

PLANNING COMMISSION AGENDA

Regular Meeting

April 8, 2026 at 7:00 PM



- 1) **CALL TO ORDER**
- 2) **ROLL CALL**
- 3) **APPROVAL OF MINUTES** - Items can be added or deleted from the Agenda by board action.
 - A. **APPROVE JANUARY 14, 2026, PLANNING COMMISSION MEETING MINUTES**
- 4) **APPROVAL OF AGENDA** - Items can be added or deleted from the Agenda by board action.
- 5) **PUBLIC COMMENT ON AGENDA ITEMS** Persons addressing the board are required to give their name and address for the record when called upon by the Chair. Members of the public shall be limited to speaking for a maximum of three (3) minutes. Comments should address AGENDA ITEM topics. Public Hearing items should be addressed during the PUBLIC HEARING portion of the meeting agenda. Non-Agenda items should be addressed during the PUBLIC COMMENT-NON-AGENDA ITEMS portion of the meeting agenda.
- 6) **PUBLIC HEARINGS & SUBSEQUENT BOARD ACTION**
- 7) **OLD BUSINESS**
- 8) **REPORTS AND RECOMMENDATIONS/NEW BUSINESS**
 - A. **SITE PLAN REVIEW PSP26-0002 - 802 W MICHIGAN AVE - ROYAL SWINE**
- 9) **PUBLIC COMMENT ON NON-AGENDA ITEMS** Persons addressing the board are required to give their name and address for the record when called upon by the Chair. Members of the public shall be limited to speaking for a maximum of three (3) minutes. Comments should address NON-AGENDA ITEM topics. Public Hearing items should be addressed during the PUBLIC HEARING portion of the meeting agenda. Agenda items should be addressed during the PUBLIC COMMENT-AGENDA ITEMS portion of the meeting agenda.
- 10) **BOARD REPORTS**
- 11) **ADJOURNMENT**

PLANNING COMMISSION MINUTES

January 14, 2026
Regular Meeting - 7:00 PM

[IGNORE_INDENT]

1) CALL TO ORDER

IN A REGULAR SESSION held on Wednesday, January 14, 2026 at 7:00 PM in the Council Chambers of City Hall, 323 West Michigan Ave, Marshall, MI 49068, the Marshall Planning Commission was called to order by Chair Banfield.

2) ROLL CALL

Roll was called:

Present: Chair Tim Banfield, Tim Fitzgerald, Aron Hodo, Karl Sievertsen, Ian Stewart

Also Present: Director Strange, Director Davenport and Deputy Clerk Cary

Excused: Carter Bright, Lisa McNiff, Ryan Underhill, Jim Zuck

Moved by Aron Hodo, supported by Tim Fitzgerald to excuse carter Bright, Lisa McNiff, Ryan Underhill and Jim Zuck. On a voice vote: **Motion carried.**

3) APPROVAL OF MINUTES - Items can be added or deleted from the Agenda by board action.

A. Approve December 10, 2025 Planning Commission Meeting Minutes

Moved by Ian Stewart, supported by Aron Hodo to approve the December 10, 2025 Planning Commission meeting minutes. On a voice vote: **Motion carried.**

4) APPROVAL OF AGENDA - Items can be added or deleted from the Agenda by board action.

Moved by Tim Fitzgerald, supported by Aron Hodo to amend the agenda to add item under number eight to appoint a new member to the Joint Planning Commission. On a voice vote: **Motion carried.**

5) PUBLIC COMMENT ON AGENDA ITEMS Persons addressing the commission are required to give their name and address for the record when called upon by the Chair. Members of the public shall be limited to speaking for a maximum of three (3) minutes. Comments should address AGENDA ITEM topics. Public Hearing items should be addressed during the PUBLIC HEARING portion of the meeting agenda. Non-Agenda items should be addressed during the PUBLIC COMMENT-NON-AGENDA ITEMS portion of the meeting agenda.

Barry Wayne Adams, 622 West Green St, gave public comment

6) PUBLIC HEARINGS & SUBSEQUENT BOARD ACTION Persons addressing the board are required to give their name and address for the record when called upon by the Chair. Members of the public shall be limited to speaking for a maximum of three (3) minutes. Comments should address Public Hearing items.

A. CAPITAL IMPROVEMENT PLAN 2026-2032

The public hearing for the Capital Improvement Plan 2026-2032 opened at 7:07pm.

Barry Wayne Adams, 622 West Green St, gave public comment.

The public hearing for the Capital Improvement Plan 2026-2032 closed at 7:11pm.

Moved by Aron Hodo, supported by Tim Fitzgerald to accept the 2026-2032 Capital Improvement Plan for the City of Marshall and recommend it for approval by City Council. On a voice vote:

Director Strange gave an introduction to the Capital Improvement Plan 2026-2023. She discussed the parks section in the Capital Improvement Plan 2026-2023.

Director Davenport discussed water, wastewater, streets and sidewalks that are in the Capital Improvement Plan 2026-2023.

The board discussed the sections within the Capital Improvement Plan 2026-2032.

Moved by Aron Hodo, supported by Tim Fitzgerald to accept the 2026-2032 Capital Improvement Plan for the City of Marshall and recommend it for approval by City Council. On a voice vote: **Motion carried.**

7) OLD BUSINESS

8) REPORTS AND RECOMMENDATIONS/NEW BUSINESS

A. APPOINT NEW MEMBER TO THE JOINT PLANNING COMMISSION

Tim Fitzgerald gave his resignation from the Joint Planning Commission.

The board discussed appointing a new commissioner to the Joint Planning Commission.

Chair appointed Ian Stewart to the Joint Planning Commission.

9) PUBLIC COMMENT ON NON-AGENDA ITEMS Persons addressing the board are required to give their name and address for the record when called upon by the Chair. Members of the public shall be limited to speaking for a maximum of three (3) minutes. Comments should address NON-AGENDA ITEM topics. Public Hearing items should be addressed during the PUBLIC HEARING portion of the meeting agenda. Agenda items should be addressed during the PUBLIC COMMENT-AGENDA ITEMS portion of the meeting agenda.

Barry Wayne Adams, 622 West Green St, gave public comment.

10) BOARD REPORTS

Stewart stated that there would be a tree planting at the end of April.

Banfield discussed Consumer's Credit Union opening.

11) ADJOURNMENT

The meeting was adjourned at 8:11 p.m.

Respectfully submitted by,

Brandie Cary
Deputy Clerk

ITEM: 8.A

ADMINISTRATIVE REPORT



TO: HONORABLE COMMISSION MEMBERS
FROM: Marcia Strange, Director of Community Development
DATE: April 8, 2026
SUBJECT: SITE PLAN REVIEW PSP26-0002 - 802 W MICHIGAN AVE - ROYAL SWINE

The Royal Swine has purchased the adjacent parcel and is looking to expand their existing restaurant. The property is located at 802 West Michigan, on the corner of Michigan and Plum in the B-4, Regional Commercial district. This is not located within the National Historic Landmark District. Restaurants are a Principal Permitted Use. The existing site on parcel 53-006-760-01 was undersized at 0.07 acres. Setback requirements are not met with the existing building on the North property line. The addition of parcel 53-006-762-00 brings the total acreage up to approximately 0.32 acres. Still a small site, but an improvement in coverage over the original, and providing parking primarily behind the building in lieu of the two original parking spots in front. This project will allow in-house dining for this location that has traditionally been pick-up only.

Case #: SP#26.0002
Address: 802 West Michigan
Parcel #: 53-006-760-01 and 53-006-762-00
Zoning District: Regional Commercial District (B-4)
Surrounding Zoning: **B-4** to the west and north. R-3 to the east (across Plum)
Surrounding Uses: Single family residential to the north and multifamily residential (rental) to both the west and east.
Previous Action: **None**

City staff have been working with John Farmer and John Gutsus on this project which would see the expansion of the existing restaurant facility at 802 West Michigan. The building would be 2,028 feet and sit on two small lots that total approximately 0.3 acres.

Dimensional Requirements (Setback, lot coverage, etc.)

The front yard setback requirement is met. The north setback along the existing is less than required, but the condition is not made worse by the addition. The side yard setbacks are to add up to 25'. The drive is in the required setback.

Parking Requirements

Parking has been calculated based on the number of seats in the new sit-down portion of the restaurant. We would anticipate 26 seats + 4 staff based on the information provided. There is sufficient space for customers to park and others are able to move by them in the parking lot provided. The existing pick-up condition remains but is not calculated into the parking count. The site is allowed up to two access points based on its size and corner lot condition. Due to the existing

building placement on the very small site, the applicant could not add parking without adding a third drive. It is staff recommendation to allow the parking number as provided.

Landscape Plan

The landscape plan does not have to be stamped by a Landscape Architect due to the size of the parcels (<1 acre). A requirement for at least one deciduous tree and four shrubs per 40 lineal feet of street frontage is required and has been provided. Parking lot landscaping is also provided. Screening in the form of a fence has been provided from neighboring residential uses. The smoker has been considered "mechanical equipment" and, because of its location on the front of the building, additional screening has been provided from the ROW. The removal of old paving and replacement with additional landscaping along Michigan Ave is well received.

Sidewalks

The site is located in a high-traffic area and there is anticipated there could be a good deal of pedestrian traffic expected to the site. Existing sidewalks are being maintained and tied nicely into the site from both South and East sidewalks.

Exterior Lighting

The required photometric plan was included with the submitted plans showing that the proposed development meets the ordinance standard of no more than 1 foot candle at a residential property line.

Development Review Team

The City Development Review Team membership each considered the proposed site plan. The following items were provided during the review:

1. Knox box is required to ensure Fire Department access in case of an emergency. No building permits will be issued until this location is agreed upon.
2. The existing sign is located in the ROW and over a water main. It was discussed that relocating the sign, which is desired to be kept, would require a new (compliant) sign, based on the sign ordinance. If there is a way to allow the relocation of the existing sign, it is something the City desires and the owner is willing to accommodate. There are no other signs requested at this time.
3. The neighbor's existing garage is built on the property line. It was recommended not to add a fence behind the garage so that the garage owner can maintain their property as needed. This adjustment has been made.
4. Storm calculations were not required due to the size of the site. Storm water management was discussed with the engineer, and it is anticipated the additional green space to the south of the building will possibly improve the site's stormwater impact on the Right-of-Way.
5. Required water service size needs to be coordinated with the Water Department. No building permits will be issued until service size is resolved.
6. A grease trap is required for commercial restaurants. Follow up with the City on existing conditions can occur following Planning Commission and one will be required to be added if needed as part of Building Plan Review.
7. Plans show the location of the sewer lateral but not the size. It is not clear if the existing lateral is sized to allow the addition of two bathrooms and a bar sink or if a new lateral is intended. This will need to be resolved before building permits will be issued.
8. If keeping current proximity to the garage on the north side of the property, a 1-hour firewall is required between uses. It is anticipated the length of firewall will need to be extended beyond the length of the garage wall. The floor plans should be reviewed for this condition, and code information provided to prove rating adequacy when submitting for building permits.

9. . There are some on-street spots on Plum Street that could accommodate short-term parking for pickup, or staff. Several iterations of the site plan were considered in an attempt to gain parking at the east end of the site and City Staff recommends allowance to "green" the corner of Michigan and Plum in lieu of pushing for additional parking.
10. The existing drive to the west (gravel) will need to connect to the new drive outside the right of way. A paved connection is required for the area. If the adjacent parcel is developed for a commercial use in the future, there is a desire by Royal Swine to coordinate for additional parking through a shared use agreement. That does not affect the current site plan approval, but shared parking would benefit both parcels if the uses are compatible for peak hours.
11. Because the room capacity of the new restaurant seating area was limited due to available parking, the Fire Department intends that the occupant capacity count will be limited to match. The owner understands that if there is a desire to add more seats, they need to figure out more parking (ie: purchase or coordinate with the neighboring parcel owner to provide additional parking.) and would need to return to Planning Commission.

PLANNING COMMISSION CONSIDERATIONS

Staff has reviewed the site plan based on the requirements of the B-4 Zoning District and related sections of the zoning ordinance. As part of our review, we evaluated the proposed facility through the following standards that the Planning Commission will use in the process of reviewing any site plan for approval:

1. Adequacy of information. The site plan information is complete, accurate, and in an understandable form that accurately depicts and describes the proposed development.

The site plan submitted was mostly complete and accurate. Information about the existing building is limited, but has been clarified.

2. Site appearance and preservation. The site layout promotes the normal and orderly development of surrounding lots, and the development layout preserves, to the extent feasible, the site's natural, cultural, and historical features, such as but not limited to significant buildings, wetlands, topography, and woodlands.

The proposed project eliminates a legal non-conforming use on the west parcel and continues the transition to business uses as anticipated in the zoning ordinance. No major impact is expected to the site's natural, cultural, or historical features.

3. Pedestrian access. Existing and proposed sidewalks or pedestrian pathways connect to existing and planned public sidewalks and pathways in the area, and comply with applicable barrier-free access standards.

The proposed use is situated on a B-4 zoned lot and existing and new sidewalks will manage pedestrian traffic as required.

4. Vehicular circulation. Drives, streets, parking, site access and other vehicle-related elements are designed to minimize traffic conflicts on adjacent streets, and to promote safe and efficient traffic circulation.

The plans have been reviewed and approved by the Department of Public Services. The number of drives onto the site has been reduced from three to one. MDOT will need to be notified of the removal of the original Royal Swine drive from Michigan Avenue. A shared-access agreement should be coordinated with the property owner to the west and MDOT and the City should be made aware of the agreement. The owner anticipates the provided parking will manage the pickup counter

as well as the sit-down restaurant. Pedestrian safety onsite is managed well with the addition of internal connecting sidewalks. The removal of the Plum Street access is advantageous for safety at the intersection with Michigan.

5. Parking and loading. Off-street parking lots and loading areas are arranged and located to accommodate the intensity of proposed uses, minimize conflicts with adjacent uses, and promote shared-use of common facilities where feasible.

The proposed site meets the requirements of the parking ordinance for the new addition. There is concern about accounting for and providing access to the existing walk-in pickup counter on the east end of the building. On-street parking may be utilized between the hours of 6am and 2am, but it is not considered part of the required parking.

6. Building composition. Building design and architecture are harmonious with the surrounding neighborhood with regard to scale, mass, proportion, and materials.

The design and architecture of the building were submitted to the Building Department and are attached. No concerns regarding the building scale, mass, proportion or materials on this site.

7. Screening. Adequate screening elements have been provided to buffer or separate unlike or conflicting land uses, and to screen off-street parking, mechanical appurtenances, loading and unloading areas and storage areas from abutting residential districts and street rights-of-way.

6' tall fencing will screen the site from the residentially used properties to the west and north. A row of arborvitae will be planted to screen the mechanical equipment at the front of the building.

8. Exterior lighting. All exterior lighting fixtures are designed and arranged to minimize glare and light trespass, prevent vision impairments, and maximize security.

As mentioned above, the site meets the lighting requirements for downward lighting and light trespass. There is some concern about lighting at the exit door in the 'elbow' on the north side of the building. On-building lighting may need to be considered in this location for safe exit.

9. Impact upon public services. The impact upon public services (including utilities, streets, police and fire protection, emergency access, and public sidewalks and pathways) will not exceed the existing or planned capacity of such services

The Development Review Team did not find any issues with the proposed development that would exceed the city's ability to provide services to the site.

RECOMMENDATION:

Approve site plan 26-0002 for 802 West Michigan Avenue contingent upon:

1. The addition of egress lighting at the north exit door.
2. Adjust the access to the adjacent parcel to be outside of the right-of-way and provide a shared access agreement for that drive.

Royal Swine BBQ

802 W. Michigan Ave, Marshall, MI. 49068

General Notes

Lot Area = 14,004.6 sq.ft.
 Gross Building Area = 2603 sq.ft. (Addition Area = 1561 sq.ft.)
 Allowable per table 506 = 9000 sq.ft.
 Construction Type = VB
 Use Group = A-2
 Occupancy = 26 Seating + 4 Employee - Total = 30
 See seating layout plan
 Non Sprinkled Building
 Egress Exits = 4
 Travel distance = less than 48' (Max = 48')

Loading information:
 Floor: Concrete
 Unbalanced loading as required
 Roof: 30-10-10

New Plumbing Fixture Count:
 Mens = 1 / Lavs = 1
 Womens = 1 / Lavs = 1
 Drinking Fountains = Water Provided at Bar
 Service sink = 1 Existing

TYPICAL REQUIRED INSPECTIONS:
 1. Special inspections. [A] 110.3.9 For special inspections, see Chapter 17. -- (if applicable)
 2. Footing inspection -- [A] 110.3.1 After forms and re-bar are in place and on-site soil testing by approved company has been done (if required)
 3. UFER Grounding inspection -- done at time of footing inspection if rebar is used
 4. Concrete Slab inspection -- [A] 110.3.2 Concrete slab and under-floor inspection. Concrete slab and under-floor inspections shall be made after in-slab or under-floor reinforcing steel and building service equipment, conduit, piping accessories and other ancillary equipment items are in place, but before any concrete is placed or floor sheathing installed, including the subfloor.
 5. Rough Framing inspection -- [A] 110.3.4 is required after ALL other rough inspections have been approved
 6. Brick inspection -- [A] 110.3.8 Other inspections. Flashing and weep holes -- (if applicable)
 7. Insulation Inspection - [A] 110.3.7 Energy efficiency inspections.
 8. Final Building inspection for a CofO -- [A] 110.3.10 Final inspection. The final inspection shall be made after all work required by the building permit is completed.
 a. Final Zoning inspection, Fire Inspection are required
 b) Occupancy may not occur until all final inspections and approvals have been done

Fire extinguishers shall be provided per section 906
 20-B units shall be maximum of 50' between units (See plan)
 Within 30 feet of commercial cooking equipment
 In areas where flammable or combustible liquids are stored, used or dispensed

Fire blocking shall be provided at interconnections between concealed vertical stud wall or partition spaces and concealed horizontal spaces created by an assembly of floor joists or trusses, and between concealed vertical and horizontal spaces where soffits and drop ceilings are located

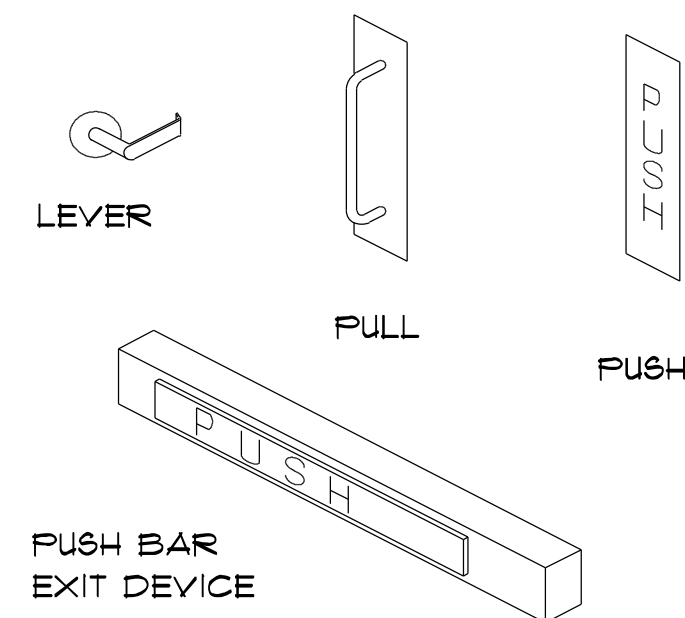
ALL CONSTRUCTION SHALL COMPLY WITH MICHIGAN 2021 BUILDING CODE as of April 9th, 2025
 2021 MICHIGAN MECHANICAL CODE AS AMENDED
 2021 MICHIGAN PLUMBING CODE AS AMENDED
 2023 MICHIGAN ELECTRICAL CODE AS AMENDED
 2021 INTERNATIONAL FIRE CODE AS AMENDED
 ICC/ANSI A117.1-09 AMERICAN NATIONAL STANDARDS
 ALL WORK BEING PREFORMED SHALL BE PREFORMED BY A LICENSED CONTRACTOR IN THAT FIELD.

Construction Notes

- Contractor shall provide all required labor, materials, permits, equipment, taxes, fees, testing, coordinated management and supervision services to contract the complete code complying project.
- Contractor shall provide exemplary experienced construction supervision, and cooperation on this project. Craftsmen shall be expert in the their field, thoroughly trained, and completely familiar with the specified requirements, and methods needed for the proper performance of the work.
- Contractor shall provide job clean up and legal debris removal from the site.
- Contractor shall furnish public liability and workers compensation insurance.
- Contractor shall provide all enclosures, barricades, and provide necessary precautions for construction project working conditions, and fire protection.
- The contractor shall be solely responsible for construction means, methods, sequences of construction, and health and safety of workers.
- Neither the organization of the specifications, nor the location of any plan, detail, or diagram on the drawings, shall control the general contractor in dividing the work to be performed by any trade.
- Prior to final payment the contractor shall prepare and deliver to the owner the following documents:
 - * Guarantees
 - * Waivers of liens
 - * Operation and maintenance manuals
 - * Certificate of occupancy.

General Notes:

- All work on this construction project shall be bid and constructed completely in accordance with all Federal, State, and Local codes, laws, and ordinances.
- All masonry wall ties, anchors, anchor bolts, fasteners, joint reinforcement, etc. shall be galvanized coated or s.
- Exterior wall and ceiling to be vinyl covered fiberglass insulation. *Option bid* Spray foam insulation
- The hardware supplier shall furnish all finished hardware required for the complete project. All non panic functions shall be lever handle cylindrical functions, meeting ADA guidelines.
- Door thresholds shall be no higher than 1/2" meeting ADA guidelines.
- Paint all interior and exterior surfaces to remain exposed in the finished work whether specifically indicated or not, except shop and factory finished items and those specially indicated not to be painted.
- No finished surface shall have less than one prime coat and two finish coats of paint applied.
- Caulk silicone. Use joint backer and primer as recommended by sealant manufactures.
- Exterior caulking: caulk all doors, thresholds, window frames, louver frames, and all other openings complete.
- Interior caulking: caulk all window and doors frames complete.
- Joints at penetrations of wall by piping, and other services and equipment shall be sealed to the weather.
- Provide all rough carpentry hardware and accessories required to completely execute the carpentry and millwork for this project, including but not limited to: walls, screws, lag screws, clip angles, hangers, bolts, nuts, washers, expansion bolts, anchors, metal straps, glues, and similar items whether specifically mentioned herein or not.
- All metal framing shall be assembled in the most substantial manner to provide long term joint and frame stability. Install all work plumb, level and with a uniform appearance throughout the complete project.



ACCEPTABLE DOOR HARDWARE

Index

CS = Cover / Info
 Survey
 C-01
 C-02
 C-03
 C-04
 A-1 = Floor Plan
 A-2 = Foundation Plan
 A-3 = Egress Plan
 A-4 = Seating Layout & Sections
 A-5 = Roof Plan
 A-6 = Elevations
 MEP - See MJW Plans

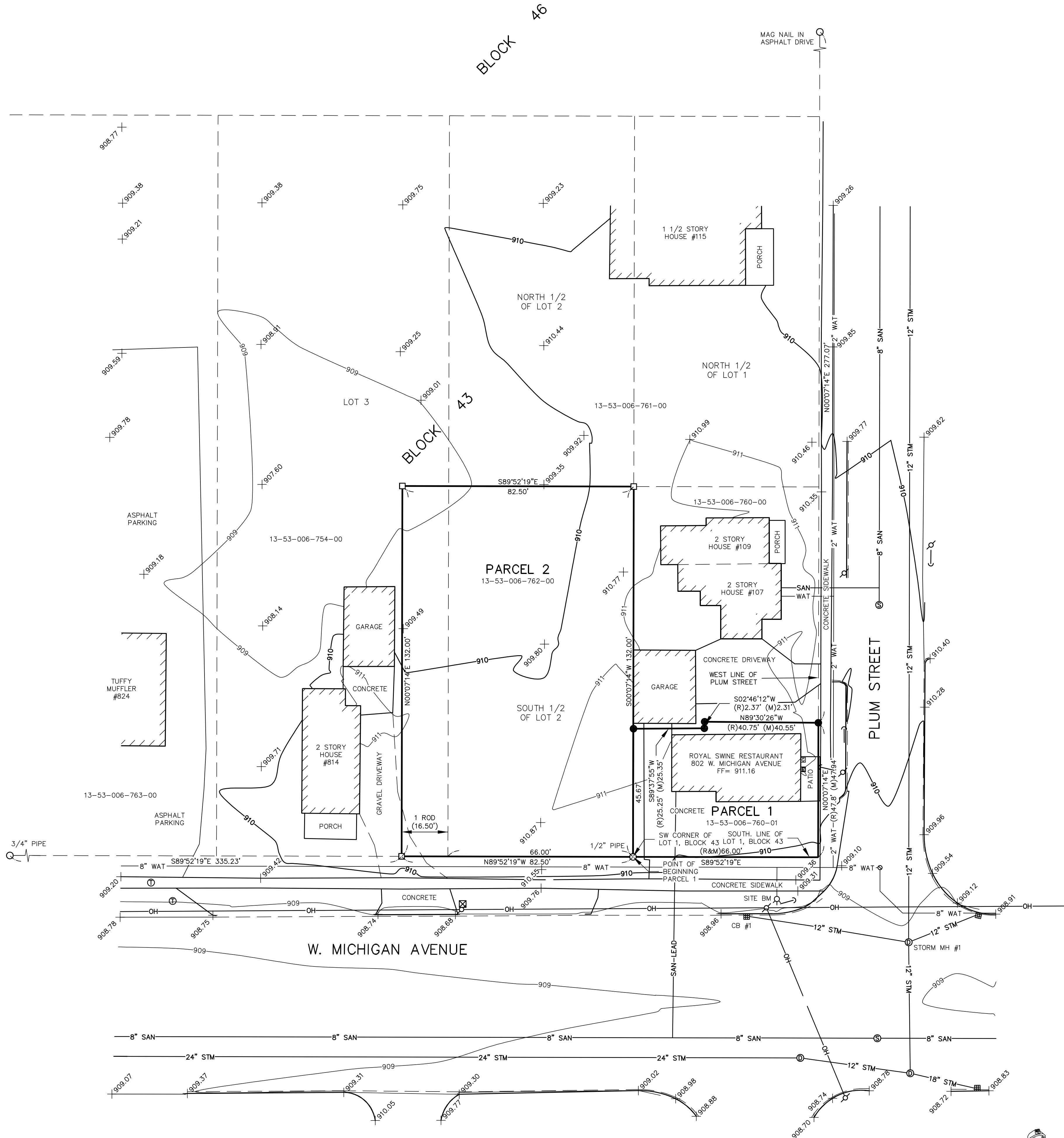
Revision/Issue	Date
Issue for PC	3/19/26

ARCHITECT
 FRANK MASON AND ASSOCIATES
 421 East Dr.
 MARSHALL, MI 49068
 (269) 788-7974
 (269) 209 5842

Royal Swine
 BBQ

Page COVER SHEET	Sheet CS
Date 3/19/2026	
Scale NTS	

CERTIFIED BOUNDARY & TOPOGRAPHICAL SURVEY



CERTIFICATE OF SURVEY:
I hereby certify, only to the client named hereon, that I have surveyed the following parcels of land:

Legal Descriptions

Parcel 1 (Warranty Deed recorded in Liber 4727, on Page 851):

A parcel of land situated in the City of Marshall, County of Calhoun, State of Michigan, to wit:

Commencing at the Southwest Corner of Lot 1, Block 43 of HURD'S ADDITION, according to the Plat thereof recorded in Liber 27 of Deeds, on Page 770, Calhoun County Records; thence East along the South line of said Lot, 66.0 feet to the West line of Plum Street; thence North along said West line, 47.8 feet; thence West parallel with said South line, 40.75 feet; thence South parallel with the West line of Plum Street, 2.37 feet; thence West parallel with said South line, 25.25 feet to the West line of said Lot; thence South along said West Lot line, 45.43 feet to the place of beginning.

Tax Parcel ID No: 13-53-006-760-01

Commonly known as: 802 W. Michigan Avenue
Marshall, MI 49068

Parcel 2 (Warranty Deed recorded in Liber 4935, on Pages 632-634):

A parcel of land situated in the City of Marshall, County of Calhoun, State of Michigan described as follows:

The South 1/2 of Lot 2, Block 43, and the East 1 rod of the South 1/2 of Lot 3, Block 43 of HURD'S ADDITION to the City of Marshall, according to the Plat thereof, as recorded in Liber 27 of Deeds, on Page 770, Calhoun County Records.

Tax Parcel ID No: 13-53-006-762-00

Commonly known as: 808 W. Michigan Avenue
Marshall, MI 49068

and that I have found or set permanent markers at the corners and angle points of said parcels, as shown on the map.

This survey complies with the requirements of Public Act 132 of 1970, MCL 54.213. The relative positional precision of the corners identified for this survey, and shown on the map are within the limits accepted by the practice of professional surveying.

All bearings are based upon GPS Observations taken on January 16, 2026.

This survey was performed without the benefit of a current Title Commitment, title insurance policy, or title abstract. As such, any easements, right-of-ways, encumbrances, or other matters of use or record may existing that are not reflected on this survey. This survey is limited to the field observations at the time of the survey.

Scott E. Koch Date: 4/11/26
Professional Surveyor No: 41103

Zoning Information:

Zoning Classification: B-4 - Regional Commercial District

Minimum Building Setbacks:

Front: 20 feet
Side: 10 feet one side, 25 feet total of two sides
Rear: 25 feet

Maximum Height: 35 feet (2.5 stories)

Site Benchmark Information:

NE Flange Bolt of Hydrant at intersection of W. Michigan Avenue & Plum Street
Elevation= 910.61

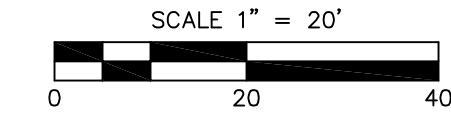
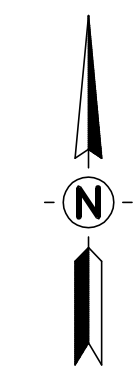
Structure Inventory:

Storm Manhole # 1
Rim= 908.88
12" North = 904.93
12" South = 904.93
12" East = 904.93
12" West = 905.28

Catch Basin #1
Rim= 908.35
12" East = 905.85

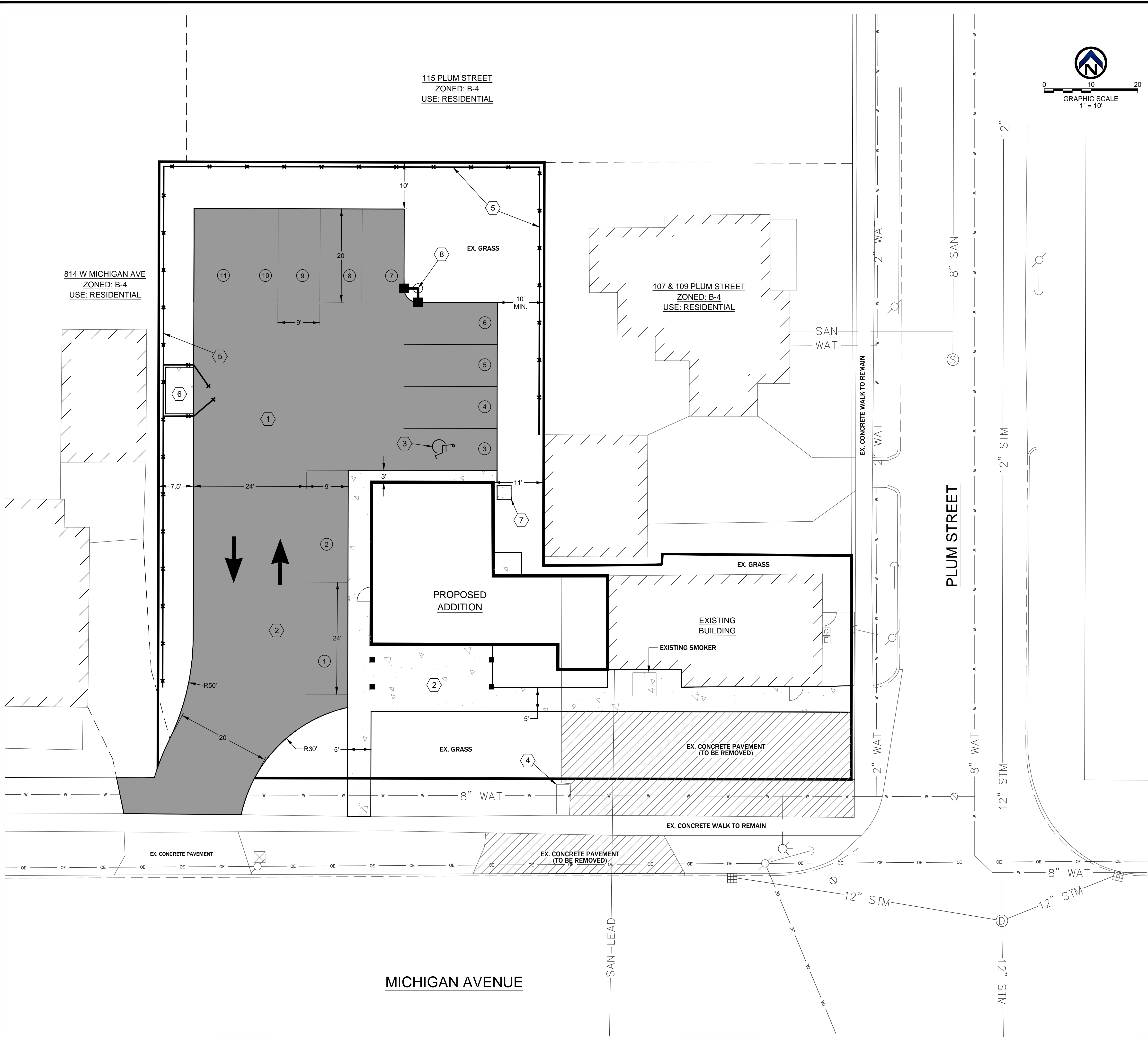
LEGEND

- = Set 1/2" Bar & Cap #41103
- = Found 1/2" Rebar
- = Found Survey Marker as Noted
- x — = Fence
- (R) = Recorded Dimension
- (M) = Measured Dimension
- | — = Distance Not to Scale
- ⊙ = Sanitary Manhole
- SAN- = Sanitary Sewer Line
- ⊙ = Sewer Cleanout
- ⊙ = Storm Manhole
- ⊙ = Catchbasin
- STM- = Storm Sewer Line
- ⊙ = Fire Hydrant
- ⊙ = Water Valve
- WAT- = Water Line
- ⊙ = Utility Pole
- ⊙ = Guy Pole
- ⊙ = Guy Wire
- ⊙ = Light Pole
- ⊙ = Electrical Transformer
- OH- = Overhead Wires
- E- = Underground Electric
- ⊙ = Electric Meter
- ⊙ = Telephone Manhole
- T- = Underground Telephone
- ⊙ = Gas Meter
- ⊙ = Utility Pedestal
- ⊙ = Asphalt Surface
- ⊙ = Concrete Surface
- ⊙ = Gravel Surface
- ⊙ = Existing Spot Elevation (NAVD88)
- ⊙ = Existing Contour Elevation (NAVD88)



72 HOURS
(3 WORKING DAYS)
BEFORE YOU DIG
CALL MISS DIG
800-482-7171
(TOLL-FREE)

DRAWN BY: SEK	<p>Koch Land Surveying 16573 21 MILE ROAD, MARSHALL, MI 49068 PHONE: (269) 832-7860</p>	SECTION: 26, T2S, R6W
FIELD WORK BY: SEK		FIELD WORK DATE: 01/16/26
SHEET 1 OF 2		JOB NUMBER: 26-1212.TOP



LAYOUT NOTE KEY

- ① PROPOSED ASPHALT PAVEMENT
- ② PROPOSED INTEGRAL CURB & CONCRETE PAVEMENT
- ③ PROPOSED A.D.A. ACCESSIBLE PARKING MARKINGS
- ④ EXISTING SIGN TO REMAIN
- ⑤ 6' TALL WOODEN FENCE
- ⑥ 10' x 6' DUMPSTER PAD & WOOD FENCE ENCLOSURE
- ⑦ 3' x 3' AIR-CONDITIONER CONDENSER PAD
- ⑧ PROPOSED POLE-MOUNTED MIRADA SMALL AREA (MRS) OUTDOOR LED AREA LIGHT TO BE INSTALLED TO A HEIGHT OF 20', WITH A LIGHT SHIELD TO CUT OFF LIGHT TO ADJOINING PROPERTY. POLE TO BE WHITE WITH 2' CONCRETE BASE.

SYMBOLS LEGEND

- ▨ PROPOSED CONCRETE PAVEMENT
- ⑦ PARKING SPACE COUNT

ZONING DATA:

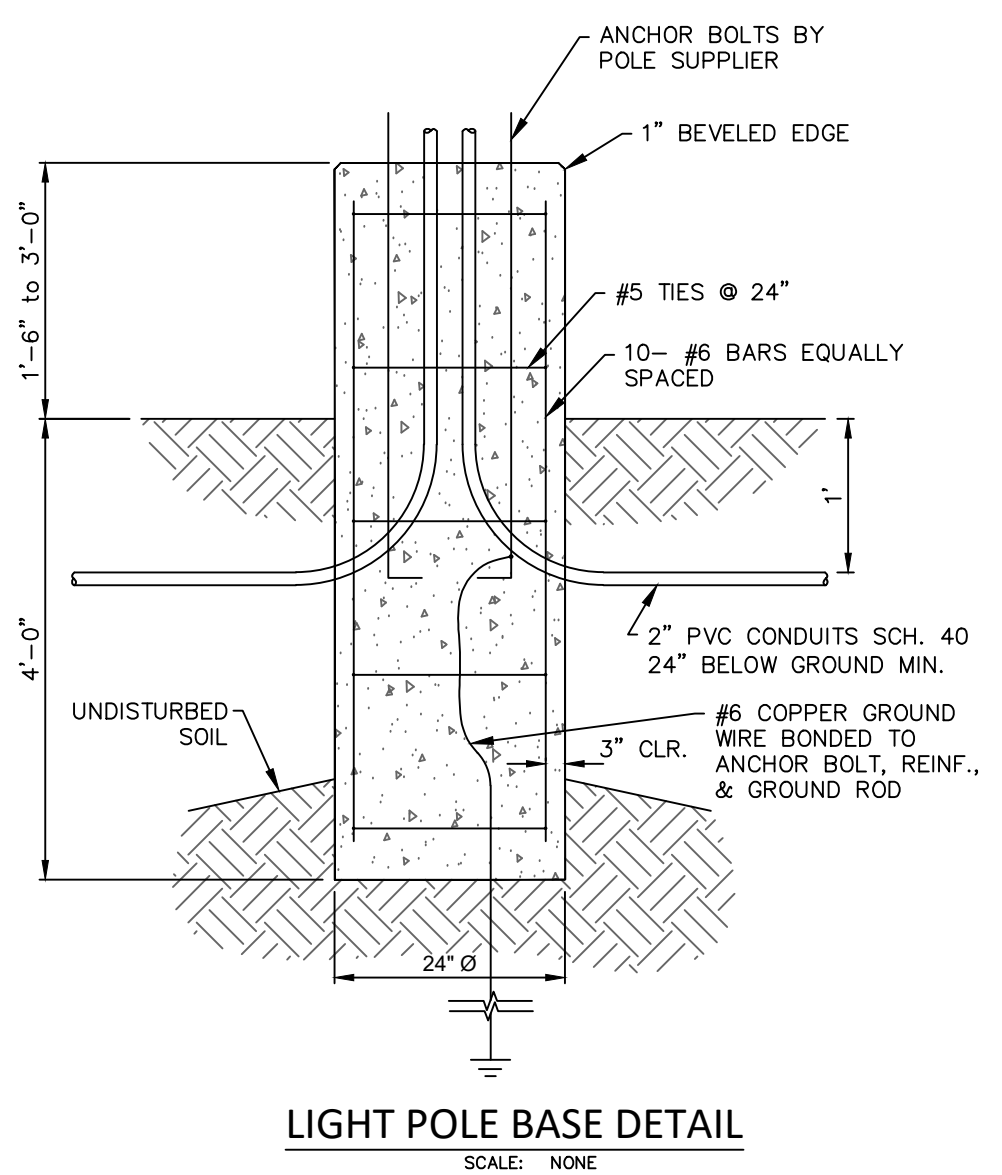
ZONING: B-4 (REGIONAL COMMERCIAL)
 LOT AREA: 14,004.6 SFT
 DIMENSIONAL STANDARDS:

	REQUIRED	PROVIDED
MIN LOT WIDTH:	100 FT	148 FT
MAX BLDG COVERAGE:	60%	17%

SETBACKS:
 FRONT: 20'
 SIDE: 10', 25' TOTAL COMBINED
 REAR: 25'

PARKING DATA:

PARKING REQUIREMENTS:
 1 PER EMPLOYEE = 4
 1 PER 4 SEATS = 7
 TOTAL REQUIRED = 11
 11 SPACES PROVIDED, INCLUDING 1 HANDICAP SPACE



Revisions:
 △ 3/13/2026: REV PER CITY ADMIN REVIEW #1
 △ 3/16/2026: REV PER CITY ADMIN REVIEW #2
 △ 3/18/2026: REV PER CITY ADMIN REVIEW #3

**ROYAL SWINE BARBECUE
 SITE EXPANSION
 802 W MICHIGAN AVE, MARSHALL, MI 49068
 LAYOUT PLAN**

DATE: 2/27/2026
 PREPARED BY: JWJ
 REVIEWED BY: JWJ
 PROJECT NO.: 26-1002
 SHEET NO.

Revisions:
 1/13/2026: REV PER CITY ADMIN REVIEW #1
 1/15/2026: REV PER CITY ADMIN REVIEW #3

ROYAL SWINE BARBECUE
 SITE EXPANSION
 802 W MICHIGAN AVE, MARSHALL, MI 49068
GRADING & PAVING PLAN

DATE: 2/26/2026

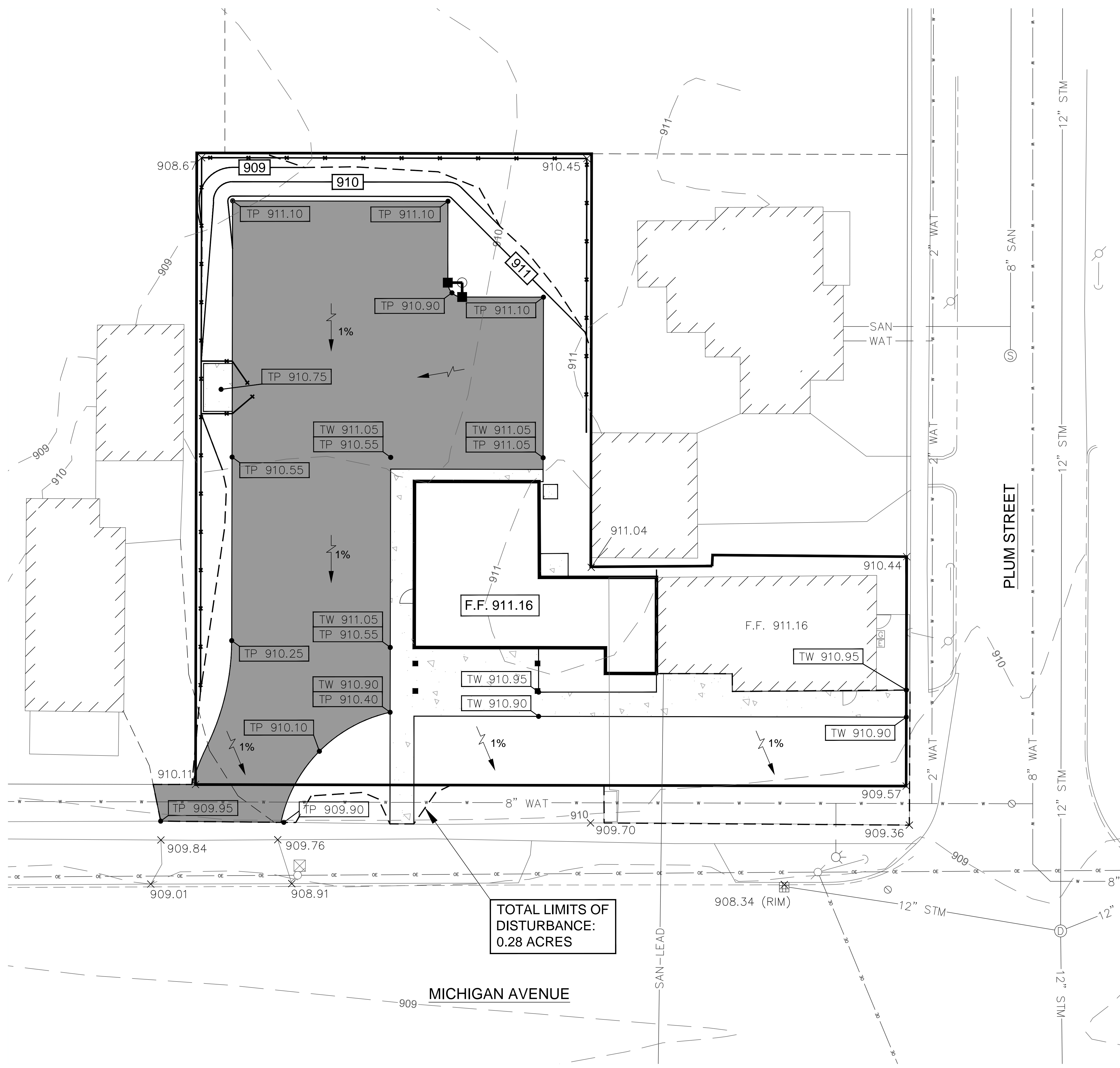
PREPARED BY: JWJ

REVIEWED BY: JWJ

PROJECT NO.:
26-1002

SHEET NO.

C-02



SYMBOLS LEGEND

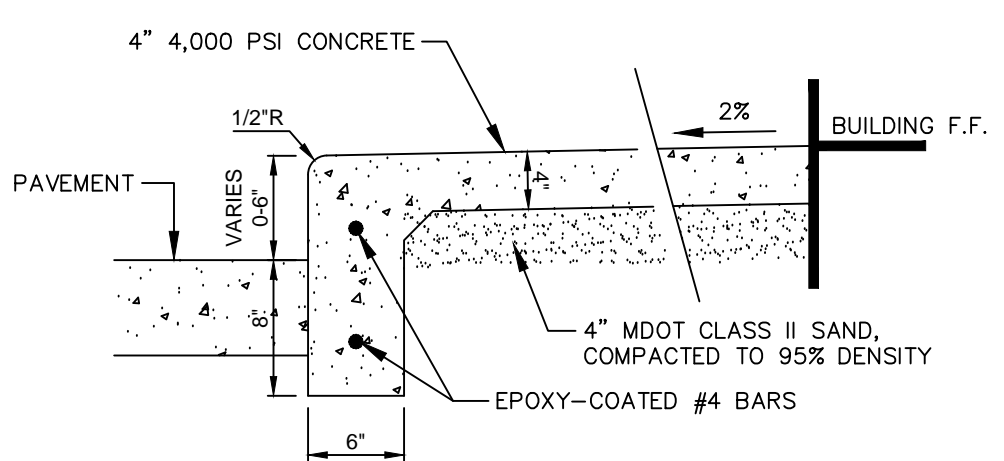
- PROPOSED CONCRETE PAVEMENT
- PROPOSED SPOT ELEVATION
- 757.25 x EXISTING SPOT ELEVATION
- "PITCH-OUT" CURB & GUTTER

SPOT ELEVATION ABBREVIATIONS:

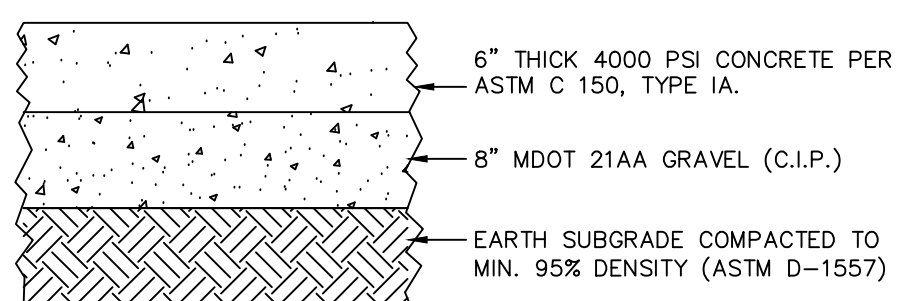
- FF FIRST FLOOR ELEVATION
- ME MATCH EXISTING
- TC TOP OF CURB
- TP TOP OF PAVEMENT
- EP EDGE OF PAVEMENT
- RIM RIM ELEVATION OF STRUCTURE OR COVER

- DRAINAGE & UTILITY NOTES**
- PROPOSED BUILDING TO UTILIZE EXISTING PUBLIC UTILITY CONNECTIONS. PLUMBING, ELECTRICAL, GAS, SANITARY SEWER & WATER SHALL CONNECT TO SYSTEMS WITHIN THE EXISTING STRUCTURE.
 - STORM WATER TO BE DIRECTED TO EXISTING DISCHARGE LOCATION. RUNOFF TO SHEET FLOW ACROSS THE SITE SURFACE, DISCHARGING TO THE CITY STORM WATER COLLECTION SYSTEM IN MICHIGAN AVENUE.
 - ROOF DRAINS PLANNED TO SPLASH ON GRADE.

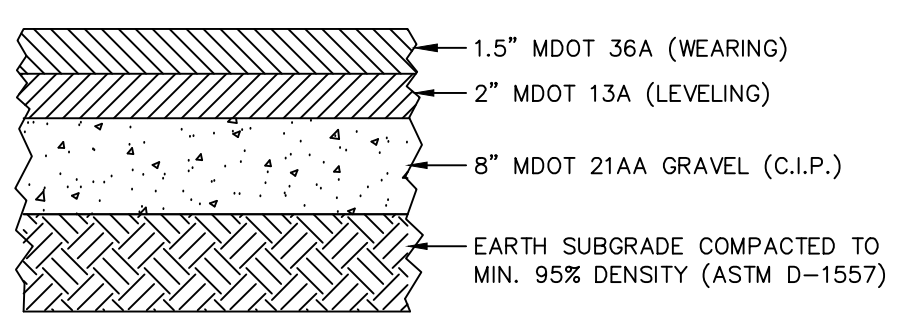
- GENERAL GRADING NOTES**
- CONTRACTOR SHALL MINIMIZE SOIL EROSION ONTO ADJOINING PROPERTY AND RIGHT OF WAYS. NO CONSTRUCTION ACTIVITIES SHALL COMMENCE UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED. EROSION MEASURES SHALL REMAIN IN PLACE UNTIL VEGETATION IS ESTABLISHED ON ALL UNPAVED AREAS.
 - CONTRACTOR TO PLACE BACKFILL AND FILL SOIL MATERIALS IN LAYERS NOT MORE THAN 8 INCHES THICK IN LOOSE DEPTH FOR MATERIAL TO BE COMPACTED TO COMPACTION SHALL BE BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4 INCHES THICK IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS. COMPACTION SHALL BE TO 95 PERCENT OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D-1557).
 - CONTRACTOR SHALL UNIFORMLY GRADE DISTURBED AREAS TO A SMOOTH SURFACE. UNPAVED AREAS TO BE RESTORED WITH 4" OF TOPSOIL AND SEEDED PER MFG RECOMMENDATIONS.
 - CONTRACTOR SHALL PROVIDE A SAWCUT EDGE WHEN MATCHING EXISTING ASPHALT PAVEMENT.
 - PAVEMENT/SIDEWALK AT BUILDINGS SHALL MATCH FINISHED FLOOR ELEVATIONS OF BUILDINGS, UNLESS OTHERWISE SPECIFIED.
 - CONTRACTOR SHALL LEGALLY DISPOSE OF ALL SURPLUS SOIL MATERIAL, UNSUITABLE TOPSOIL, DEMOLISHED MATERIALS, AND WASTE MATERIALS (INCLUDING TRASH AND DEBRIS) FROM SITE. MATERIALS SHALL NOT BE DISPOSED OF BY BURNING.
 - SURPLUS AND DEMOLISHED MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR.
 - IF SUSPECT CONTAMINATED SOIL, GROUNDWATER, OR OTHER UNKNOWN MATERIAL IS ENCOUNTERED, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY. SUSPECT CONTAMINATED SOIL MAY EXHIBIT CHEMICAL OR UNUSUAL ODORS, STAINING, UNUSUAL COLORING, AND/OR CONTAIN MAN-MADE DEBRIS. SUSPECT CONTAMINATED GROUNDWATER MAY EXHIBIT CHEMICAL OR UNUSUAL ODORS, UNUSUAL COLORING, AND/OR SHEEN. IMMEDIATELY CEASE ALL EXCAVATION, DEWATERING, TRANSPORT, OR DISTURBANCE OF THE SUSPECT MATERIAL UNTIL GIVEN DIRECTION BY TRITERRA.



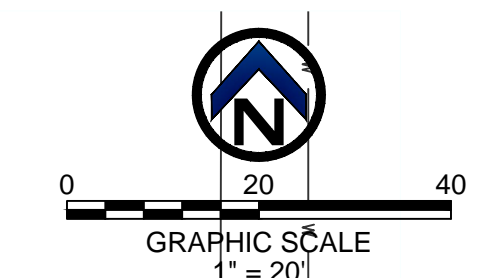
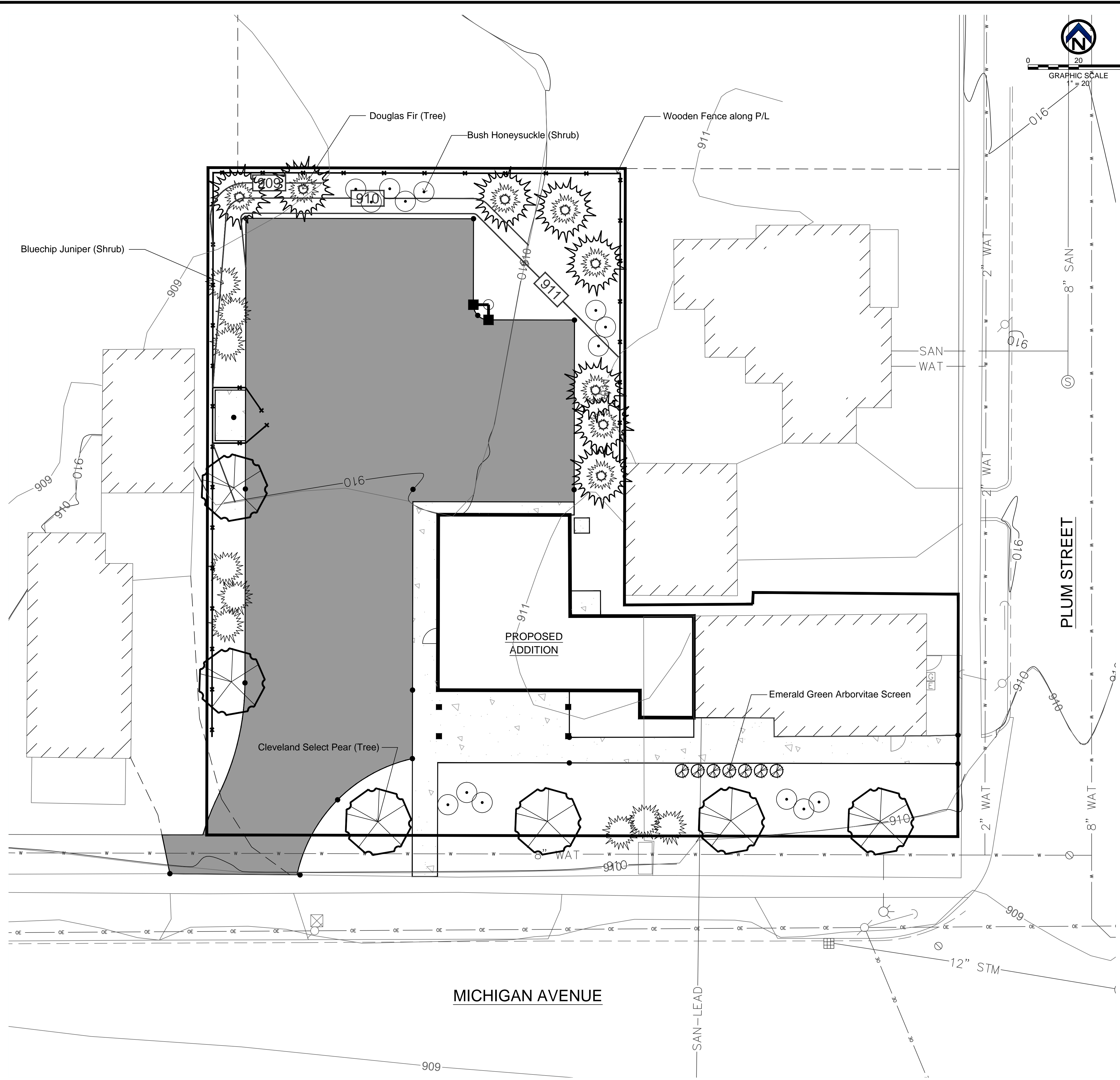
INTEGRAL CURB & WALK SECTION
 ALONG FRONT AND SIDES OF PROPOSED BUILDING
 SCALE: NONE



CONCRETE PAVEMENT SECTION
 SCALE: NONE



ASPHALT PAVEMENT SECTION
 SCALE: NONE

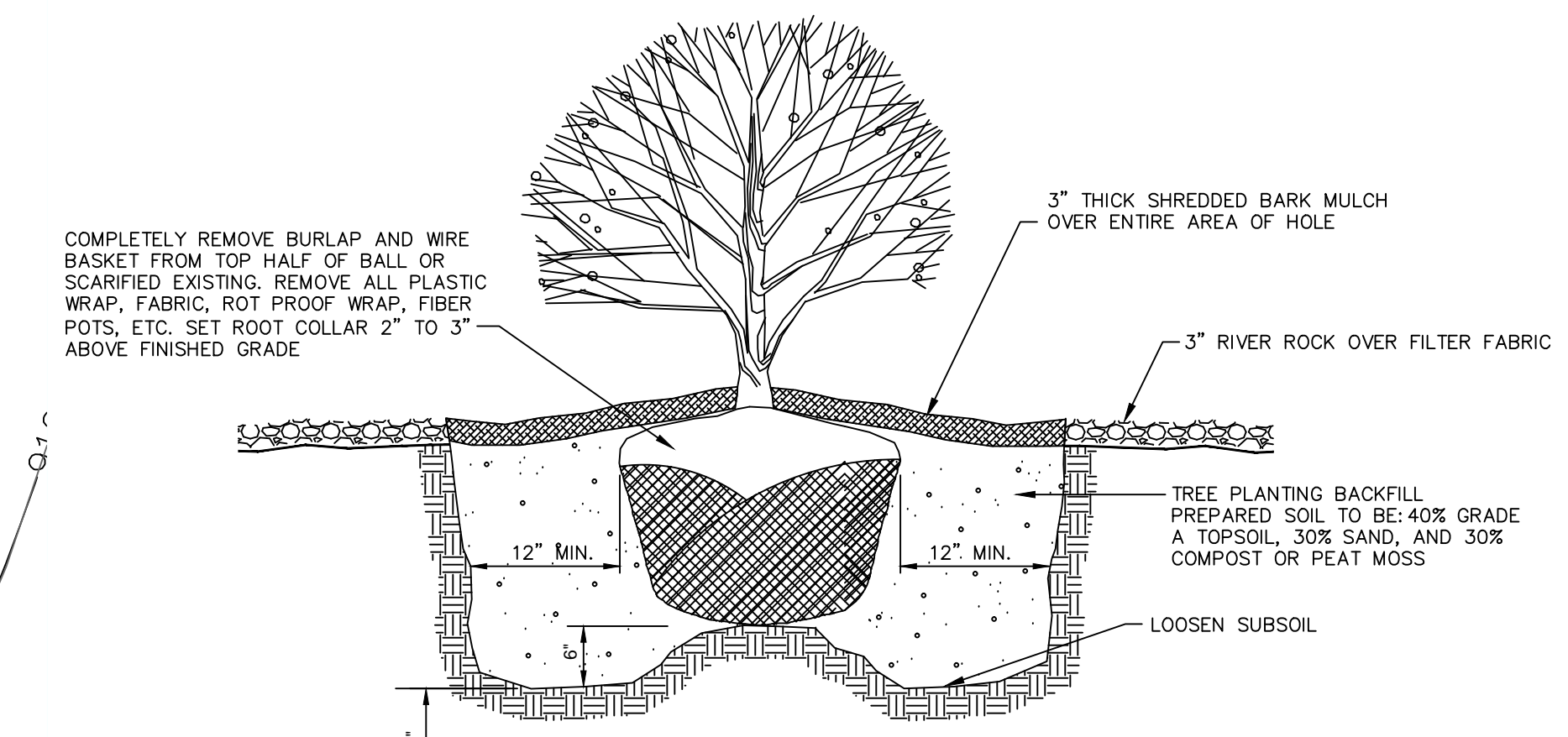


PLANTING SCHEDULE

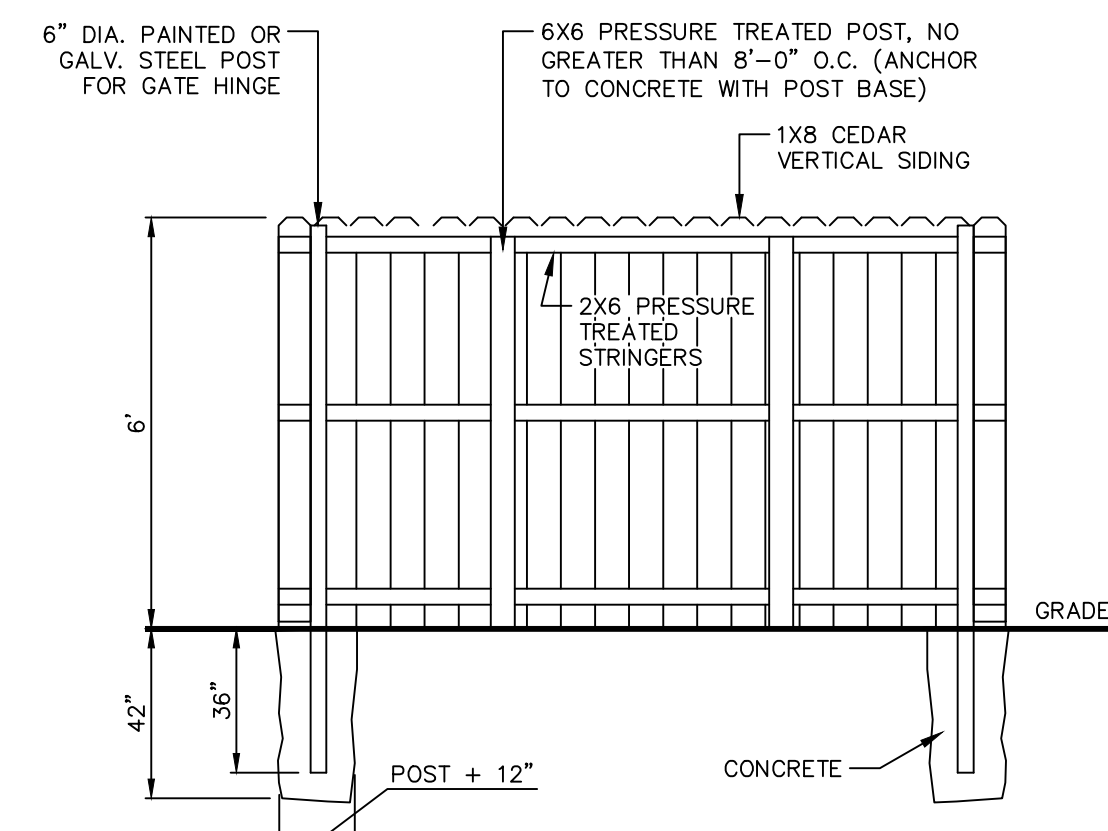
SYMBOL	QTY	COMMON NAME	BOTANICAL NAME	SPACING	NOTES
	8	Douglas Fir	<i>Pseudotsuga menziesii</i>	16'	6' Height
	6	'Cleveland Select' Pear	<i>Pyrus calleryana</i> 'Cleveland Select'	10'	2.5' Caliper
	7	Emerald Green Arborvitae	<i>Thuja occidentalis</i> 'Emerald Green'	3-4'	6' Height
	9	Bluechip Juniper	<i>Juniperus horizontalis</i>	4-5'	30" Spread
	14	Bush Honeysuckle	<i>Diervilla lonicera</i>	4-5'	30" Height

LANDSCAPE NOTES

- LANDSCAPING SHALL BE INSTALLED IN A MANNER CONSISTENT WITH THE STANDARDS OF AMERICANHORT AND GENERALLY ACCEPTED PLANTING PROCEDURES. TREE STAKES, GUY WIRES AND TREE WRAP ARE TO BE REMOVED AFTER ONE YEAR.
- REQUIRED LANDSCAPING OR SCREENING SHALL BE PLANTED WITHIN 180 CALENDAR DAYS FROM THE DATE OF ISSUANCE OF A CERTIFICATE OF OCCUPANCY, AND SHALL BE MAINTAINED IN ACCORDANCE WITH CITY STANDARDS.
- ALL LANDSCAPING SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION, NEAT AND ORDERLY IN APPEARANCE, AND FREE FROM REFUSE AND DEBRIS.
- PLANT MATERIAL QUANTITIES SHOWN ON PLAN ARE MINIMUM QUANTITIES. ADDITIONAL MATERIAL MAY BE NEEDED TO MEET SPACING REQUIREMENTS AND FIELD CONDITIONS.
- UNPAVED AREAS SHALL RECEIVE 4" TOPSOIL AND SEED. APPLY SEED PER MANUFACTURER SPECIFICATIONS.
- ALL TREES TO BE FULL AND WITH A STRONG CENTRAL LEADER.
- VERIFY ALL UTILITY LOCATIONS IN THE FIELD PRIOR TO BEGINNING WORK. REPAIR ALL DAMAGED UTILITIES TO OWNER'S SATISFACTION AT NO ADDITIONAL COST.
- THE CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIAL AND LAWNS UNTIL THE PROJECT IS FULLY ACCEPTED BY THE OWNER.
- ALL WORKMANSHIP AND MATERIALS SHALL BE GUARANTEED BY THE CONTRACTOR FOR A PERIOD OF ONE CALENDAR YEAR AFTER FINAL ACCEPTANCE.



PLANTING DETAIL
NOT TO SCALE



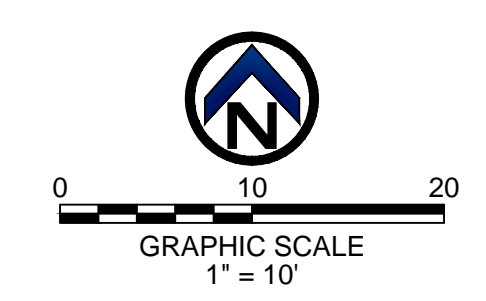
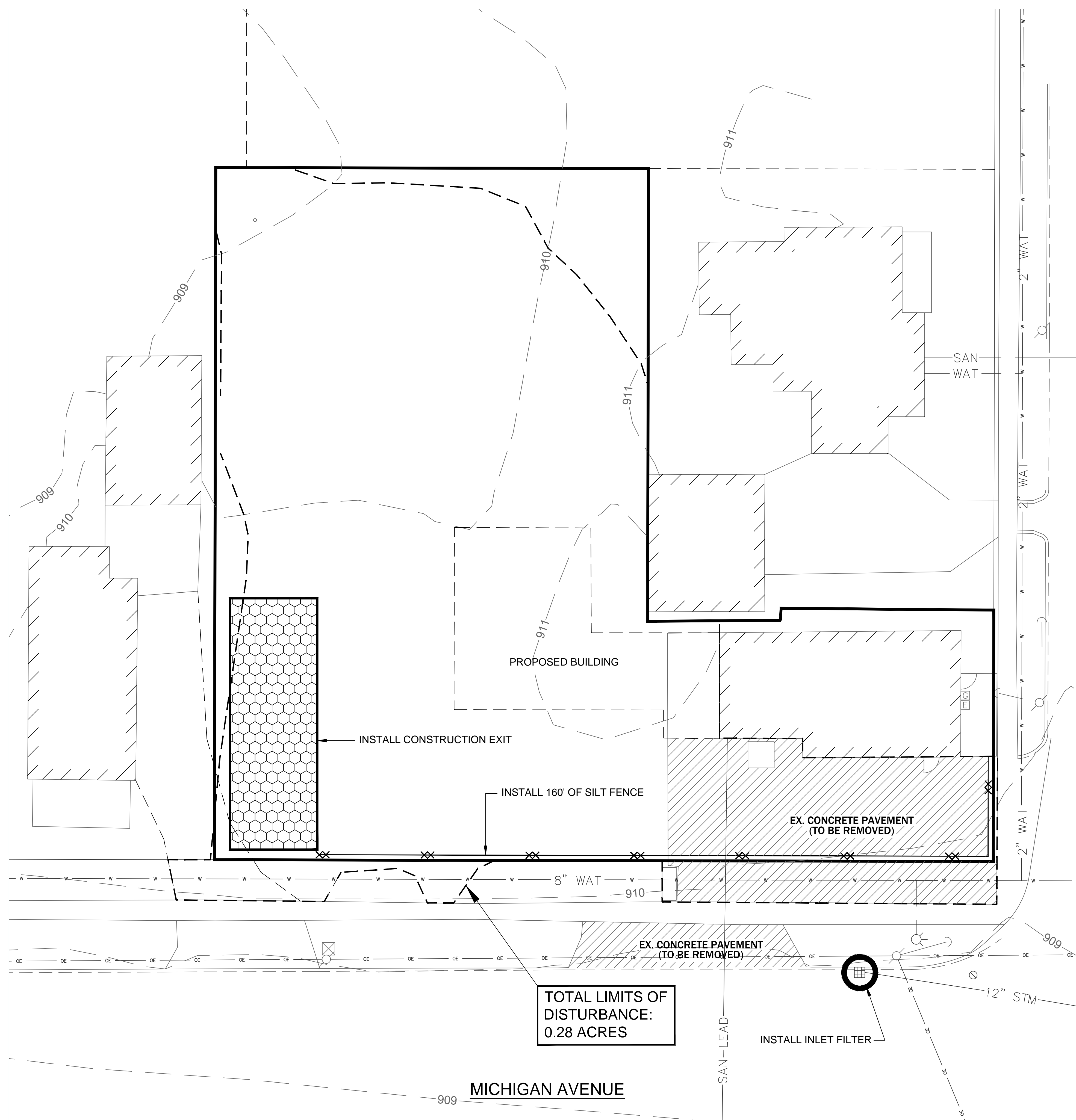
WOODEN FENCE DETAIL
SCALE: NONE

Revisions:

1/13/2026	REV PER CITY ADMIN REVIEW #1
3/16/2026	REV PER CITY ADMIN REVIEW #2
3/18/2026	REV PER CITY ADMIN REVIEW #3

ROYAL SWINE BARBECUE
SITE EXPANSION
802 W MICHIGAN AVE, MARSHALL, MI 49068
LANDSCAPE PLAN

DATE: 2/26/2026
PREPARED BY: JWJ
REVIEWED BY: JWJ
PROJECT NO.: 26-1002
SHEET NO.

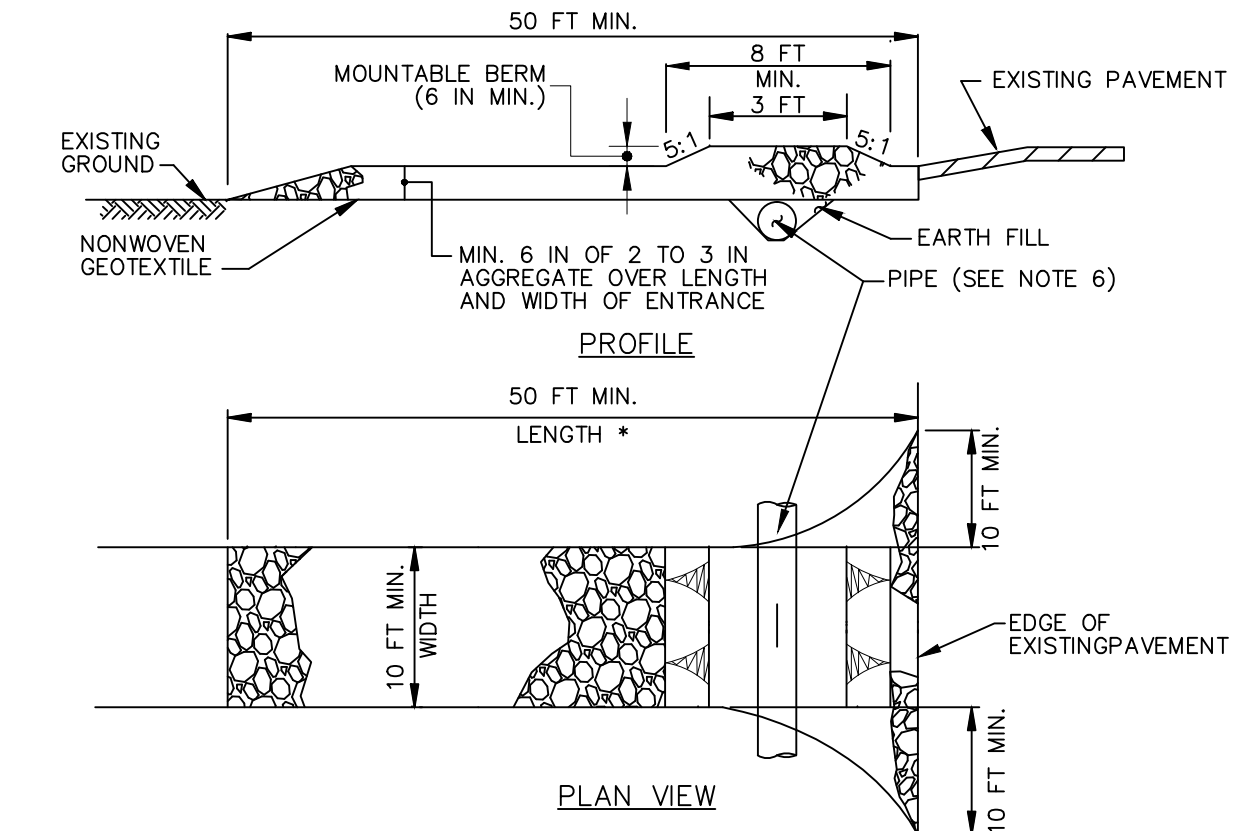


SYMBOLS LEGEND

- PROPOSED INLET FILTER
- PROPOSED SILT FENCE
- LIMITS OF DISTURBANCE

EROSION CONTROL NOTES

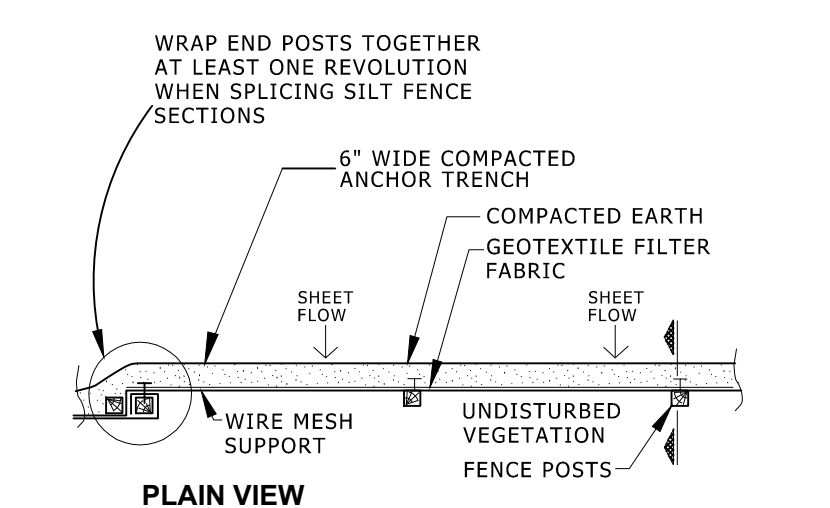
1. ALL SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATIONS, AND SHALL BE MAINTAINED UNTIL VEGETATION IS UNIFORMLY RE-ESTABLISHED AND THE SITE IS PERMANENTLY STABILIZED.
2. NO SEDIMENT SHALL BE TRACKED ONTO THE ADJACENT PUBLIC STREET AND IF IT DOES OCCUR, IT SHALL BE CLEANED DAILY.
3. ALL SOIL EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS AND IMMEDIATELY FOLLOWING EVERY SIGNIFICANT RAINFALL EVENT.
4. ALL EXCESS SPOILS ARE TO BE REMOVED FROM THE SITE. OTHERWISE, STOCKPILES MUST BE PROVIDED WITH TEMPORARY AND PERMANENT STABILIZATION MEASURES.
5. EXCESS DIRT IS NOT TO BE PLACED ON ANY AREAS ON OR ADJACENT TO THE SITE WHERE THE PLAN DOES NOT SHOW THE AREA BEING DISTURBED.
6. INLET FILTERS TO BE "STREAMGUARD" BY STORMWATER SERVICES CORPORATION OR "SILTSACK" BY ATLANTIC CONSTRUCTION FABRICS, INC. ANY OTHER SELECTIONS TO BE APPROVED BY ENGINEER.
7. ALL DISTURBED BANKS EQUAL TO OR GREATER THAN 4:1 AND THE DIVERSION DITCH MUST BE COVERED WITH TOPSOIL, SEED AND NORTH AMERICAN GREEN EROSION CONTROL BLANKET. THIS BLANKET, ALONG WITH THE NECESSARY STAPLES SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS. SEAMS SHALL BE PLACED PARALLEL TO THE DIRECTION OF SURFACE RUNOFF.
8. SILT FENCING IS REQUIRED ALONG ALL DOWNSTREAM EDGES OF THE GRADING LIMITS AND MUST REMAIN IN PLACE UNTIL VEGETATION IS UNIFORMLY RE-ESTABLISHED. THE SILT FENCE MUST BE TOED IN A MINIMUM OF 6 INCHES ALONG ITS BASE.
9. ALL DRAINAGE STRUCTURE SUMPS NEED TO BE CLEANED AT END OF PROJECT ONCE VEGETATION IS ESTABLISHED.
10. ANY HYDROSEEDED AREAS THAT BECOME UNSTABLE DURING CONSTRUCTION SHALL BE COVERED WITH TOPSOIL, SEED, NORTH AMERICAN GREEN EROSION CONTROL BLANKET AND SEED.



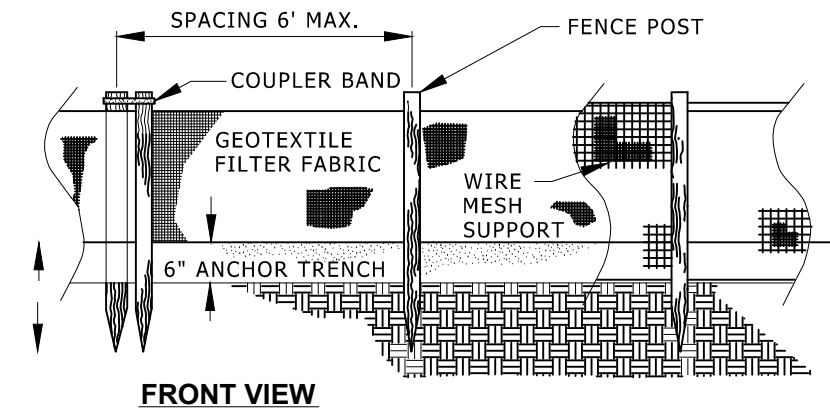
CONSTRUCTION SPECIFICATIONS

1. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
2. PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE.
3. MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE, MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING.

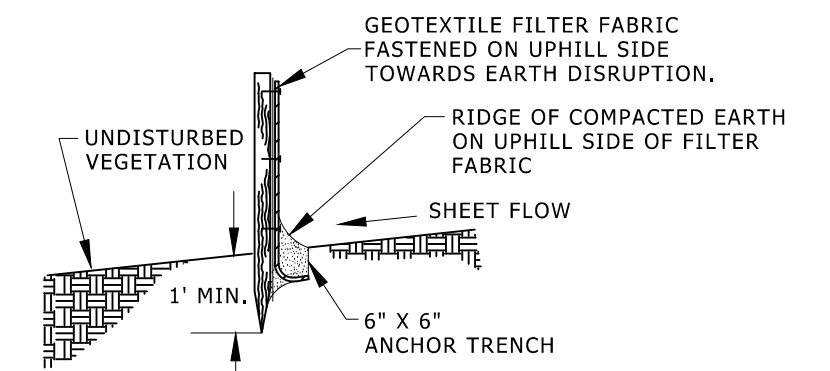
CONSTRUCTION ENTRANCE / EXIT



PLAIN VIEW



FRONT VIEW



SECTION A-A

SILT FENCE

NO SCALE

CONSTRUCTION SPECIFICATIONS

1. USE WOOD POSTS 1.5" X 1.5" INCH (MINIMUM) SQUARE CUT OF SOUND QUALITY HARDWOOD. AS AN ALTERNATIVE TO WOODEN POST USE STANDARD "I" OR "U" SECTION STEEL POSTS WEIGHING NOT LESS THAN 1 POUND PER LINEAR FOOT.
2. USE 3/8 INCH MINIMUM POSTS DRIVEN 16 INCH MINIMUM INTO GROUND NO MORE THAN 6 FEET APART.
3. FASTEN GEOTEXTILE SECURELY TO UPSLOPE SIDE OF FENCE POSTS WITH WIRE TIES OR STAPLES AT TOP AND MID-SECTION.
4. EMBED GEOTEXTILE A MINIMUM OF 8 INCHES VERTICALLY INTO THE GROUND. BACKFILL AND COMPACT THE SOIL ON BOTH SIDES OF FABRIC.
5. WHERE TWO SECTIONS OF GEOTEXTILE ADJOIN: OVERLAP, TWIST, AND STAPLE TO POST IN ACCORDANCE WITH THIS DETAIL.
6. EXTEND BOTH ENDS OF THE SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SILT FENCE.
7. REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN SILT FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL FENCE.

Revisions:
A 2/23/2026 REV PER CITY ADMIN REVIEW

DATE: 2/26/2026

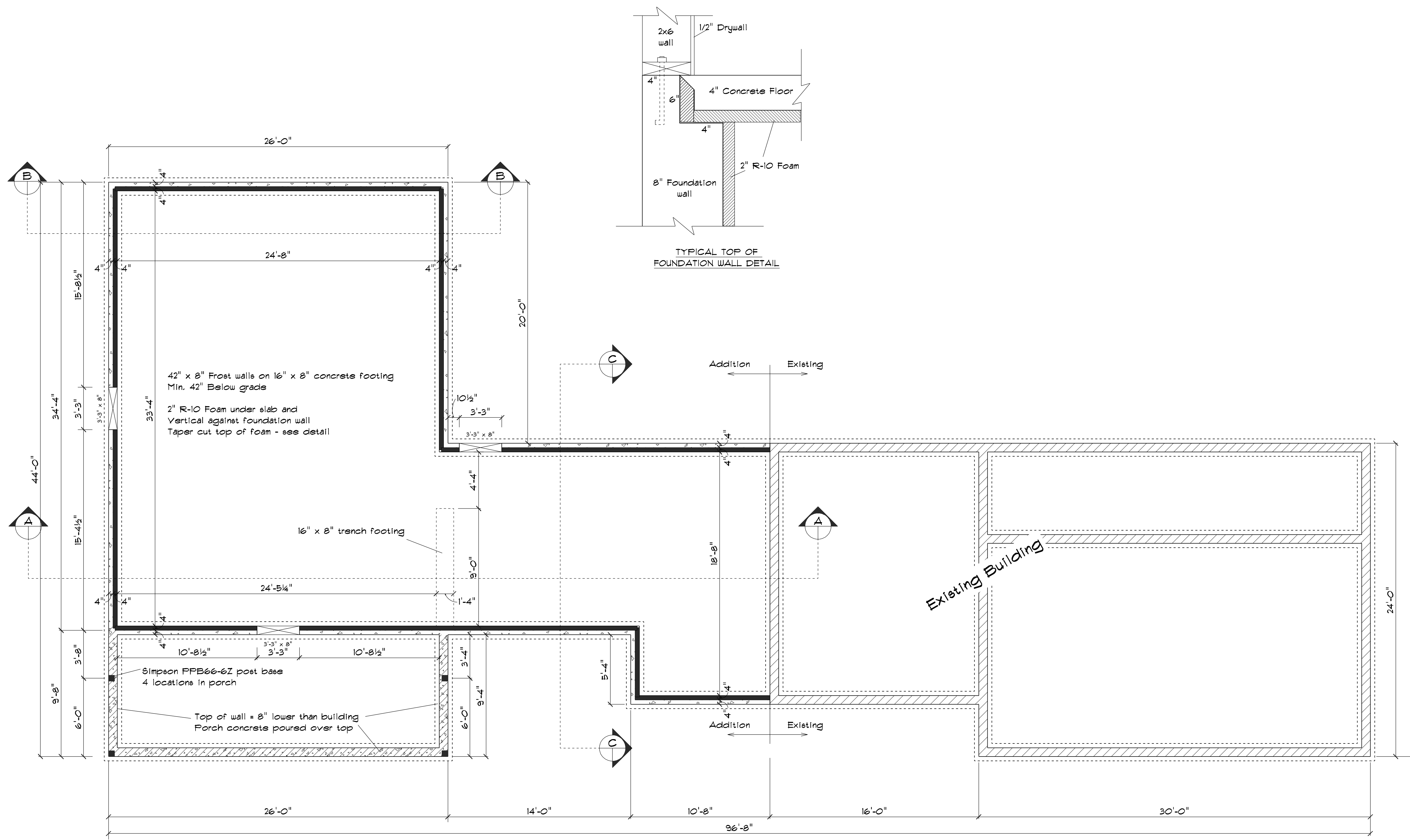
PREPARED BY: JWJ

REVIEWED BY: JWJ

PROJECT NO.:
26-1002

SHEET NO.

C-04



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

Royal Swine
BBQ

Revision/Issue	Date

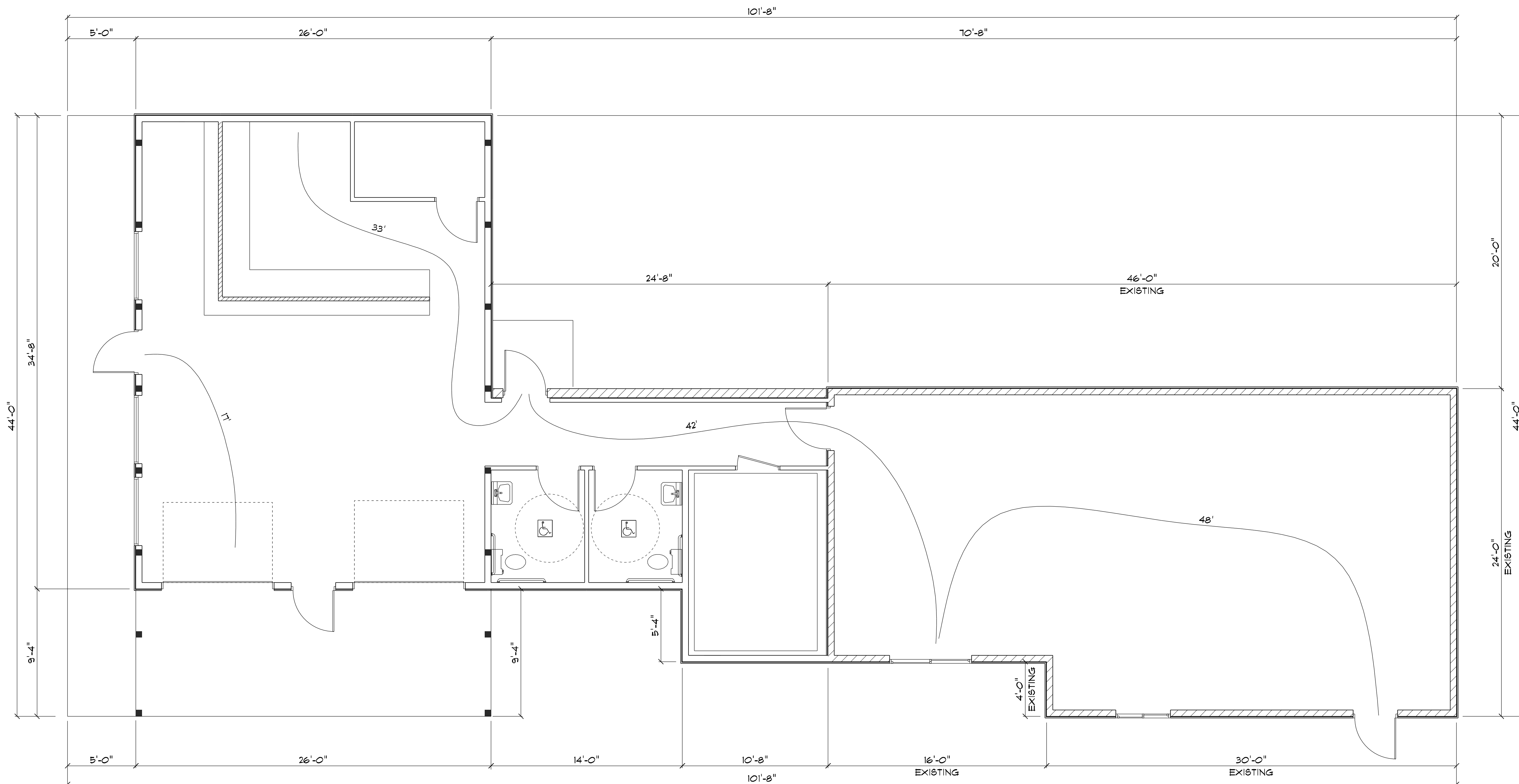
ARCHITECT
FRANK MASON AND ASSOCIATES

MARSHALL, MI 49068
(269) 788-7974
(269) 209 5842

Royal Swine
BBQ

Page FLOOR PLAN	Sheet
Date 3/19/2026	A-2
Scale 1/4" = 1'-0"	

Royal Swine
BBQ



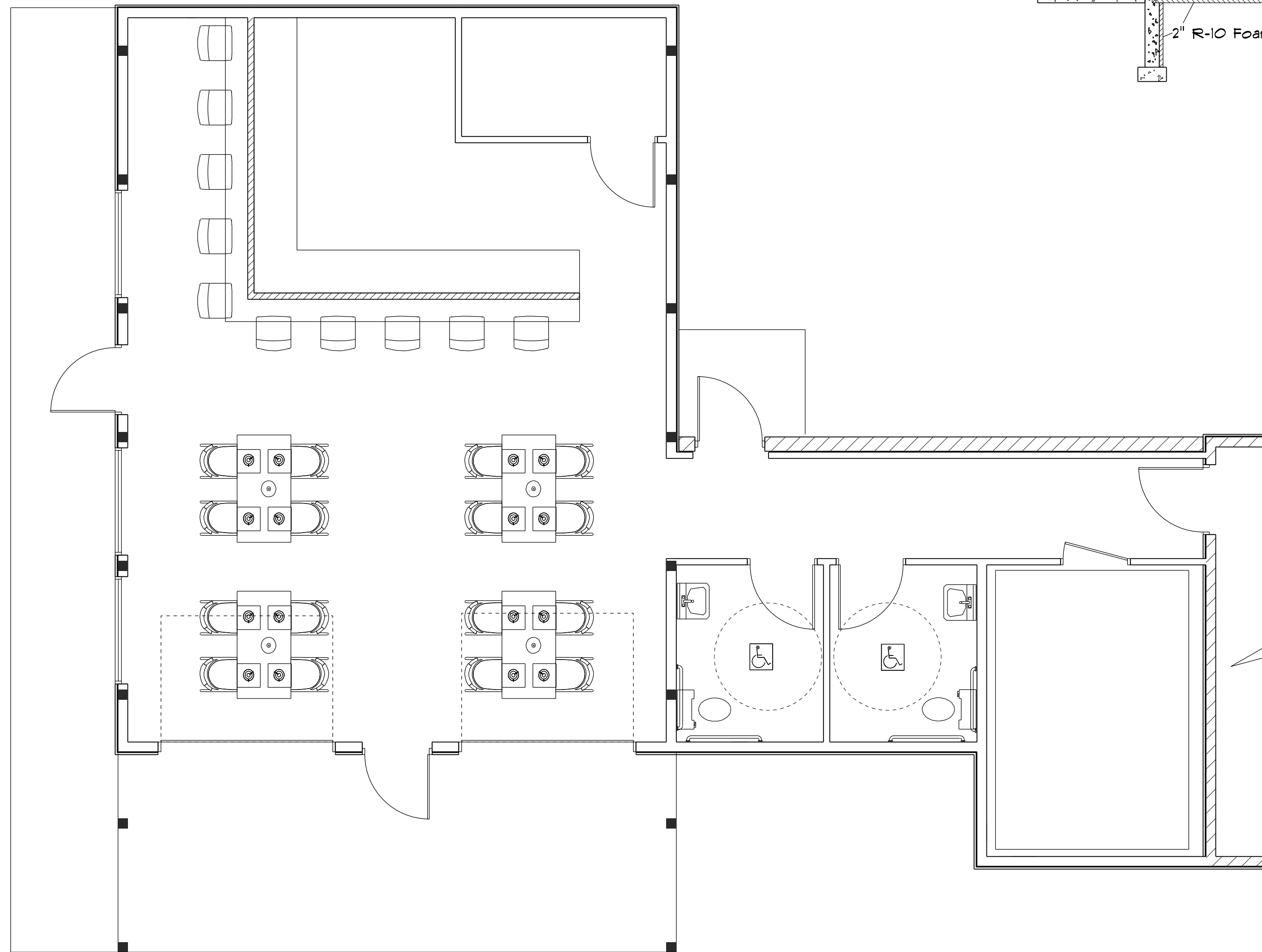
EGRESS PLAN
SCALE: 1/4" = 1'-0"
Plan Shows Travel Distance to Egress

Revision/Issue	Date

ARCHITECT
FRANK MASON AND ASSOCIATES
MARSHALL, MI 49068
(269) 788-7974
(269) 209 5842

Royal Swine
BBQ

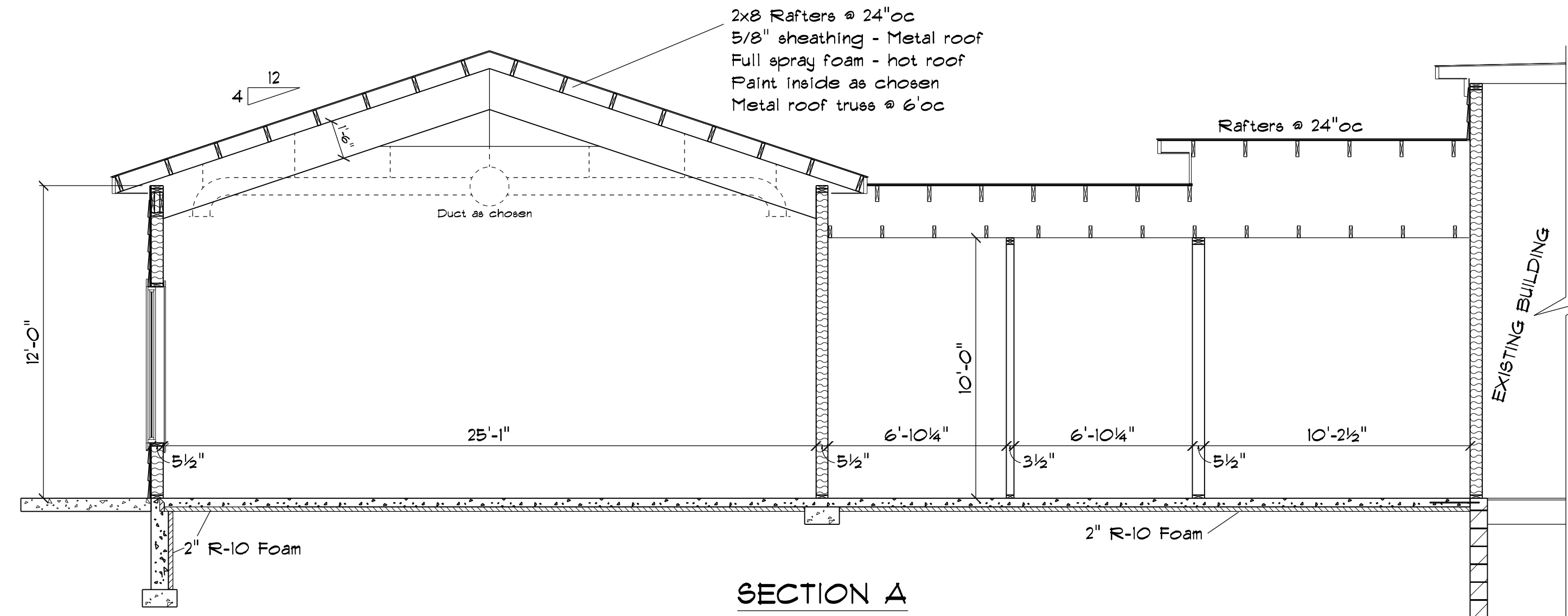
Page EGRESS PLAN	Sheet A-3
Date 3/19/2026	
Scale 1/4" = 1'-0"	



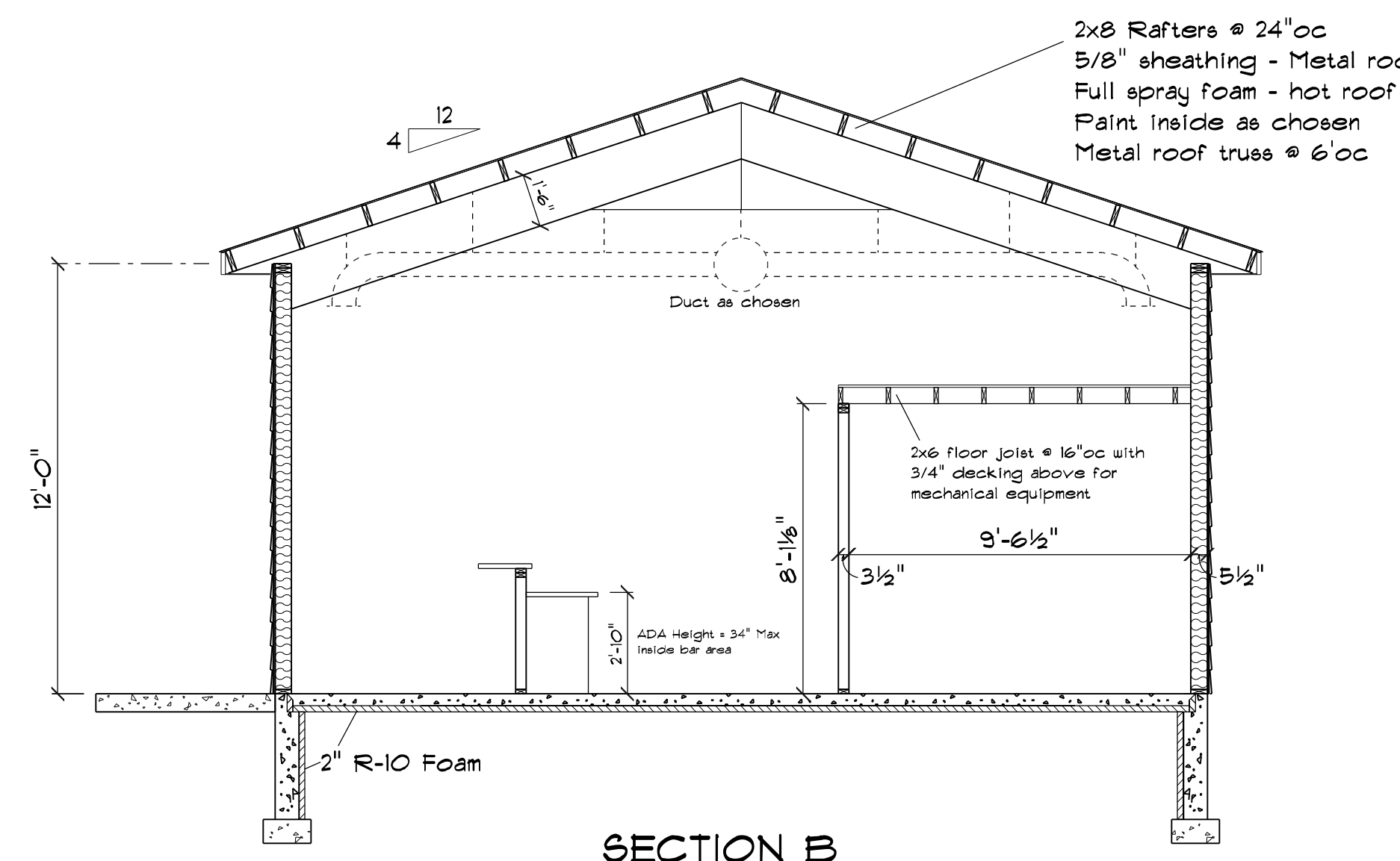
SEATING LAYOUT

SCALE: 1/4" = 1'-0"

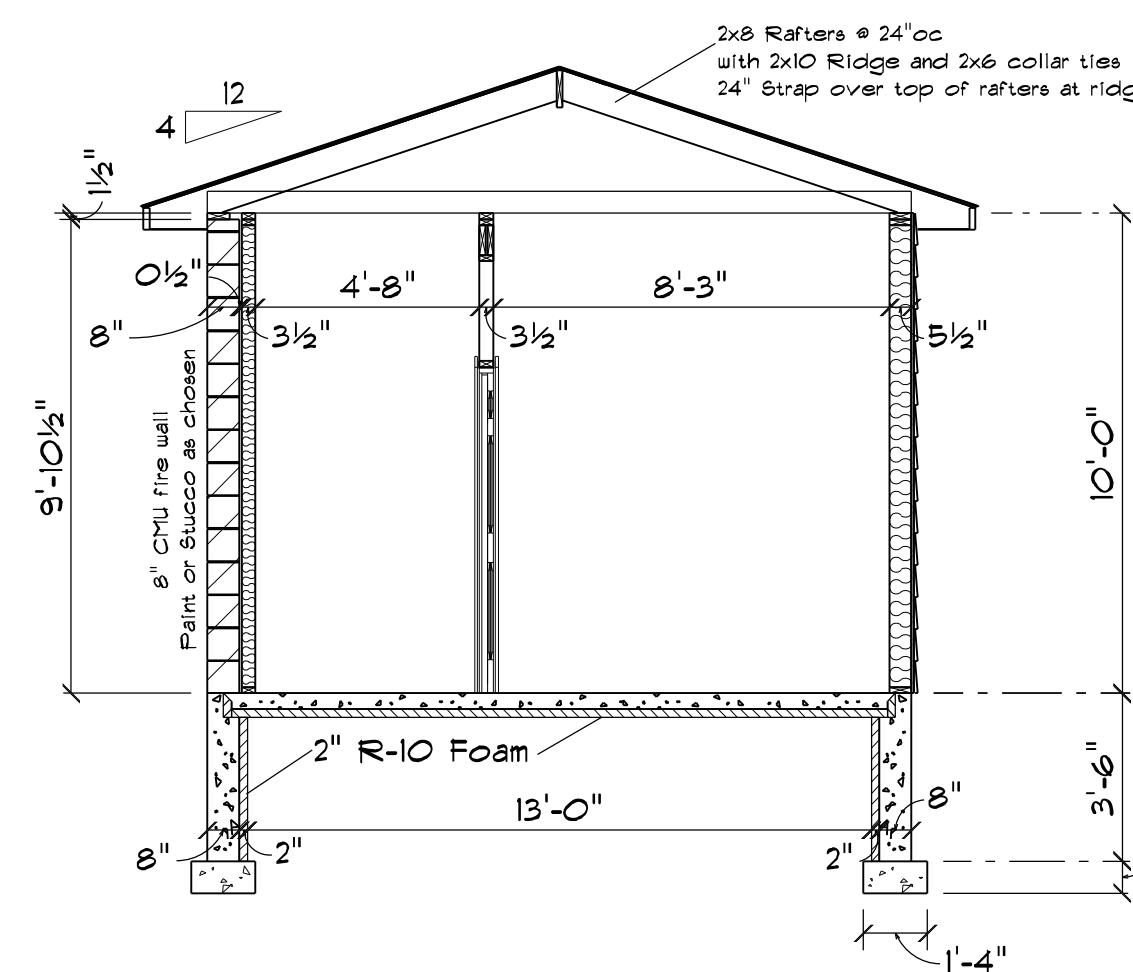
Table 4 Chair Layout
 10 People at the Bar
 16 People at Tables
 Table layout may vary but capacity will remain at 30
 Employees = 4 Max per shift



SECTION A



SECTION B



Royal Swine
BBQ

Revision/Issue	Date

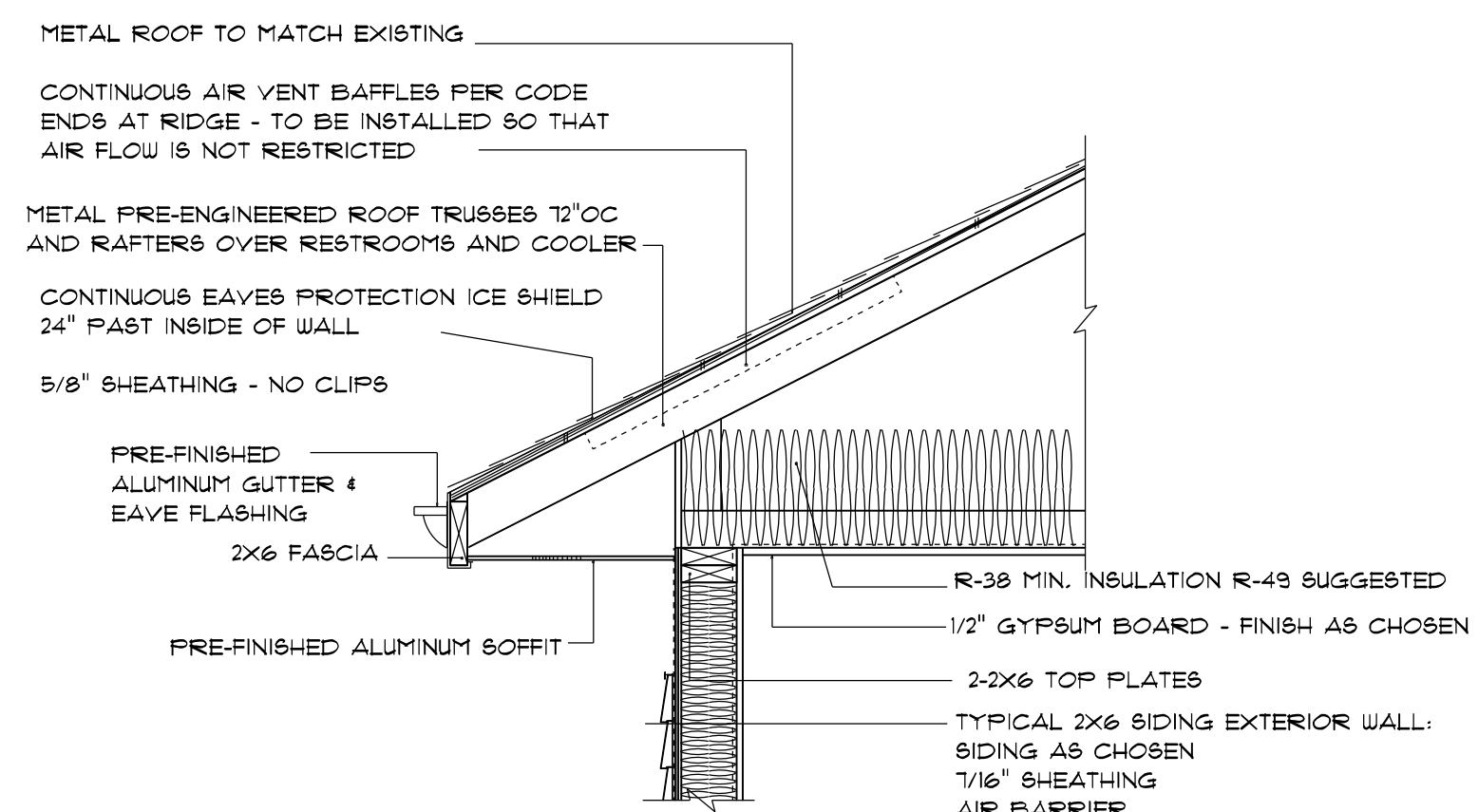
ARCHITECT
FRANK MASON AND ASSOCIATES

MARSHALL, MI 49068
 (269) 788-7974
 (269) 209 5842

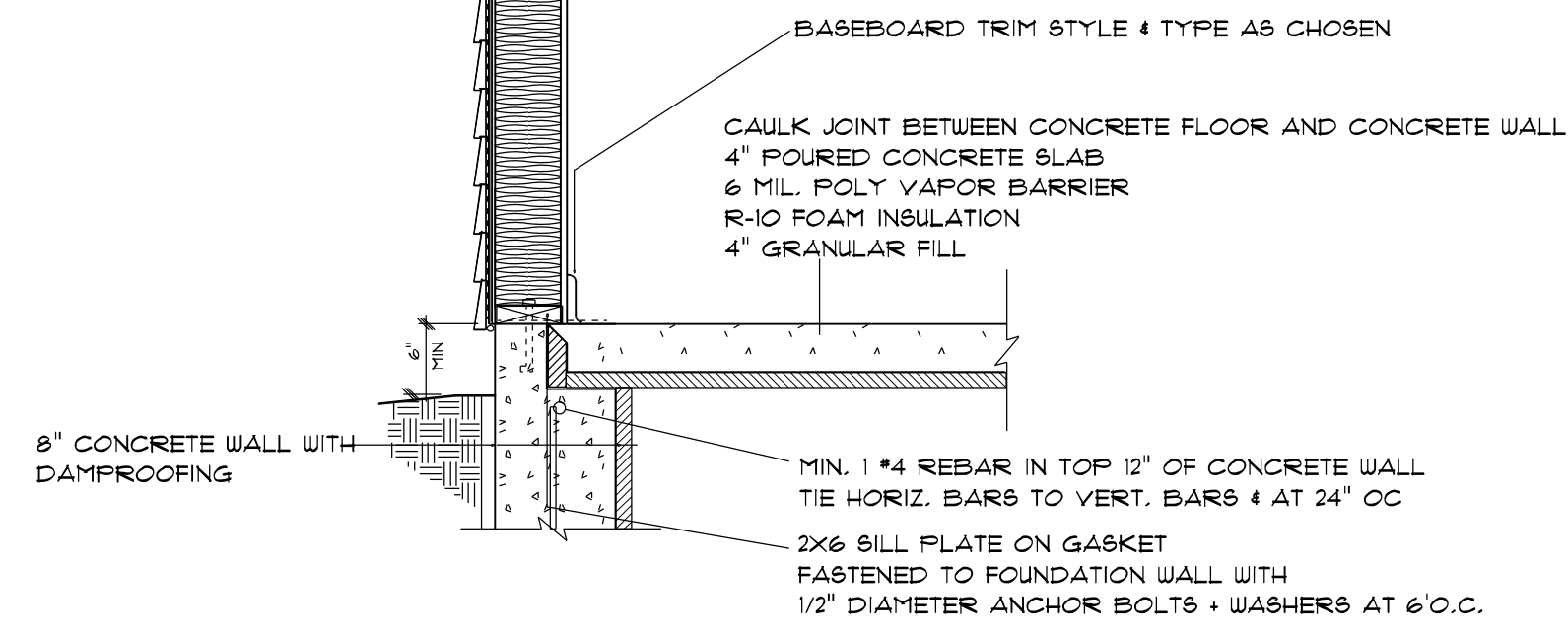
Royal Swine
BBQ

Page SEATING LAYOUT SECTIONS	Sheet A-4
Date 3/19/2026	
Scale 1/4" = 1'-0"	

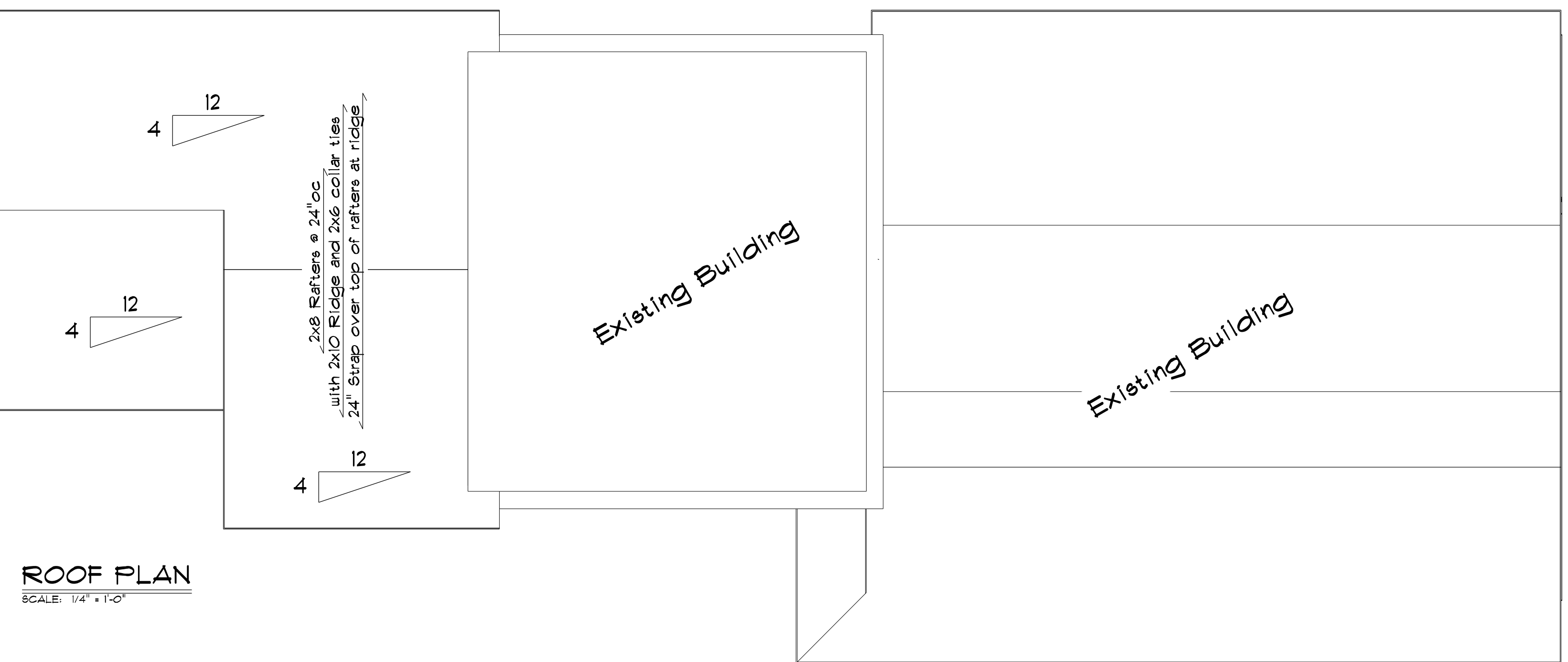
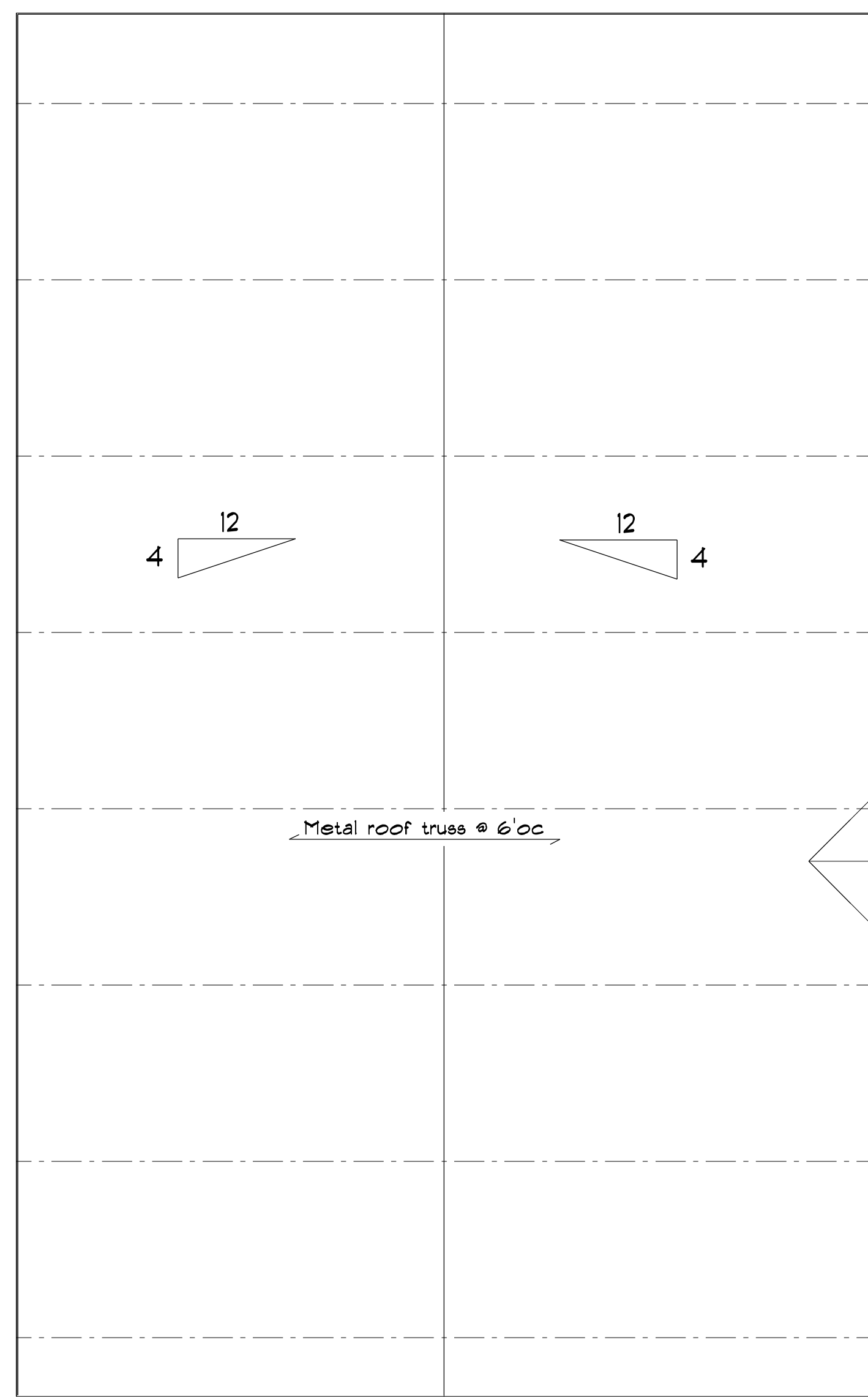
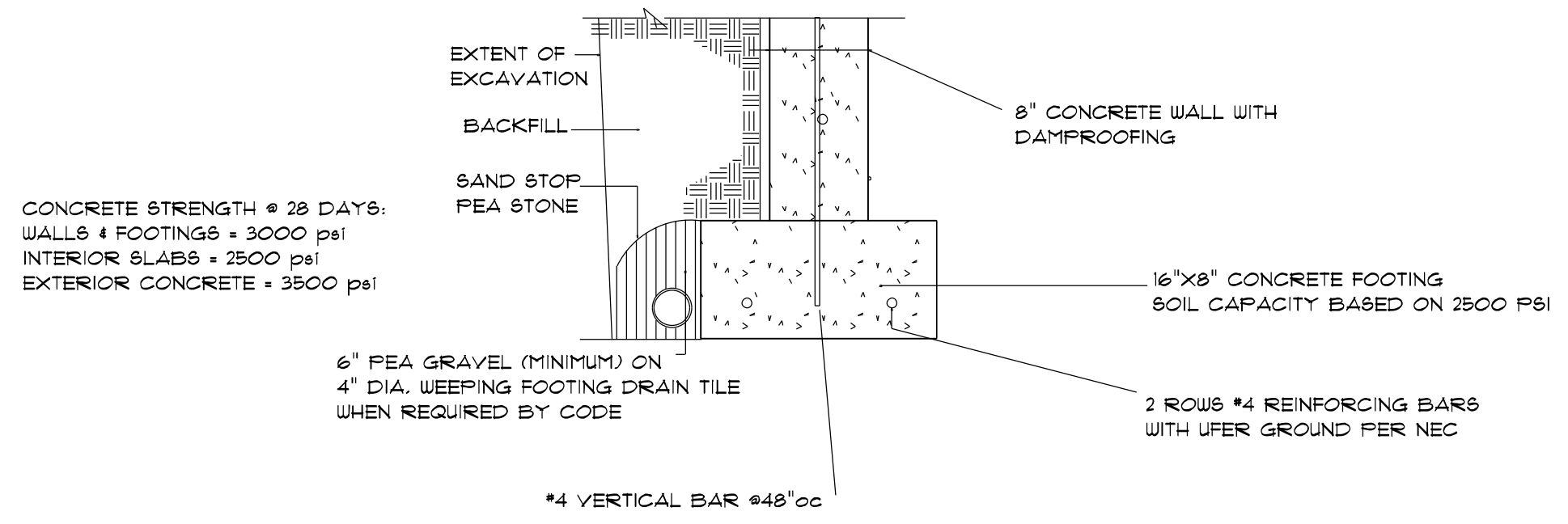
Royal Swine
BBQ



BLOWER DOOR TESTING IS REQUIRED BY 2015 MRC
ENERGY CODE COMPLIANCE CERTIFICATE MUST BE POSTED
ON A WALL NEAR THE MECHANICAL AREA OR APPROVED LOCATION
MECHANICAL EQUIPMENT TO BE SPECIFIED BY INSTALLER
MIN. OF 1 PROGRAMMABLE THERMOSTAT
AIR DUCTS MUST BE SEALED IN ACCORDANCE WITH 2015 MRC
WHOLE HOUSE VENTILATION SHALL COMPLY WITH SECTION M1501



Design Loading:
TCLL-TCDL-BCLL-BCDL
Floor + Concrete
Roof 30" = 10' - 0" - 10'
*See Table R301.2(5) for specific LL
Seismic Category = A R301.2(2)
Exposure B
30 mph wind



ROOF PLAN
SCALE: 1/4" = 1'-0"

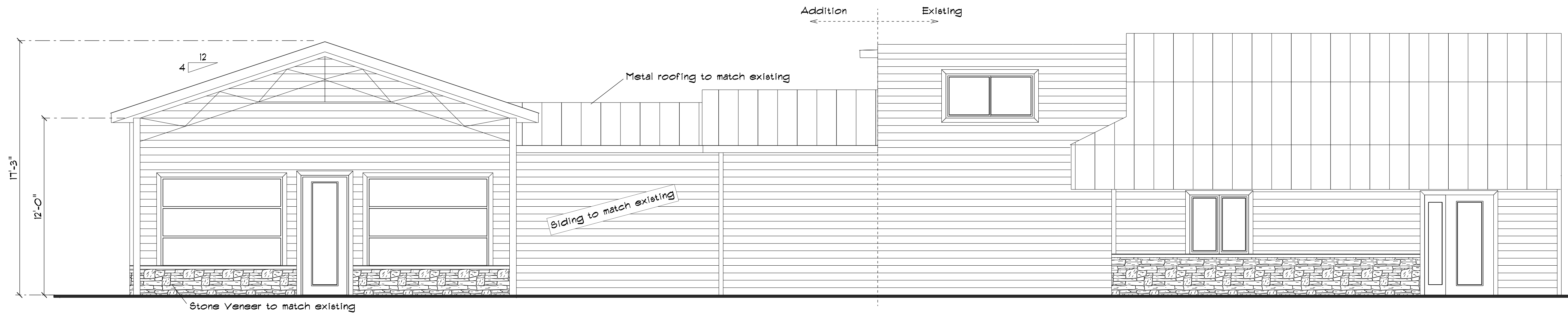
Revision/Issue	Date

ARCHITECT
FRANK MASON AND ASSOCIATES

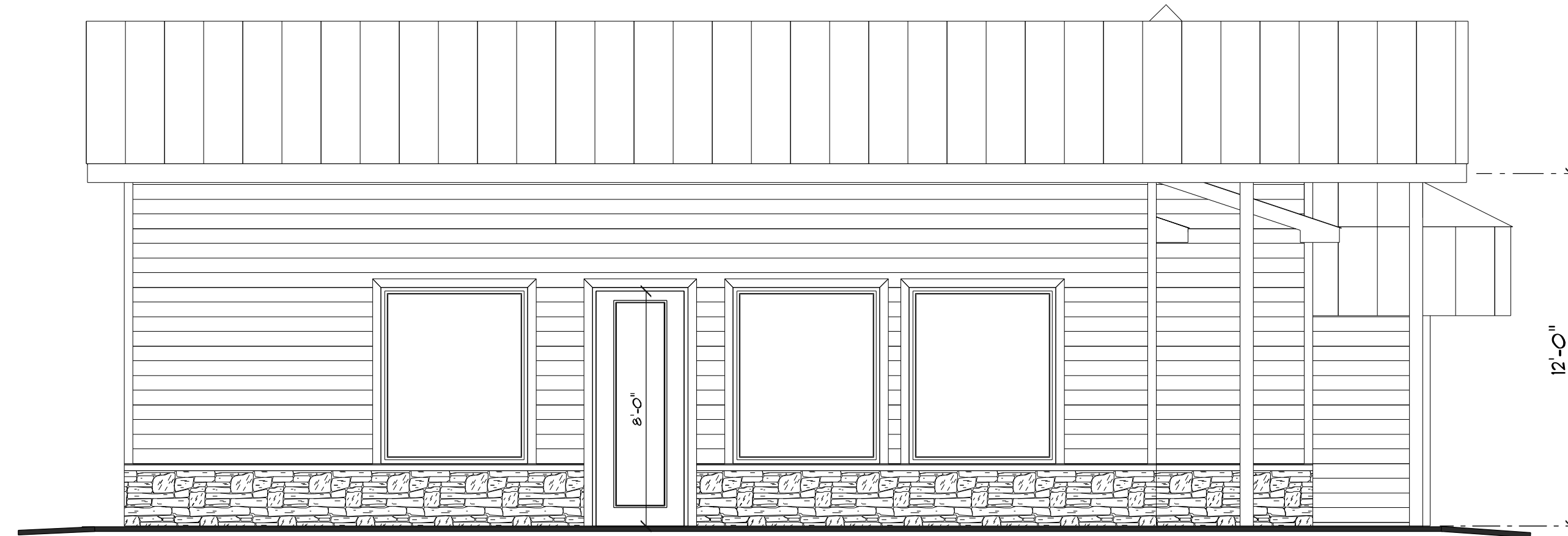
MARSHALL, MI 49068
(269) 788-7974
(269) 209 5842

Royal Swine
BBQ

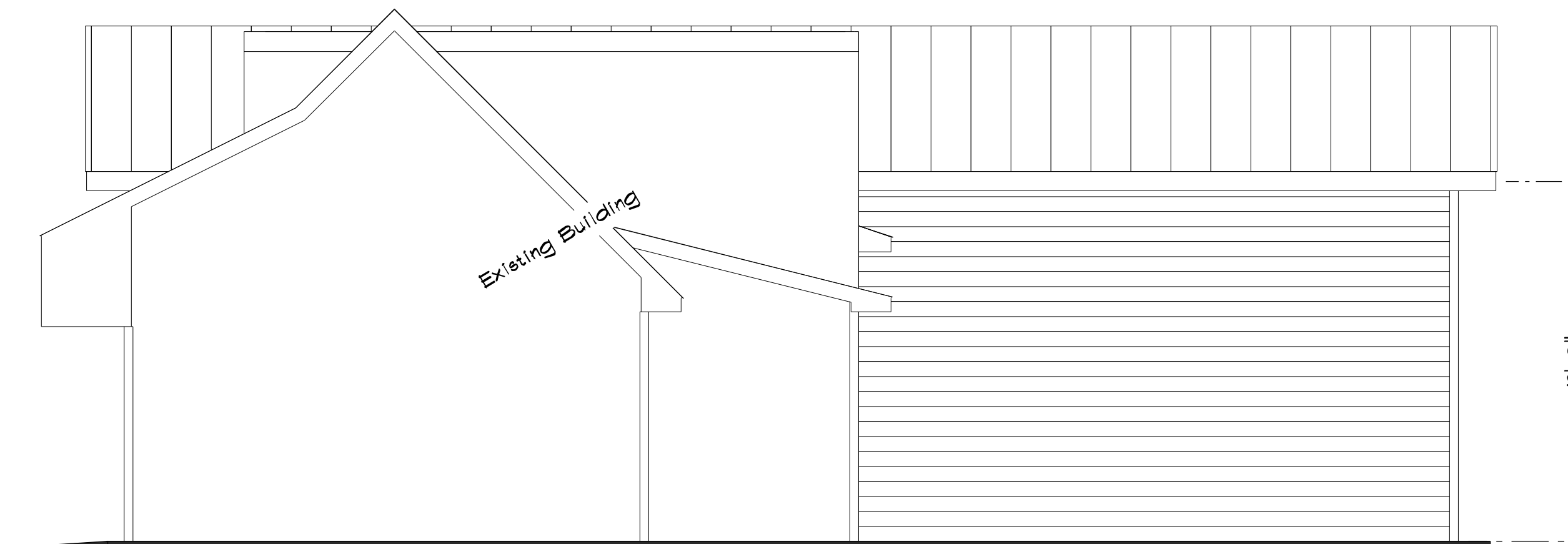
Page ROOF PLAN	Sheet A-5
Date 3/19/2026	
Scale 1/4" = 1'-0"	



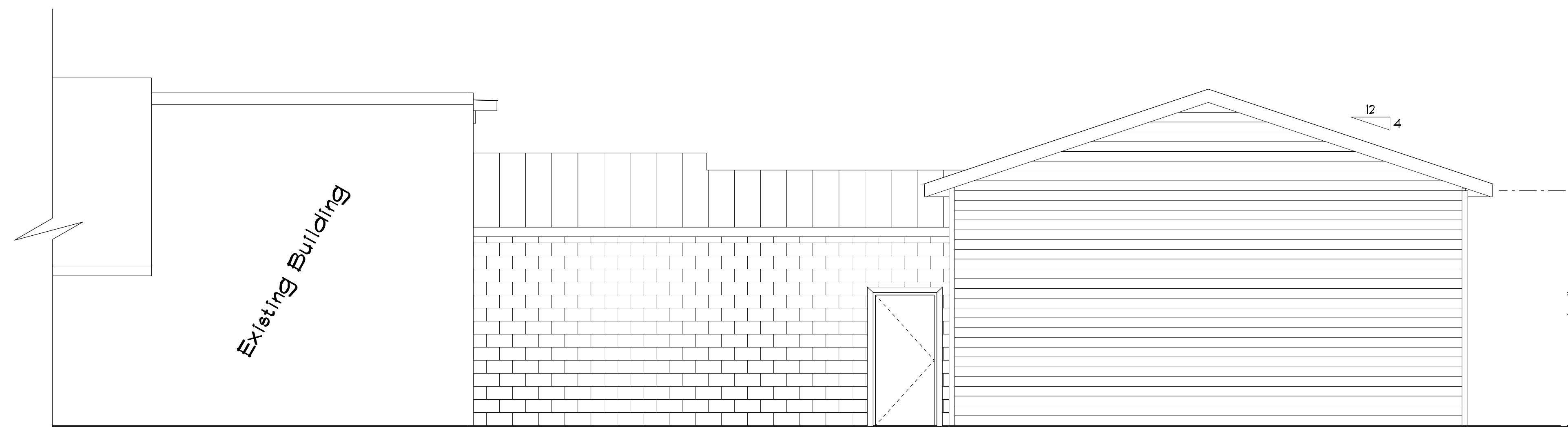
SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

Royal Swine
BBQ

Revision/Issue	Date

ARCHITECT
FRANK MASON AND ASSOCIATES

MARSHALL, MI 49068
(269) 788-7974
(269) 209 5842

Royal Swine
BBQ

Page
ELEVATIONS

Date
3/19/2026

Scale
1/4" = 1'-0"

Sheet

A-6

City of Marshall
Application for Site Plan Review

Attn: Planning and Zoning Administrator
323 W Michigan Ave.
Marshall, Michigan, 49068

The following application is made to the City of Marshall Planning Commission in accordance with the provisions of the Planning and Zoning Department.

1. Applicant Information

Address of property being developed:

802 W Michigan Ave, Marshall MI

Owner of property being developed:

Robert Crisp

Owner's Address:

21669 NM Drive
Marshall MI 49068
City State Zip

Owner's Phone Number:

1-906-202-2488

2. Owner's Agent if working for property owner.

Name and Title:

John Gutsue - Gutsue Construction

Address:

8213 D Drive N
Battle Creek MI 49014
City State Zip

Phone Number:

269-420-5960

City of Marshall
Application for Site Plan Review

3. Brief description of proposed project

New Addition to existing building

4. Property Information

Is this property located in a floodplain?

NO

Is this property located in a wetland?

NO

Land area in square feet?

14,000

Proposed building area in square feet?

~~2603~~ 2374

Proposed paved area in square feet?

5954

Existing paved area in square feet?

1421

Lake or stream within 500 feet?

NO

Any other agencies contacted for approvals?

If so, please list:

City of Marshall
Application for Site Plan Review

5. Authorization (Must be signed by the owner of the property)

I am the owner of record for this property for which this application is being filed and as such, I am familiar with the development being proposed to be carried out on my property.

I hereby, give permission for this application to be filed with the full understanding that certain restriction may be placed on the property relative to the approval of the proposed work.

I further certify that under penalties of perjury, I am to sign this application.

Name (Please Print) John Gutsae - Gutsae Const

Title: owner Date: 3-5-2024

Signature: [Handwritten Signature]

Note: If there are multiple owners of the property or you are representing a group, corporation, or other organization attach a copy of a certified letter authorizing you to sign this application for the proposed development.

LAND USE AND DEVELOPMENT FEES		
PLATS		
	Up to 30 Lots	\$550.00
	Over 30 Lots	\$750.00
SITE CONDOMINIUMS		
	Up to 30 Lots	\$450.00
	Over 30 Lots	\$650.00
SITE PLANS		
		\$400.00
	Planned Unit Development	
	Amend a PUD	
	Additions to existing Site Plans if Planning Commission Review is required	\$100.00
	Extending Site Plan with Planning Commission	\$200.00

With every attempt has been made to produce error free documents, it is the responsibility of the holder and/or the client to verify all existing conditions, dimensions, details, code compliance and specifications preceding commencement of work. Prior to acceptance of these documents, the engineer shall be responsible for changes, errors and/or omissions, but is released of these responsibilities once these documents have been accepted by the way of client signature. The design and original drawings of this project remain the property of MJW Consulting, LLC, and no additional persons or parties may use the design and/or drawings for any other purpose without the consent of MJW Consulting, LLC and Michael J. Wysocki.

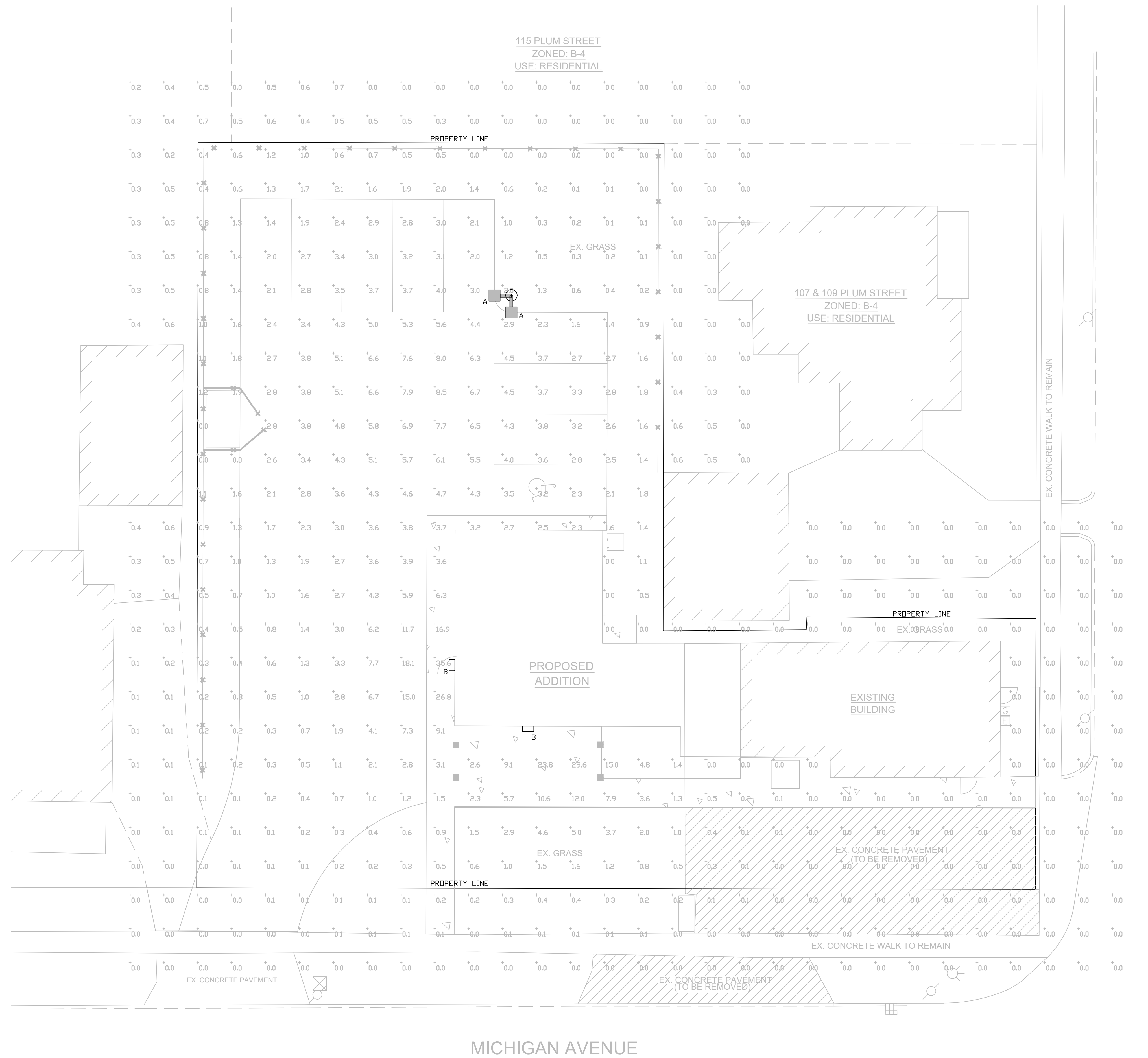
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SITE LIGHTING FIXTURE SCHEDULE

LABEL	QUANTITY	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LUMENS PER LAMP	WATTAGE
A	2	LSI INDUSTRIES, INC.	MRS-LED-15L-SIL-4-40-80CRI-IL	PROVIDE EXTERNAL SHIELD MODEL EHS	8957	111
B	2	LSI INDUSTRIES, INC.	WPSLL-06L-40		6955	58.14

STATISTICS

DESCRIPTION	AVG	MAX
SITE	1.5 FC	35.6 FC



MICHIGAN AVENUE

SITE LIGHTING PHOTOMETRIC PLAN

SCALE 1/8"=1'-0"

ISSUED FOR	DATE
PLAN REVIEW AND CONSTR.	03/25/26

ADDITION FOR: **ROYAL SWINE BARBECUE**

802 W. MICHIGAN AVE.
MARSHALL, MI 49068

SHEET TITLE: **SITE LIGHTING PLAN**

ISSUED: 03/24/26 SHEET NUMBER: **SL1**

JOB NUMBER: 26-349