IN FORCE AT THE TIME OF INSTALLATION AND INSPECTION. ANY ELECTRICAL SHOWN IS FOR REFERENCE ONLY AND HAS BEEN DESIGNED BY A LICENSED CONTRACTOR. THE ARCHITECT DOES NOT TAKE ANY LIABILITY FOR THESE SYSTEMS.

ELECTRICAL/LIGHTING SYMBOLS

ES SHOWN ARE TO BE A BASIS OF
UAL EQUIVALENTS ARE ACCEPTED.

TAG/SYMBOL	MANUFACTURER & DESCRIPTION	MODEL / COLOR
	LITHONIA 6" CYLINDER CAN LIGHT	LDN6 CYLINDER SERIES / BLACK IN COLOR
	LITHONIA 6" RECESSED CAN LIGHT OR WALL WASH	LDN6 / COLOR TO MATCH CEILING
	BEACH LIGHTING ULTRA SLIM LED UNDERCABINET LIGHT	BEA380917 / BLACK IN COLOR
	POWERLED SURFACE UNDERCABINET PUCK LIGHT	DLS472984 / BLACK IN COLOR
	LITHONIA HIGH BAY LED LIGHT FIXTURE	JCBL / SILVER IN COLOR
	BROAN EXHAUST FAN WITH LED LIGHT, 110 CFM	NUTONE FLEX SERIES / WHITE IN COLOR
	LITHONIA EMERGENCY LIGHT	ELM6L / WHITE IN COLOR
	LITHONIA EXIT-UNIT COMBO	LHQM LED / WHITE IN COLOR
	BROWNLEE LIGHTING VANITY LIGHT	FLOW SQ / SILVER IN COLOR
	LITHONIA LED FLAT PANEL 2'X2' OR 2'X4' LED FIXTURE	CPX / WHITE IN COLOR
	MARK ARCHITECTURAL LIGHTING, 4' LED RECESSED STRIP LIGHT	SLOT 4 RECESSED / COLOR TO MATCH CEILING
	BIG ASS FANS FAN WITH LIGHT	HAIKU L / BLACK IN COLOR

PLUMBING NOTES

1. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES, AND LAWS.
2. ARRANGE AND PAY FOR ALL PERMITS AND INSPECTIONS AS REQUIRED.
3. ALL WORK SHALL BE PERFORMED TO FACILITATE EXPEDITIOUS PROGRESS ON THE WHOLE PROJECT. COORDINATE WORK WITH OTHER TRADES TO MINIMIZE AND RESOLVE POTENTIAL CONFLICTS.
4. THE DRAWINGS ARE DIAGRAMMATIC IN NATURE. THE CONTRACTOR SHALL PROVIDE FITTINGS, OFFSETS, ETC., AS NECESSARY TO PROVIDE COMPLETE SYSTEMS.
5. FURNISH AND INSTALL ALL VALVING FOR THE PROPER SECTIONALIZING AND OPERATION OF PIPING SYSTEMS. PROVIDE ACCESS PANELS AS REQUIRED FOR ACCESS TO VALVES.
6. ALL PIPES PASSING THROUGH FINISHED WALLS, PARTITIONS, AND FLOORS SHALL BE FITTED WITH ADJUSTABLE ESCUTCHEONS, AND APPROPRIATE FIRE STOPPING WHERE REQUIRED.
7. ATTACH ALL FIXTURES TO SUPPORTING SURFACES PLUMB AND LEVEL. WALL HUNG UNITS SHALL BE SECURELY FASTENED TO WALL BACKING. PROVIDE CHAIR CARRIERS FOR ALL LAVATORIES
8. WHERE FIXTURES ARE MOUNTED TO WALLS AND FLOORS, SEAL ALL INTERSECTIONS WITH DOW WHITE SILICONE CAULK.
9. IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY DETAIL OF CONSTRUCTION. CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS NECESSARY FOR A COMPLETE CODE COMPLYING SYSTEM.
10. ALL WORK AND MATERIALS SHALL BE GUARANTEED IN WRITING FOR ONE YEAR FROM PROJECT COMPLETION.
11. PLUMBING CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS.
12. SLOPE ALL NEW SANITARY PIPING A MIN. OF 1/8" PER FOOT.
13. SANITIZE ALL NEW HOT & COLD WATER LINES PER LOCAL WATER DEPARTMENT REQUIREMENTS. FLUSH AND TEST SYSTEM FOR LEAKS. MECHANICAL CONTRACTOR IS RESPONSIBLE FOR PROPER LEAK-FREE OPERATION OF SYSTEM. SOLDER JOINTS WITH NON-LEAD SOLDER.
14. PROVIDE DI-ELECTRIC FITTINGS WHERE DISSIMILAR METALS ARE CONNECTED.
15. SUPPLY ALL NECESSARY TRIM, P-TRAPS, AND ANGLE STOPS AT EACH PLUMBING FIXTURE.
16. FIXTURES ARE TO BE PROVIDED BY OWNER AND INSTALLED BY THE PLUMBING CONTRACTOR PER THE MANUFACTURER'S RECOMMENDATIONS.
17. INSULATE ALL COLD WATER LINES WITH 1" MINERAL FIBER INSULATION WITH VAPOR BARRIER. INSULATE ALL HOT WATER LINES WITH 1" FIBERGLASS.
18. DRAIN, VENT AND WASTE PIPING SHALL BE SCHEDULE DWV PVC. CLEAN OUTS IN FINISHED AREAS SHALL BE RECESSED AND HAVE CHROME OR BRASS COVER PLATES FLUSH WITH THE FINISHED FLOOR.
19. PROVIDE SHUTOFF VALVES ON HOT & COLD WATER BRANCH PIPING TO ISOLATE BRANCH.
20. INSTALL EACH FIXTURE WITH TRAP, EASILY REMOVABLE FOR SERVICE AND CLEANING.
21. INSTALL PIPING TO ALLOW FOR EXPANSION AND CONTRACTION WITHOUT STRESSING PIPE, JOINTS, OR CONNECTED EQUIPMENT.
22. FURNISH AND INSTALL WATER HAMMER ARRESTERS IN ACCORDANCE WITH PDI WH201.
23. LAY OUT PLUMBING WORK TO AVOID CONFLICTS WITH OTHER BUILDING COMPONENTS. ESTABLISH ELEVATION OF PUBLIC SEWER SYSTEM.
24. THE PLUMBING SYSTEMS ARE TO BE A DESIGN BUILD SYSTEM. IT IS TO BE DESIGNED, PROVIDED, AND INSTALLED BY A LICENSED PLUMBING CONTRACTOR OR ENGINEER IN THE STATE OF MICHIGAN. THE SYSTEM IS TO BE DESIGNED BY A LICENSED PLUMBING CONTRACTOR OR ENGINEER IN THE STATE OF MICHIGAN. ANY PLUMBING SHOWN IS FOR REFERENCE ONLY. THE ARCHITECT DOES NOT TAKE ANY LIABILITY FOR THESE SYSTEMS.

PLUMBING FIXTURES

WATER CLOSET (TANK TYPE) WC-1
WATER CLOSET (FLOOR MOUNTED): KOHLER WELLWORTH CLASSIC, TWO-PIECE ELONGATED 1.6 GPF TOILET, K-3505-SS, VITEOUS CHINA, EQUIPPED WITH SLOAN FLUSHMATE POLISHED CHROME LEFT HANDED LEVER, WITH ANTIMICROBIAL FINISH, WHITE IN COLOR, CONTRACTOR TO SUPPLY OPEN FRONT SEAT, TO MATCH. THE TOILET IS ASME A112.19.2/CSA B45.1 AND ADA COMPLIANT

WATER CLOSET (FLUSH VALVE) WC-2
WATER CLOSET (FLOOR MOUNTED): BARRIER FREE, KOHLER ANGLESEY TOP SPUD FLUSHOMETER BOWL WITH INTEGRAL SEAT, K-4388, W/EITHER K10957 TOUCHLESS DC 1.6 GPF TOILET FLUSHOMETER OR K-13516 MANUAL 1.6 GPF WC FLUSHOMETER (**VERIFY WITH OWNER**)

URINAL UR-1, BF
KOHLER BARDON #K-4991-ET, URINAL: ASME A112.19.2M; FLOOR MOUNTED, WALL HUNG SIPHON JET URINAL WITH SHIELDS, INTEGRAL TRAP, REMOVABLE STAINLESS STEEL STRAINER, 3/4 INCH TOP SPUD, STEEL SUPPORTING HANGER. EXPOSED FLUSH VALVE: ASME A112.12.1; EXPOSED CHROME PLATED, DIAPHRAGM TYPE, ESCUTCHEON, SEAT BUMPER, INTEGRAL SCREWDRIVER STOP, VACUUM BREAKER; MAXIMUM 1 GALLON FLUSH VOLUME, SLOAN ROYAL MODEL 186--1.0, WITH WALL MOUNTED CARRIER: ASME A112.6.1; CAST IRON AND STEEL FRAME WITH TUBULAR LEGS, LUGS FOR WALL AND FLOOR ATTACHMENT, THREADED FIXTURE STUDS FOR FIXTURE HANGER, BEARING STUDS, MOUNT AT BARRIER FREE HEIGHT.

SK-1
KOHLER SOHO K-2084-0 WHITE 20" X 18" WALL-MOUNT BATHROOM SINK WITH SINGLE FAUCET HOLE KOHLER KUMIN K-98827-4-CP POLISHED CHROME SINGLE-HANDLE BATHROOM SINK FAUCET

SK-2
KOHLER PROLOGUE K-31465-1-NA UNDERMOUNT DOUBLE-EQUAL KITCHEN SINK; 33" X 22" X 9". PROVIDE WITH KOHLER SIMPLACE SINGLE-HOLE KITCHEN SINK FAUCET WITH 16-5/8" PULL-DOWN SPOUT, DOCKNETIK MAGNETIC DOCKING SYSTEM, AND A 3-FUNCTION SPRAYHEAD; POOLISHED CHROME FINISH

SK-3
KOHLER KATHRYN K-2297-0 UNDERMOUNT BATHROOM SINK; 23-7/8" X 15-5/8" X 6-1/4" WHITE. PROVIDE WITH KOHLER KUMIN K-98827-4-CP POLISHED CHROME SINGLE-HANDLE BATHROOM SINK FAUCET

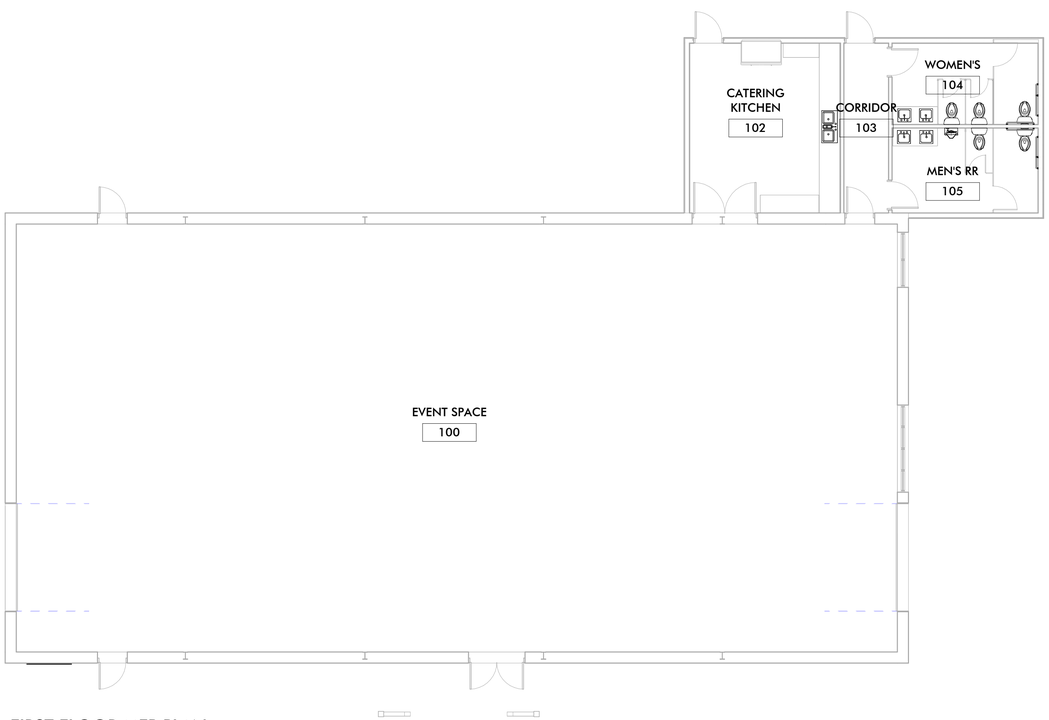
SK-4
STAINLESS STEEL ECONOMY SERIES 3-COMPARTMENT SINK, 18" LEFT AND RIGHT DRAINBOARDS, 16" WIDE X 20" FRONT-TO-BACK X 12" DEEP BOWLS, 9" BACKSPASH BY ELKAY

SK-5
ELKAY SEHS-17X HAND SINK, 18 GA., 300 SERIES STAINLESS STEEL 6" BACKSPLASH, 1 1/2" DRAIN OPENING, STRAINER AND FAUCET INCLUDED

MB-1
MOP BASIN: ONE PIECE MOLDED IN STONE 10" HIGH 24" X 24" BASIN WITH 1" SHOULDERS AND TILING FLANGES AS REQUIRED. FURNISH WITH FACTORY INSTALLED STAINLESS STEEL 3" DRAIN BODY WITH REMOVABLE STAINLESS STEEL STRAINER. MUSTEE MODEL 63M DURASTONE OR EQUAL. FAUCET SHALL BE CHICAGO FAUCET MODEL 897-CRCF WITH INTEGRAL CHECK VALVES, ROUGH CHROME PLATED CAST BRASS COMBINATION SERVICE SINK FITTING WITH VACUUM BREAKER, ¾" THREADED HOSE SPOUT, WALL BRACE, PAIL HOOK. ADJUSTABLE FLANGED FEMALE SUPPLY ARMS AND INTEGRAL STOPS. PROVIDE WITH MUSTEE MODEL 65.600 MOP HOLDER OR EQUAL AND WITH MUSTEE MODEL 65.700 HOSE AND SS HOSE HANGER BRACKET OR EQUAL

FLOOR DRAIN FD-1
ASME A112.21.1; LACQUERED CAST IRON TWO PIECE BODY WITH DOUBLE DRAINAGE FLANGE, WEEP HOLES, REVERSIBLE CLAMPING COLLAR, AND 6 INCH DIAMETER, ROUND, ADJUSTABLE NICKEL-BRONZE STRAINER. PROVIDE TRAP PRIMER CONNECTION AT ALL LOCATIONS SHOWN ON PLANS, AND AS REQUIRED BY CODE.

FLOOR SINK FS-1
SQUARE, LACQUERED CAST IRON BODY WITH DOME STRAINER, NICKEL-BRONZE FRAME. PROVIDE GRATE APPROPRIATE FOR APPLICATION. TOP FLUSH WITH FLOOR (FLOOR SINK TO FUNCTION AS FLOOR DRAIN IN ALL LOCATIONS)



1 MEP101 FIRST FLOOR MEP PLAN
1/8" = 1'-0"

DRIVEN DESIGN

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MECH, ELEC, PLUMB SPECS/NOTES

MEP101

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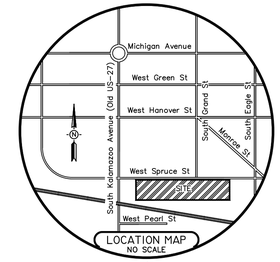
Plant List

Quantity	Key	Botanical	Common	Size
1	AP	Acer palmatum 'Bloodgood'	Bloodgood Japanese Maple	1.5"-2"
2	AR	Acer rubrum 'October Glory'	October Glory Red Maple	3.5"
1	MP	Malus 'Prairifire'	Prairifire Crabapple	3.5"
3	PC	Pyrus calleryana 'Cleveland Select'	Cleveland Select Pear	3.5"
3	AC	Abies concolor	Concolor Fir	7-8'
3	PA	Pinus strobus	White Pine	7-8'
10	BG	Buxus x. 'Green Gem'	Green Gem Boxwood	36"
11	HE	Hydrangea macrophyla 'Endless Summer'	Endless Summer Hydrangea	36"
17	HP	Hydrangea paniculata 'Limelight'	Limelight Hydrangea	36"
8	TO	Thuja occidentalis 'Emerald Green'	Emerald Green Arborvitae	5-6'
13	VP	Viburnum plicatum f. tomentosum 'Mariesii	Doublefile Viburnum	36"
6	CM	Calamagrostis 'Karl Foerster'	Karl Foerster Reed Grass	2gal
10	MP	Miscanthus 'Purpurascens'	Flame Grass	2gal
26	PH	Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass	2gal

CONSTRUCTION PLANS FOR:

Mill Haven Wedding Venue

City of Marshall, Calhoun County, Michigan



LEGEND

TREE LEGEND

AS / I = Plant Key / Quantity

= Proposed Tree

Existing Tree =

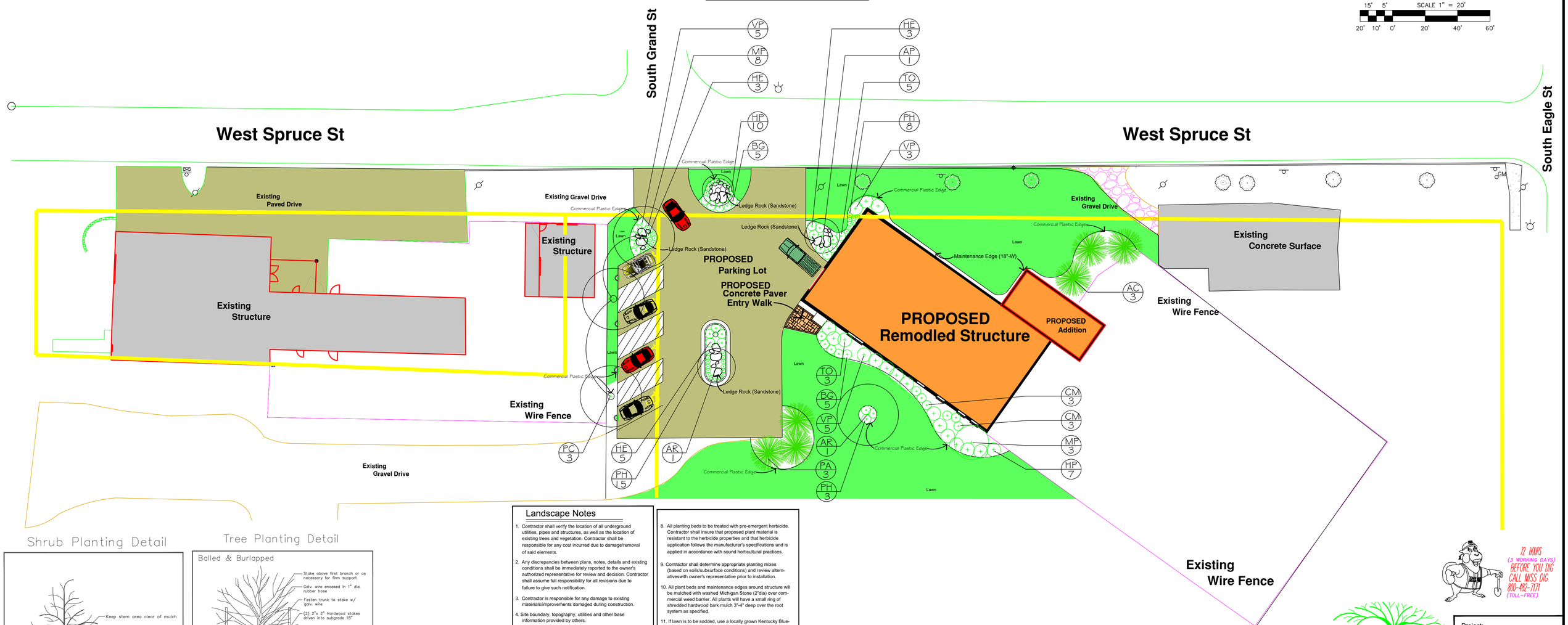
= Proposed Shrub

= Proposed Perennial/Orn Grass

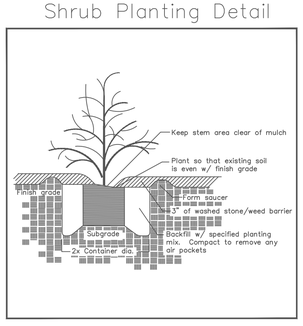
N

15' 5' SCALE 1" = 20'

20' 10' 0' 20' 40' 60'

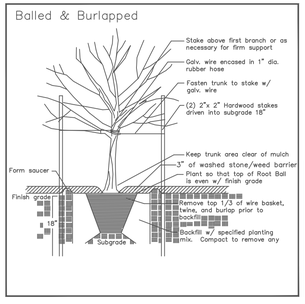


Shrub Planting Detail

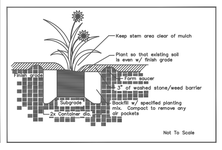


Tree Planting Detail

Balled & Burlapped



Perennial/Ornamental Grass Planting Detail



Landscape Notes

1. Contractor shall verify the location of all underground utilities, pipes and structures, as well as the location of existing trees and vegetation. Contractor shall be responsible for any cost incurred due to damage/removal of said elements.
2. Any discrepancies between plans, notes, details and existing conditions shall be immediately reported to the owner's authorized representative for review and decision. Contractor shall assume full responsibility for all revisions due to failure to give such notification.
3. Contractor is responsible for any damage to existing materials/improvements damaged during construction.
4. Site boundary, topography, utilities and other base information provided by others.
5. Contractor shall verify quantities shown on plant schedules and those indicated on plans. Contractor is responsible for installation of quantities drawn.
6. Contractor shall make minor adjustments to plant material locations in field as necessary. The location of all plant material shall be subject to approval by the owners authorized representative.
7. All plant material shall be of the sizes called for in the plant schedules. Any plant material not meeting the size and/or quality as called for shall be removed from site. All trees shall be inspected and approved by the owner's authorized representative. No substitutions of plant material shall be made without approval from the owner's authorized representative.
8. All planting beds to be treated with pre-emergent herbicide. Contractor shall insure that proposed plant material is resistant to the herbicide properties and that herbicide application follows the manufacturer's specifications and is applied in accordance with sound horticultural practices.
9. Contractor shall determine appropriate planting mixes (based on soils/subsurface conditions) and review alternativeswith owner's representative prior to installation.
10. All plant beds and maintenance edges around structure will be mulched with washed Michigan Stone (2"dia) over commercial weed barrier. All plants will have a small ring of shredded hardwood bark mulch 3"-4" deep over the root system as specified.
11. If lawn is to be sodded, use a locally grown Kentucky Bluegrass variety that is free of weeds.
12. Seed lawn areas with the following mixture:
    25% Sybsport Kentucky Bluegrass
    25% Nassam Kentucky Bluegrass
    25% Sybsport Kentucky Bluegrass
    10% Perennial Rye Grass
    Apply seed at the rate of 7-8lbs/1000sqft
13. Commercial Grade Plastic Edge will be Edg-King from Oly-Ola, Inc., (or better)
14. If required, the landscape contractor will design the sprinkler system in the field.

Landscape Plan

STATE OF MICHIGAN
MATTHEW J. BANFIELD
LICENSED LANDSCAPE ARCHITECT
No. 859

Outdoor Living, Inc.
2720 Alpha Access
Lansing, MI 48810-3608
Phone (517) 484-0230
www.outdoor-livinginc.com

Client: Jennifer Ederer Owner-Creative Director
The Millhaven Team
311 West Spruce St
Marshall, MI 49068
events@the millhaven.com

72 HOURS (3 WORKING DAYS) BEFORE YOU DIG CALL MISS DIG 800-482-7171 (TOLL-FREE)

Project:	Mill Haven Wedding Venue
Address:	211 West Spruce St
City:	Marshall, MI 49068
Revision:	
Drawn By:	Tim Banfield, PLA ASLA LIC# 3901000859
Scale:	1"=20'-0"
Date:	02-03-2023
File #	23079-C