

# ZONING BOARD OF APPEALS AGENDA

## Regular Meeting

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March 19, 2026 at 7:00 PM



- 1) **CALL TO ORDER**
- 2) **ROLL CALL**
- 3) **PLEDGE OF ALLEGIANCE**
- 4) **APPROVAL OF AGENDA** - Items can be added or deleted from the Agenda by board action.
- 5) **APPROVAL OF MINUTES** - Items can be added or deleted from the Agenda by board action.
  - A. December 18, 2025 Zoning Board of Appeals Meeting Minutes
- 6) **PUBLIC COMMENT ON AGENDA ITEMS** Persons addressing the board are required to give their name and address for the record when called upon by the Chair. Members of the public shall be limited to speaking for a maximum of three (3) minutes. Comments should address AGENDA ITEM topics. Public Hearing items should be addressed during the PUBLIC HEARING portion of the meeting agenda. Non-Agenda items should be addressed during the PUBLIC COMMENT-NON-AGENDA ITEMS portion of the meeting agenda.
- 7) **PUBLIC HEARINGS & SUBSEQUENT BOARD ACTION**
  - A. USE VARIANCE PVA26-0001 - RESIDENTIAL BELOW COMMERCIAL
  - B. DIMENSIONAL VARIANCE PVA2026-0002 - REDUCE FRONT YARD SETBACK
- 8) **OLD BUSINESS**
- 9) **REPORTS AND RECOMMENDATIONS/NEW BUSINESS**
- 10) **PUBLIC COMMENT ON NON-AGENDA ITEMS** Persons addressing the board are required to give their name and address for the record when called upon by the Chair. Members of the public shall be limited to speaking for a maximum of three (3) minutes. Comments should address NON-AGENDA ITEM topics. Public Hearing items should be addressed during the PUBLIC HEARING portion of the meeting agenda. Agenda items should be addressed during the PUBLIC COMMENT-AGENDA ITEMS portion of the meeting agenda.
- 11) **BOARD REPORTS**
- 12) **ADJOURNMENT**

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## ZONING BOARD OF APPEALS MINUTES

December 18, 2025  
Regular Meeting - 7:00 PM

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[IGNORE\_INDENT]

**1) CALL TO ORDER**

IN A REGULAR SESSION held on Thursday, December 18, 2025 at 7:00 PM in the Council Chambers of City Hall, 323 West Michigan Ave, Marshall, MI 49068, the Marshall Zoning Board of Appeals was called to order by Chair Fisher-Short.

**2) ROLL CALL**

Roll was called:

Present: Justin Fisher-Short, Russ Byrne, Art Hill, Alternate Ryan Underhill

Also Present: Director Strange and Deputy Clerk Cary

Absent: Ian Stewart

**3) PLEDGE OF ALLEGIANCE**

**4) APPROVAL OF AGENDA** - Items can be added or deleted from the Agenda by board action.

**Moved** by Art Hill, supported by Russ Byrne to approve the agenda. On a voice vote: **Motion carried.**

**5) APPROVAL OF MINUTES** - Items can be added or deleted from the Agenda by board action.

**A. APPROVE APRIL 17, 2025 ZONING BOARD OF APPEALS MEETING MINUTES**

**Moved** by Art Hill, supported by Ryan Underhill to approve the April 17, 2025, Zoning Board of Appeals meeting minutes. On a voice vote: **Motion carried.**

**6) PUBLIC COMMENT ON AGENDA ITEMS** Persons addressing the board are required to give their name and address for the record when called upon by the Chair. Members of the public shall be limited to speaking for a maximum of three (5) minutes. Comments should address AGENDA ITEM topics. Public Hearing items should be addressed during the PUBLIC HEARING portion of the meeting agenda. Non-Agenda items should be addressed during the PUBLIC COMMENT-NON-AGENDA ITEMS portion of the meeting agenda.

None.

**7) PUBLIC HEARINGS & SUBSEQUENT BOARD ACTION**

None.

**8) OLD BUSINESS**

None.

**9) REPORTS AND RECOMMENDATIONS/NEW BUSINESS**

**A. 15900 W MICHIGAN - DIMENSIONAL VARIANCE - SIGN**

Director Strange gave a brief introduction of the dimensional variance request for a sign at 15900 W Michigan. The Family Fare is undergoing a renovation and, with that, they are also rebranding. She discussed the new sign ordinance that only allows 100 square feet. The dimensional variance is for a sign that is 150 square feet. She stated that this is the first appeal of the new sign ordinance.

Fisher-Short asked for greater details around the alternative approach through the planning commission's process.

Director Strange stated that the addition was made by the planning commission to add a sign package that could be brought to the planning commission for approval. There is an opportunity to put together a whole sign package for a site. Then bring it to the planning commission that would look at it as a whole package.

Hill asked if there were any signs in the shopping center that do not meet the current sign ordinance.

The Tractor Supply and Dollar tree signs were done prior to the new sign ordinance.

Gary Gebhardt with Signs By Crannie gave a brief background about working with Startan Nash. He stated the previous sign was put up in 2007. The Felpaush sign was 274 square feet when replaced with the Family Fare Supermarket sign that size was 238.9 square feet. He discussed the size of the sign when farther back on the road. He discussed the size of the letters to be 4 feet to be easily readable.

Bruce Webber store director for Family Fare, stated he would like to get the sign back on the building one way or another. The sales are down a little bit, it starts getting dark at 5pm, and it sometimes looks like the store is closed. He discussed having the largest building in the plaza to have what would look like to have the smallest sign.

Fisher-Short questioned if there was any consideration of leaving the previous sign.

Gary Gebhardt stated that there was an image refresh of the sign.

Fisher-Short discussed the variance guidelines. This is a unique situation. In this plaza there are multiple tenants that put signs up right before the new sign ordinance. And one business is on the other end of the new sign ordinance and whether that justifies a variance or not.

Hill discussed that we have a sign ordinance that has to be enacted at some point. And that applicant can go to the planning commission prior to coming for a variance.

The board discussed the process of the planned signed package.

Underhill discussed his concerns about going against the new sign ordinance when there is a new process that can be gone through the planning commission.

**Moved** by Art Hill, supported by Russ Byrne to approve the request for dimensional variance #PVA25-0002. On a roll call vote:

Ayes: Russ Byrne

Nays: Art Hill, Ryan Underhill, Justin Fisher-Short

Abstain: None

**Motion fails**

**B. SET 2026 MEETING DATES**

**Moved** by Ryan Underhill, supported by Art Hill to adopt the schedule as presented to keep the Third Thursday of each month available for Zoning Board of Appeals meetings to be called as needed. On a voice vote: **Motion carried.**

**10) PUBLIC COMMENT ON NON-AGENDA ITEMS** Persons addressing the board are required to give their name and address for the record when called upon by the Chair. Members of the public shall be limited to speaking for a maximum of three (5) minutes. Comments should address NON-AGENDA ITEM topics. Public Hearing items should be addressed during the PUBLIC HEARING portion of the meeting agenda. Agenda items should be addressed during the PUBLIC COMMENT-AGENDA ITEMS portion of the meeting agenda.

none.

**11) BOARD REPORTS**

none.

**12) ADJOURNMENT**

The meeting was adjourned at 7:40 P.M.

Respectfully submitted by,

Brandie Cary  
Deputy Clerk

# ITEM: 7.A

## ADMINISTRATIVE REPORT

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**TO:** HONORABLE BOARD MEMBERS  
**FROM:** Marcia Strange, Director of Community Development  
**DATE:** March 19, 2026  
**SUBJECT:** USE VARIANCE PVA26-0001 - RESIDENTIAL BELOW COMMERCIAL

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### **BACKGROUND**

This case was noticed in accordance with the Michigan Zoning Enabling Act of 2006, section 125.3103:

The historic Masonic Temple building has been vacant for some time now. Mr. Saber, the owner, has plans for a full-building renovation. In the B-3 zoning district, the primary zoning district of the historic downtown where retail on the ground floor is required, it is not allowed to locate residential below commercial.

In most buildings downtown, locating residential below the main floor retail is not feasible (due to Michigan basements and access problems). The B-3 zoning intent is to have business on the main floor to help maintain the vibrant retail and commercial environment for our Historic Downtown district. There have been attempts to allow residential on the main floor of downtown businesses that have been met with significant pushback from local retailers who viewed the loss of main floor retail space with contempt. But those requests reduced the amount of retail/commercial from a full floor plate to less. This ask maintains a single full floor of retail/commercial. The Owner could have argued they only need to occupy the lower level with retail/commercial and the 'main' floor would risk conversion to apartments. The outcome would have been a single floor of business occupancy that is much less desirable for tenants - and main floor spaces intended for much grander commercial use would be divided for residential use. The ultimate question is if we will require two floors of commercial if they maintain commercial on the main floor or provide the variance.

The Masonic building is different in the sense that the 'ground floor' where commercial will be located by way of the grand south stair entrance, is elevated and is intended to house the commercial space. The lower level is only partially below grade and has access to windows. Images of the existing building are provided for reference.

The zoning of the surrounding properties is as follows: west is B-3 and public parking, south is PSP (Marshall Middle School), north is B-3 and east is B-3 (Post Office). The property in question is located in the Downtown Development District, but not the Hospital Overlay District, which means there are no additional requirements for zoning beyond the B-3 zoning requirements.

### **FINDING**

The board is being asked to consider approving a use variance allowing the use of the lower level for residential while allowing commercial on the floor above.. Variances require a finding of practical

difficulties, considering the following summarized criteria:

**1. The current zoning ordinance prohibits the property owner from securing any reasonable economic return or making any reasonable use of the property. Under this standard, the ZBA must find that the property (land, structures, and other improvements) is not suitable for uses permitted in the zoning district).**

*The property is suitable for use as a fully commercial building and has been used for a dance studio and other uses through time. There is nothing limiting the use of the lower level for commercial purposes. However, the applicant attests that the income generated from residential units make the overall project financially feasible. There will be additional floors added to the volume of the building that will also contribute to the economic feasibility of the project.*

**2. The landowner's plight is due to unique circumstances peculiar to the property and not to general neighborhood conditions. Circumstances common to the larger neighborhood may reflect the unreasonableness of the zoning itself, which should be addressed through a rezoning or other legislative action.**

*The property has a lower level that is only partially recessed below grade. This allows for the large existing windows and easier access. This condition also means that the main floor is elevated. Entrance to the main floor is via a grand entrance stair and a future elevator. It is difficult to find tenants for Commercial space recently, If the first floor were at grade, similar to most other B-3 properties, it is anticipated that there would not be a request for residential on the lower level.*

**3. The use variance, if granted, would not alter the essential character of the neighborhood. This standard requires consideration of whether the intent and purpose of the ordinance and zoning district will be preserved, and the essential character of the area will be maintained.**

*Utilization of the property with an additional floor level of residential beyond what is currently allowed by ordinance should have little impact on the neighborhood. However, additional public parking spots will be used to serve the building*

**4. The hardship is not the result of the applicant's actions. Under this standard, the ZBA must determine that the hardship that led to the use variance request was not self-created by the applicant. Purchase of a property with a pre-existing hardship does not constitute a self-created hardship. Financial hardships that would prevent reasonable use of the property shall be considered, but shall not be the only determining factor in granting a use variance.**

*The use variance is due to the property owner desiring to utilize the lower level of an R-3 zoned parcel for residential. Residential units are allowed by the ordinance, but specifically disallowed below commercial. Rezoning the property would likely require the elimination of all commercial and would not be supported by the master plan and could have a more negative impact on the neighborhood. The elevated main floor was not a condition created by the applicant. The addition of residential is desired due to financial reasons and aligns with the master plan goals to provide additional residential units in our community.*

**RECOMMENDATION:**

While it is not an ideal situation, and our preference would be to have two floors of vibrant commercial and retail supported in the building, I do not believe that approval of the variance will have a negative impact on the neighborhood as long as the following conditions are included with the approval:

1. Signage shall be placed on the building and meet the current sign ordinance.
2. The proximity to the middle school will require background checks on tenants.
3. Hours of use of the commercial space should be discussed during the public hearing and a plan developed for accommodations regarding noise between floors separating Commercial and Residential.
4. There is no dedicated parking available for tenants of the building. However, public lots are anticipated to provide enough parking.

# MARSHALL MASONIC TEMPLE

115 E. GREEN ST., MARSHALL, MI

RENDERING - FOR REFERENCE ONLY



EXISTING PHOTOS - FOR REFERENCE ONLY



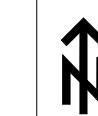
## PROJECT NOTES

- CONSTRUCTION MUST COMPLY WITH ALL NATIONAL, STATE, AND LOCAL BUILDING CODES, AS WELL AS ALL LOCAL ORDINANCES.
- DO NOT SCALE DRAWINGS. NOMINAL DIMENSIONS ARE SHOWN. REFER TO DETAILS, NOTES, SPECIFICATIONS AND PARTITION KEY FOR INFORMATION. CONTACT ARCHITECT IF ADDITIONAL INFORMATION IS REQUIRED.
- EXISTING BUILDING AND SITE INFORMATION WAS OBTAINED FROM THE OWNER AND ADDITIONAL FIELD MEASUREMENTS BY THE ARCHITECT. THE CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS PRIOR TO COMMENCEMENT OF WORK. DRAWINGS MAY CONTAIN DISCREPANCIES DUE TO CONCEALED CONDITIONS, INACCURACIES IN THE ORIGINAL DRAWINGS, INACCESSIBLE LOCATIONS, UNRECORDED BUILDING ALTERATIONS AND OTHER CONFLICTING INFORMATION. INFORMATION OUTSIDE OF CONTRACT AREA IS RELATIVE AND FOR REFERENCE ONLY. ALWAYS VERIFY FIELD CONDITIONS BEFORE COMMENCING WORK. NOTIFY ARCHITECT IF FIELD CONDITIONS CONFLICT SUBSTANTIALLY WITH PROPOSED WORK.
- INSTRUCTIONS FOR BUILDING CONSTRUCTION MAY BE LOCATED IN ANY PART OF THE CONSTRUCTION DRAWINGS. FAILURE OF THE GENERAL CONTRACTOR OR HIS SUB CONTRACTOR TO OBTAIN SUPPLIES TO SEE INFORMATION IN ANY PART OF THE CONTRACT DOCUMENTS WILL NOT BE A VALID REASON FOR ISSUING A CHANGE ORDER.
- ALL HOLES CREATED FROM ABANDONED DUCT, CONDUIT, ELEC. DEVICES, ETC., WHICH ARE IN VIEW AND ARE NOT SCHEDULED TO BE BOARDED OVER, OR ON A WALL TO BE DEMOLISHED, ARE TO BE FILLED AND PATCHED TO MATCH EXISTING.
- PATCH AND REPAIR ALL EXISTING WALL SURFACES ADJACENT TO NEW WORK AS REQUIRED TO ACHIEVE AN UNINTERRUPTED SURFACE APPEARANCE. PATCH AND REPAIR ALL FLOORING FOR EXISTING BUILDINGS TO ACHIEVE A CONTINUOUS, SMOOTH, AND FLUSH FLOOR SURFACE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING REQUIRED TO EXECUTE WORK. THE CONTRACTOR SHALL COORDINATE ALL TEMPORARY CONSTRUCTION WITH THE ARCHITECT AND OWNER TO ASSURE A MINIMUM AMOUNT OF INTERRUPTION WITH THE OWNER'S ACTIVITIES.
- IF THE PROJECT IS A REMODEL, THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL SURFACES NOT BEING REMODELED IN THE PROJECT AND IN THE PATH OF THE CONTRACTORS TRAVEL, SETUP AND/OR PROJECT MATERIAL STORAGE. THE CONTRACTOR MUST RETURN THE AREAS DISTURBED AS REQUIRED FOR ACCESS TO ITS PRE-EXISTING CONDITION.
- THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL BE RESPONSIBLE TO OBTAIN AND PAY FOR ALL LOCAL/REQUIRED PERMITS AND INSPECTIONS.
- ALL SAFETY ISSUES RELATED TO CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR AND MUST COMPLY WITH ALL STATE, LOCAL, ENVIRONMENTAL AND LABOR LAWS DURING THE CONSTRUCTION OF THIS PROJECT.
- ALL WORK TO BE GUARANTEED A MINIMUM OF ONE YEAR FROM THE DATE OF OWNER ACCEPTANCE OF WORK, EXCEPT WHERE MANUFACTURER'S GUARANTEE IS LONGER.
- IF DISCREPANCIES OCCUR BETWEEN DRAWINGS AND FIELD CONDITIONS CONTACT THE ARCHITECT TO VERIFY HOW TO PROCEED BEFORE DOING SO.
- SEE T001 FOR ADDITIONAL PROJECT NOTES, MOUNTING HEIGHTS, AND SYMBOLS
- 3D VIEWS AND RENDERINGS ON THIS PAGE AND THROUGHOUT THE SET ARE FOR REFERENCE ONLY. VERIFY ALL CONSTRUCTION DETAILS THROUGHOUT THE ENTIRE SET OF DOCUMENTS
- THE PROJECT SHALL CONFORM TO UNDERWRITERS LABORATORY FIRE RESISTANCE DIRECTORY AND BUILDING MATERIALS DIRECTORY.
- ANY MATERIAL SUBSTITUTIONS TO A LISTED UL DESIGN NUMBER SHALL BE COORDINATED BY THE CONSTRUCTION MANAGER, CONTRACTOR, SUBCONTRACTOR AND/OR MATERIAL SUPPLIER FOR COMPLIANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPROVALS - FOR ANY MATERIALS SUBSTITUTION IN THE REQUIRED UL DESIGN ASSEMBLY - BY THE FIRE MARSHAL AND BUILDING INSPECTOR HAVING JURISDICTION PRIOR TO ACCEPTANCE.
- FOR ANY CHANGE OF UL DESIGN NUMBER, OR ANY CHANGE IN MATERIAL(S) IN A UL DESIGN ASSEMBLY, IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL OTHER RELATED MATERIALS OR ASSEMBLIES AFFECTED BY THE CHANGE OF MATERIAL OR UL DESIGN NUMBER ASSEMBLY.
- PROVIDE COMPLETE UL APPROVED THROUGH-PENETRATION FIRESTOP SYSTEMS AT ALL RATED WALL PENETRATIONS.
- PROVIDE FIRESTOPPING AS REQUIRED AT ALL OPENINGS FOR PLUMBING, CONDUIT, DUCTWORK, ETC. AT FIRE RATED ASSEMBLIES.
- REFER TO THE FLOOR PLANS FOR IDENTIFICATION OF ALL FIRE AND SMOKE-RATED PARTITIONS.

## PROJECT DESCRIPTION

THE HISTORIC MARSHALL MASONIC TEMPLE IS BEING CONVERTED

## AREA MAP



## DRAWING LIST

SHEET NUMBER	DRAWING TITLE	12/1/2023 - 3D SET
00 GENERAL		
T000	TITLE SHEET	X
T001	RENDERINGS	X
T002	MOUNTING HEIGHTS + ABBREVIATIONS	X
T003	MOUNTING HEIGHTS CONTINUED	X
T004	CODE COMPLIANCE - HISTORIC	X
T005	CODE COMPLIANCE - NEW	X
T006	CODE COMPLIANCE	X
T007	CODE COMPLIANCE	X
T008	CODE COMPLIANCE	X
T009	AREA PLANS - COMMERCIAL	X
T010	AREA PLANS - RESIDENTIAL	X
T011	AREA PLANS - RESIDENTIAL	X
01 CIVIL		
C100	ARCHITECTURAL SITE PLAN	X
C110	ARCHITECTURAL SITE DETAILS	X
02 ARCHITECTURAL		
A000	EXISTING FLOOR PLANS	X
A001	EXISTING FLOOR PLANS	X
A110	DEMOLITION PLANS	X
A111	DEMOLITION PLANS	X
A120	PARTITION TYPES	X
A121	NEW FLOOR PLANS	X
A122	NEW FLOOR PLANS	X
A130	ENLARGED PLANS	
A131	ENLARGED PLANS	
A132	ENLARGED PLANS	
A140	FINISH SCHEDULE	
A141	FINISH PLAN & SCHEDULE	
A142	FINISH PLAN & SCHEDULE	
A150	ENLARGED STAIR PLANS AND DETAILS	
A200	REFLECTED CEILING PLANS	
A201	REFLECTED CEILING PLANS	
A210	CEILING DETAILS	
A220	ROOF PLAN AND DETAILS	
A300	INTERIOR ELEVATIONS	
A301	INTERIOR DETAILS	
A302	INTERIOR DETAILS	
A310	INTERIOR DETAILS	
A311	TRIM DETAILS	
A400	DOOR SCHEDULE	
A401	DOOR DETAILS	
A410	WINDOW SCHEDULE AND DETAILS	
A411	GLAZING ELEVATIONS	
A500	EXTERIOR ELEVATIONS	X
A501	EXTERIOR ELEVATIONS	X
A502	EXTERIOR ELEVATIONS	X
A600	BUILDING SECTIONS	
A700	WALL SECTIONS	
A800	SECTION DETAILS	
03 STRUCTURAL		
S100	STRUCTURAL FLOOR PLANS AND NOTES	
S101	STRUCTURAL FLOOR PLANS	
S102	STRUCTURAL DETAILS	
Grand total: 50		



**ARCHITECT**  
Driven Design Studio PLLC  
117 West Michigan Avenue  
Bottle Creek, MI 49017  
(269) 753-8040  
cody@drivendesignstudio.com

**OWNER**  
EDCO LLC  
115 E Green St  
Marshall, MI

**CONSTRUCTION MANAGER/GC**

**ENGINEER**  
Ignyte Design  
38 Commerce Ave  
Grand Rapids, MI

**ENGINEER**

**ENGINEER**

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**NOT FOR CONSTRUCTION**

**PROJECT NAME**  
MARSHALL MASONIC TEMPLE  
**PROJECT ADDRESS**  
115 E. GREEN ST., MARSHALL, MI  
**CLIENT**  
DAN SABER

**ISSUE**  
SCHEMATIC DESIGN

**REVISION**

**DRAWN BY** CMN  
**DATE** 2/11/2024 5:07:27 PM  
**SCALE**  
**STAMP**

**PROJECT NUMBER**  
2023.120

**TITLE SHEET**  
**T000**



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**RENDERINGS - FOR REFERENCE ONLY**



**NOT FOR CONSTRUCTION**

PROJECT NAME  
 MARSHALL MASONIC TEMPLE  
 PROJECT ADDRESS  
 115 E. GREEN ST., MARSHALL, MI  
 CLIENT  
 DAN SABER

ISSUE  
 SCHEMATIC DESIGN

REVISION

DRAWN BY CMN  
 DATE 2/11/2024 5:07:27 PM  
 SCALE  
 STAMP

PROJECT NUMBER  
 2023.120

RENDERINGS  
**T001**

**RENDERINGS - FOR REFERENCE ONLY**

### ABBREVIATION LIST

A/C	AIR CONDITIONING
A/V	AUDIO/VISUAL
ACP	ACOUSTICAL CEILING PANEL
AD	AREA DRAIN
ADA	AMERICANS WITH DISABILITIES ACT
ADJ	ADJUSTABLE
AFF	ABOVE FINISHED FLOOR
ALT	ALTERNATE
ALUM	ALUMINIUM
APPROX	APPROXIMATELY
ARCH	ARCHITECT (URAL, URE)
ASSOC	ASSOCIATED
AUTO	AUTOMATIC
AWP	ACOUSTICAL WALL PANEL
BD	BOARD
BF	BARRIER FREE
BIT	BITUMINOUS, BITUMEN
BLDG	BUILDING
BLKG	BLOCKING
BM	BEAM
BOT	BOTTOM
CAB	CABINET
CJ	CONTROL JOINT
CLG	CEILING
CLR	CLEAR(ANCE)
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
COM	COMMUNICATIONS
CONC	CONCRETE
CONFIG	CONFIGURATION
CONST	CONSTRUCTION
CONT	CONTINUOUS
COORD	COORDINATE
CORR	CORRIDOR
CPT	CARPET
CT	CERAMIC TILE
CTR	CENTER
DEG	DEGREE
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DIAG	DIAGONAL
DIM	DIMENSION
DIV	DIVISION
DN	DOWN
DR	DOOR
DS	DOWNSPOUT
DTL	DETAIL
DWG(S)	DRAWING(S)
E	EAST
EA	EACH
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRICAL
ELEV	ELEVATION
EMER	EMERGENCY
ENCL	ENCLOSURE
EQ	EQUAL
EQUIP	EQUIPMENT
EST	ESTIMATE(D)
EXIST	EXISTING
EXP	EXPANSION
EXT	EXTERIOR
FA	FIRE ALARM
FD	FLOOR DRAIN
FDN	FOUNDATION
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FF	FINISHED FACE
FGL	FIBERGLASS
FHC	FIRE HOSE CABINET
FIXT	FIXTURE
FL	FLOOR(ING)
FLUOR	FLUORESCENT
FOC	FACE OF CONCRETE
FOS	FACE OF STUDS
FP	FIREPROOF(ING)
FT	FEET
FTG	FOOTING
FUR	FURRING(ING)
GA	GAUGE
GALV	GALVANIZED
GB	GRAB BAR
GC	GENERAL CONTRACT(OR)
GL	GLASS, GLAZING
GOVT	GOVERNMENT
GT	GROUT
GYP BD	GYP SUM WALLBOARD
HC	HOLLOW CORE
HDR	HEADER
HDWD	HARDWOOD
HDWR	HARDWARE
HGT	HEIGHT
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HP	HIGH POINT
HR	HOUR
HT	HEIGHT
HVAC	HEATING, VENTILATION & AIR CONDITIONING
ID	INSIDE DIAMETER
IN	INCH(ES)
INCAN	INCANDESCENT
INCL	INCLUDE(D,ING)
INSUL	INSULATION, INSULATED
INT	INTERIOR
JAN	JANITOR
JT(S)	JOINT(S)
KIT	KITCHEN

### ABBREVIATION LIST

LAM	LAMINATE(D)
LAV	LAVATORY
LBL	LABEL
LH	LEFT HAND
LL	LIVE LOAD
LP	LOW POINT
LTG	LIGHTING
LTL	LINTEL
MANF	MANUFACTURE(R)
MAS	MASONRY
MATL	MATERIAL(S)
MAX	MAXIMUM
MECH	MECHANICAL
MEMB	MEMBRANE
MIN	MINIMUM
MISC	MISCELLANEOUS
MO	MASONRY OPENING
MTD	MOUNTED
MTG	MOUNTING
MTL	METAL
N	NORTH
N/A	NOT APPLICABLE
NAT	NATURAL
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OH	OVERHEAD
OPNG	OPENING
OPP	OPPOSITE
OPP HD	OPPOSITE HAND
PART	PARTITION
PC	PRECAST
PERF	PERFORATE(D)
PL	PLATE
PLAM	PLASTIC LAMINATE
PLAS	PLASTER
PLWD	PLYWOOD
PNL	PANEL(ED)
PR	PAIR
PREP	PREPARE (SURFACE)
PROV	PROVIDE
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PT	PAINT
PVMT	PAVEMENT
QTY	QUANTITY
R	RISER
RAD	RADIUS
RB	RUBBER BASE
REF	REFRIGERATOR
REINF	REINFORCED
REQD / REQ'D	REQUIRED
RES	RESILIENT
RET	RETAINING
REV	REVISION(S) / REVISE(D)
RFG	ROOFING
RH	RIGHT HAND
RM	ROOM
RO	ROUGH OPENING
S	SOUTH
SC	SOLID CORE
SCHED	SCHEDULE
SECT	SECTION
SF	SQUARE FEET
SHT	SHEET
SIM	SIMILAR
SPEC(S)	SPECIFICATION(S)
SQ	SQUARE
SS	STAINLESS STEEL
STD	STANDARD
STL	STEEL
STN	STAIN
STO	STORAGE
STRUC	STRUCTURAL
SUSP	SUSPENDED
SYM	SYMMETRICAL
SYS	SYSTEM
T	TREAD
T&G	TONGUE AND GROOVE
T.O.	TOP OF
TECH	TECHNOLOGY
TEL	TELEPHONE
TEMP	TEMPERED
THK	THICK(NESS)
THRESH	THRESHOLD
TOC	TOP OF CURB
TOM	TOP OF MASONRY
TOS	TOP OF STEEL
TOW	TOP OF WALL
TRANS	TRANSPARENT
TV	TELEVISION
TYP	TYPICAL
UL	UNDERWRITER'S LABORATORY
UNFIN	UNFINISHED
UNO	UNLESS OTHERWISE NOTED
VAR	VARIABLE
VCT	VINYL COMPOSITION TILE
VERT	VERTICAL
VEST	VESTIBULE
VIF	VERIFY IN FIELD
VU	VENTILATION UNIT
VWC	VINYL WALLCOVERING

### ABBREVIATION LIST

W	WATER RESISTANT
W/O	WITHOUT
WC	WATER CLOSET
WD	WOOD
WDW	WINDOW
WH	WALL HUNG
WP	WORK POINT
WR	PAINT(ED)
WT	WEIGHT
WWF	WELDED WIRE FABRIC
#	NUMBER
&	AND
+/-	EXIST (OR APPROX) DIM - VIF
CL	CENTER LINE
L	ANGLE

### INTERIOR STEEL STUD FRAMING

THE INTERIOR STUD FRAMING GUIDE DESIGNATES THE DESIGN INTENT OF THE ARCHITECT. THE GUIDE IS FOR THE CONTRACTOR'S REFERENCE WHEN INSTALLING INTERIOR STUD FRAMED WALLS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL INFORMATION PORTRAYED WITHIN THIS GUIDE AND THE CONTRACT DOCUMENTS.  
 NOTE: VERIFY MIN. STEEL STUD FRAMING GAUGE REQUIREMENTS /MAXIMUM ALLOWABLE HEIGHTS WITH STEEL STUD FRAMING SUPPLIER.  
 \*FIRE BLOCKING TO BE PROVIDED HORIZONTALLY AT 10'-0" O.C. MAX. FIRE CAULK AROUND BLOCKING, IF METAL STUDS ARE USED A MINIMUM OF 20 GA. STUDS MUST BE UTILIZED.

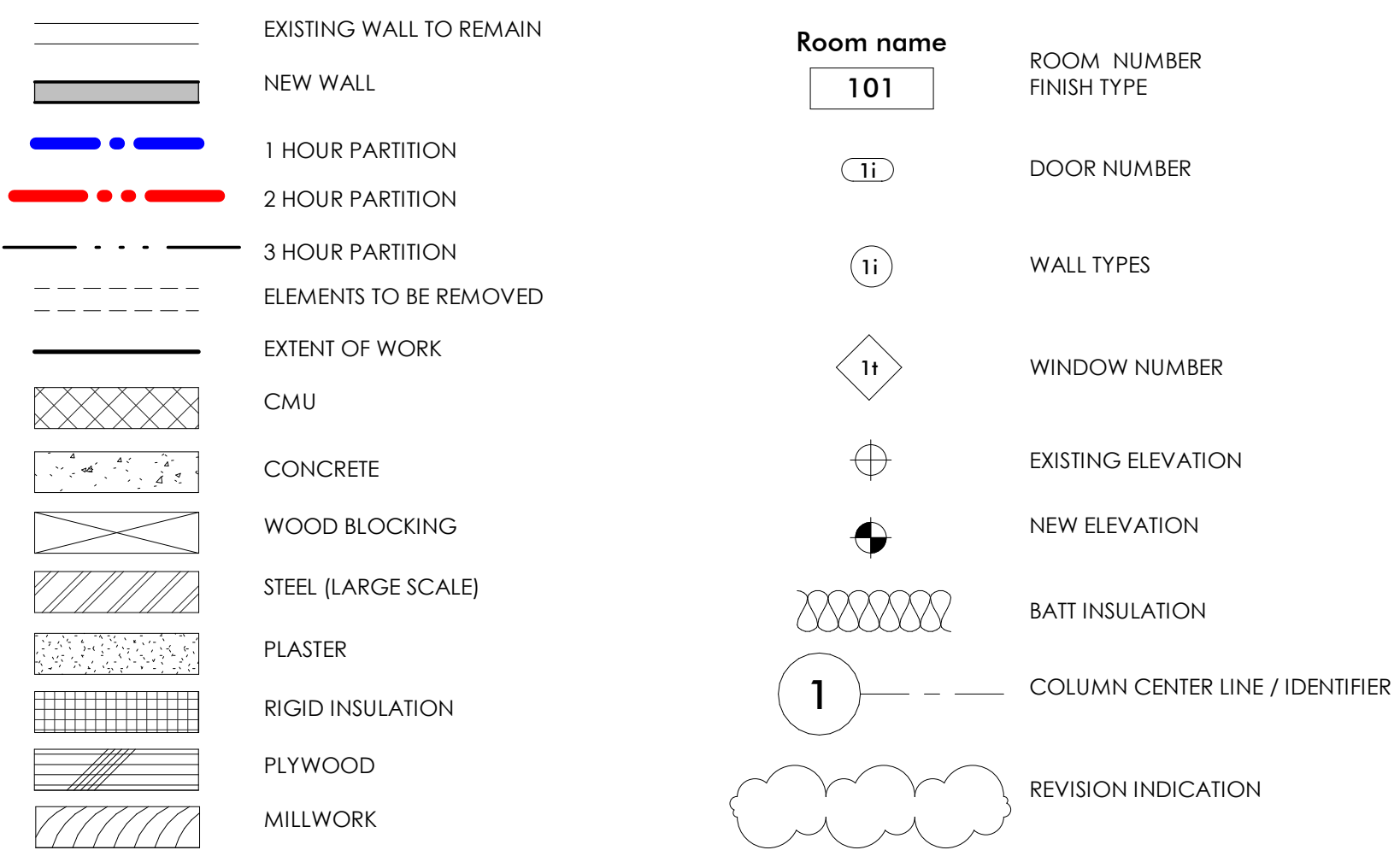
#### MAXIMUM ALLOWABLE HEIGHTS (NON-LOAD BEARING - METAL STUDS)

STEEL STUD FRAMING SECTION 092216	COLD-FORMED MTL FRAMING SECTION 054000						* DEFLECTION = L/360 * SPACING = 16" O.C.
	GA.	25	20	18	16	14	
2 1/2"	9'-10"	11'-2"	12'-7"	13'-5"	14'-4"	--	
3 5/8"	12'-4"	14'-3"	16'-8"	17'-11"	19'-2"	21'-2"	
6"	17'-11"	21'-4"	24'-9"	26'-7"	28'-4"	31'-8"	
2 1/2" CH STUD	10'-7"	13'-4"	--	--	--	--	

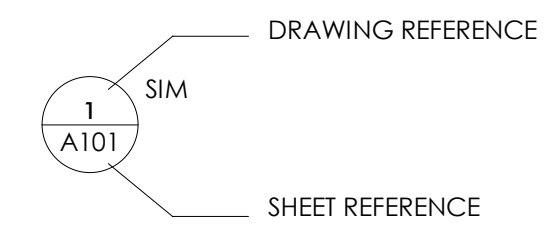
#### GENERAL NOTES

\*THE MOUNTING HEIGHTS, MATERIALS, AND SYMBOLS SHOWN ON THIS PAGE ARE FOR REFERENCE THROUGHOUT THE PROJECT. NOT ALL ELEMENTS SHOWN WILL APPLY TO THIS SPECIFIC PROJECT. REVIEW THE PROJECT PLANS, SECTIONS, AND ELEVATIONS FOR ADDITIONAL DETAILS AND TO VERIFY WHAT RELATES TO THIS PROJECT.

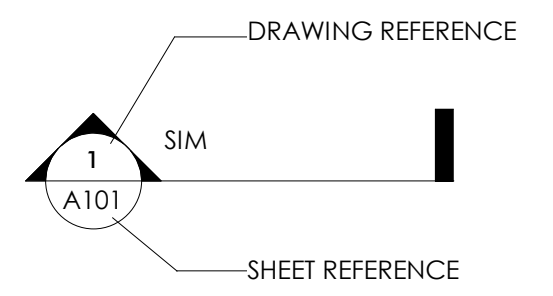
### MATERIAL DESIGNATIONS & SYMBOLS



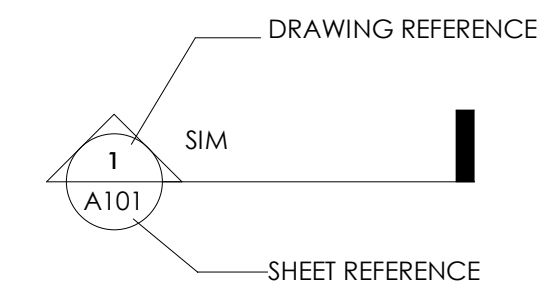
### DETAIL / PLAN / ELEVATION



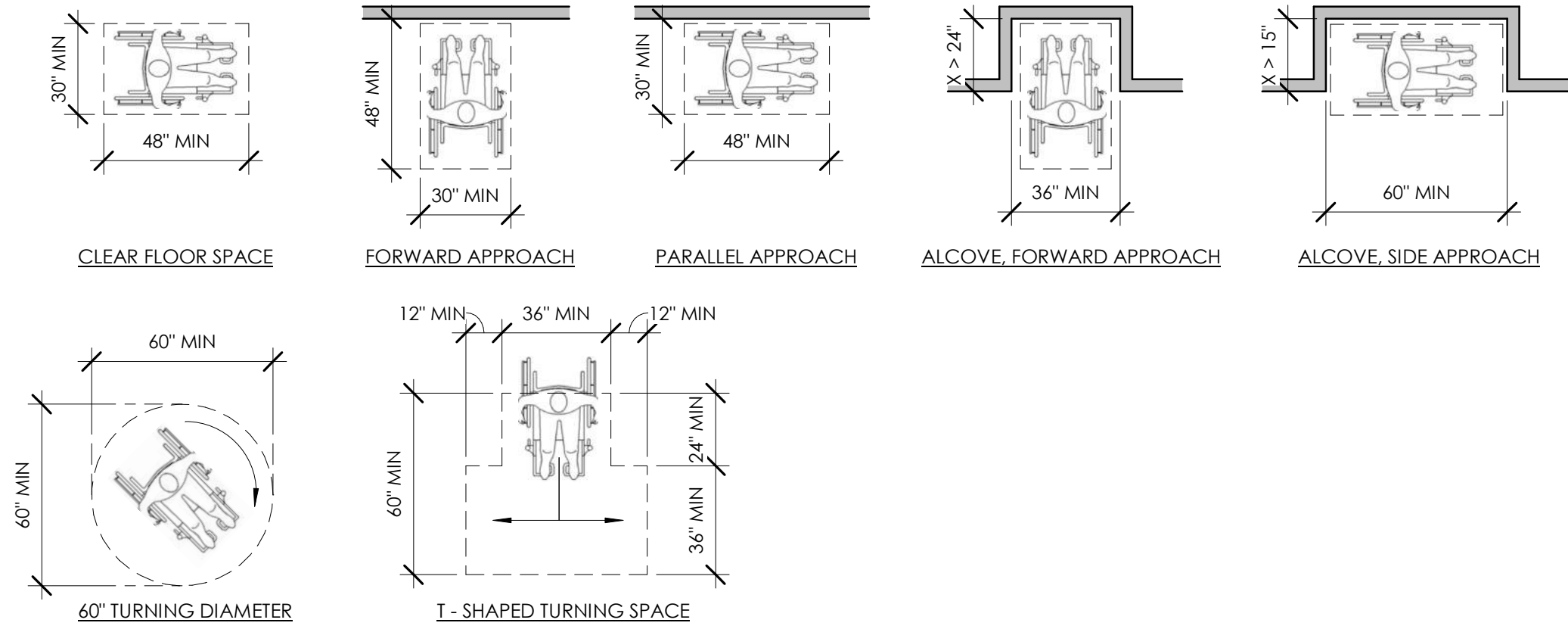
### BLDG SECTION CUT



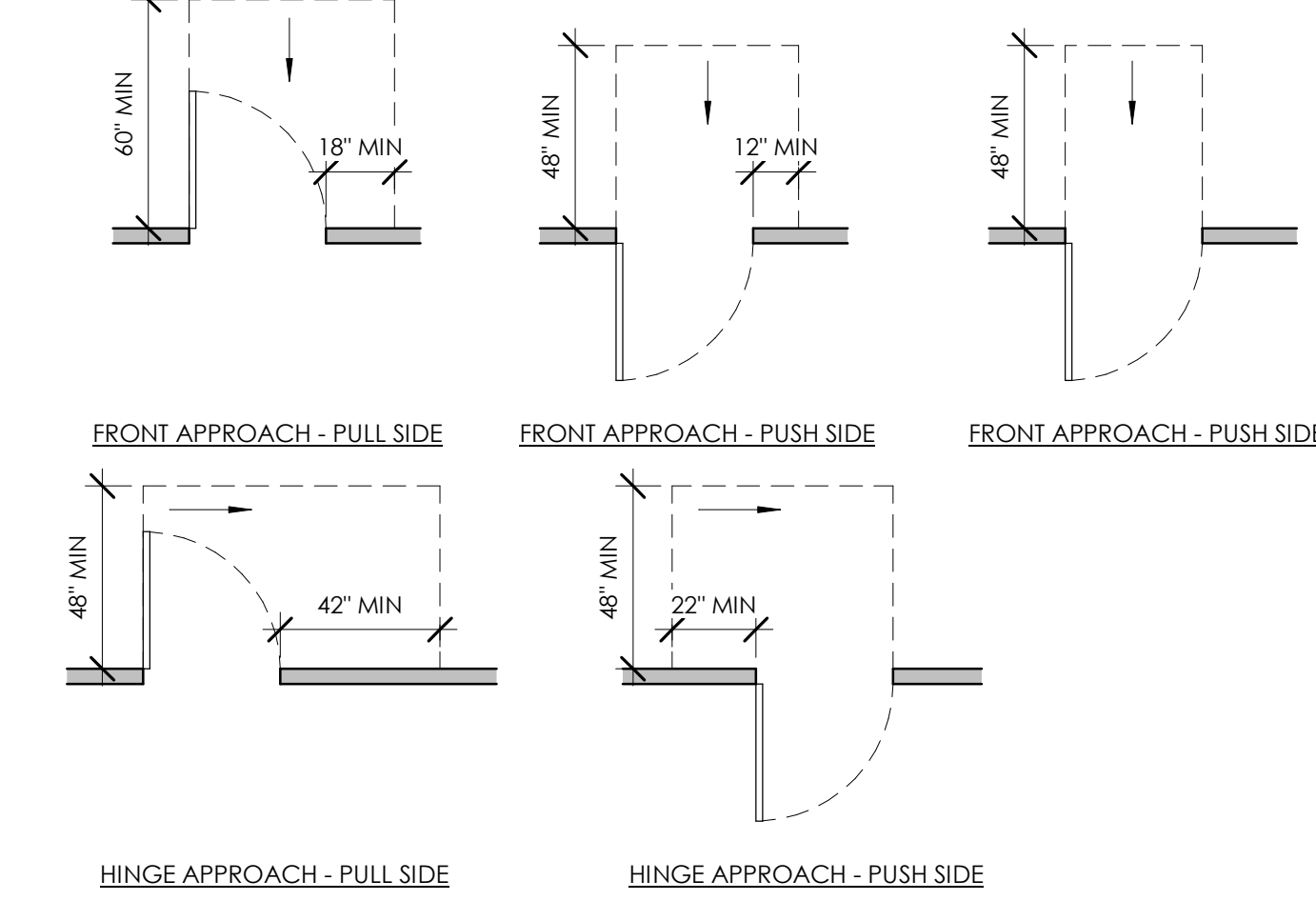
### WALL SECTION



### REQUIRED CLEARANCES



### REQUIRED PUSH/PULL CLEARANCES



### TYPICAL MOUNTING HEIGHTS

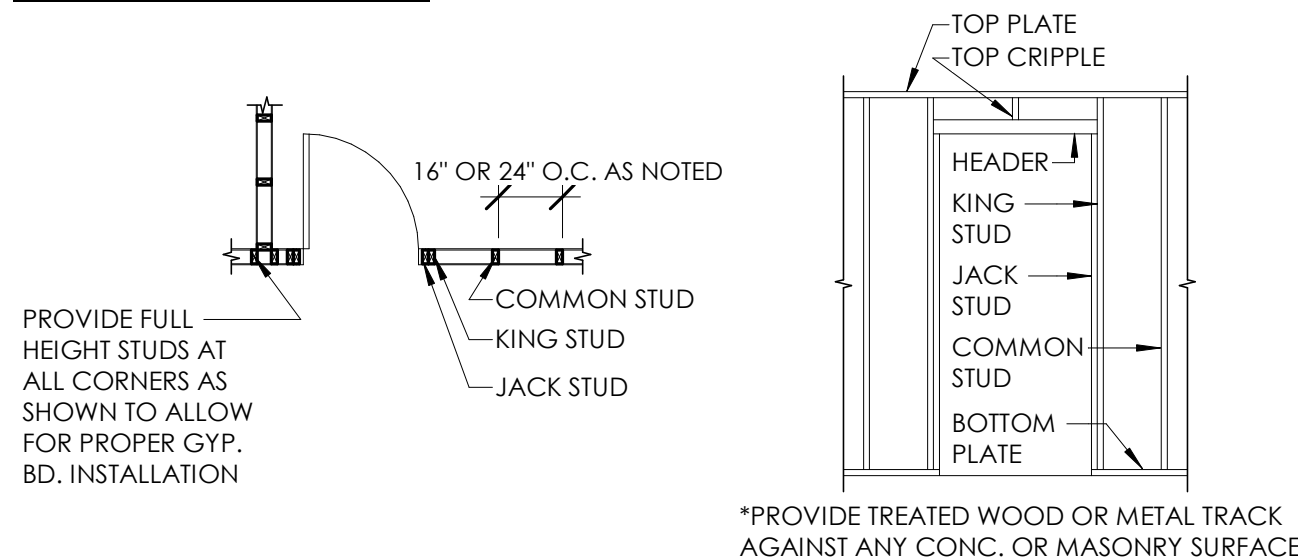
1. MOUNTING HEIGHTS SHOWN ARE BASED UPON RECOGNIZED DESIGN STANDARDS AND/OR BARRIER FREE CODE REQUIREMENTS. IT IS INTENDED THAT LIKE DEVICES ALL BE MOUNTED AT THE SAME HEIGHT THROUGHOUT THE ENTIRE PROJECT. RECESSED DEVICES IN MASONRY WALLS MAY DICTATE A DEVIATION (+/- 2") FROM THESE HEIGHTS (WHEN PERMITTED BY CODE) SO AS TO ALLOW THE BOTTOM OR THE TOP OF THE DEVICE RECESS TO ALIGN WITH MASONRY COURSING. COORDINATE THESE DEVIATIONS WITH THE ARCHITECT'S/OWNER'S REPRESENTATIVE. MOUNTING HEIGHTS ARE TYPICAL UNLESS NOTED OTHERWISE ON DRAWINGS.

#### DIMENSIONING

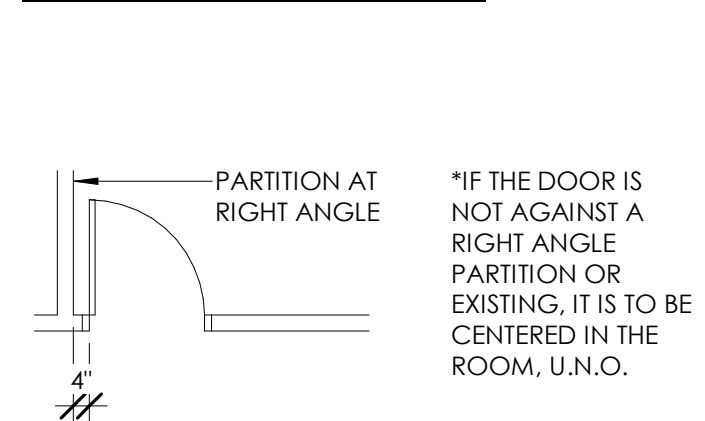
1. DIMENSIONS ARE FROM FINISHED FACE TO FINISHED FACE, UNLESS NOTED OTHERWISE. SEE DIMENSIONING KEY ON THIS PAGE FOR REFERENCE

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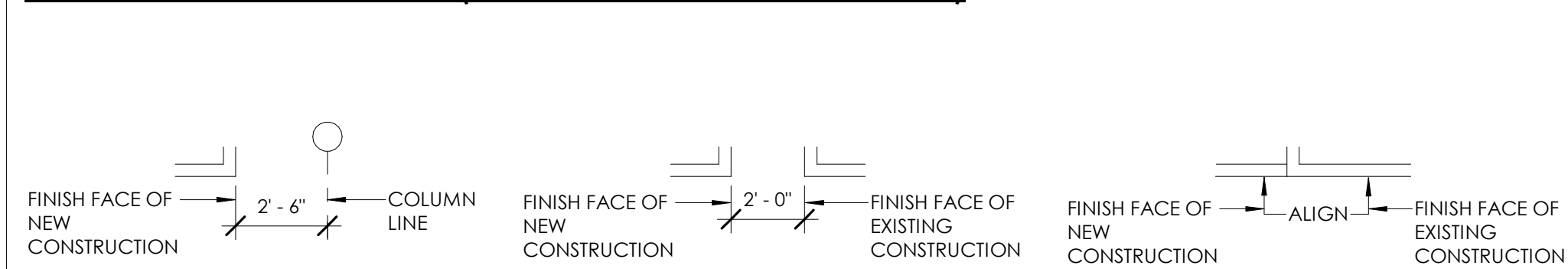
### FRAMING LEGEND



### DIMENSIONING KEY



### DIMENSIONING SYSTEM (UNLESS NOTED OTHERWISE)



PROJECT NAME  
MARSHALL MASONIC TEMPLE

PROJECT ADDRESS  
115 E. GREEN ST., MARSHALL, MI

CLIENT  
DAN SABER

ISSUE  
SCHEMATIC DESIGN

REVISION

DRAWN BY: CMN

DATE: 2/11/2024 5:07:28 PM

SCALE: As indicated

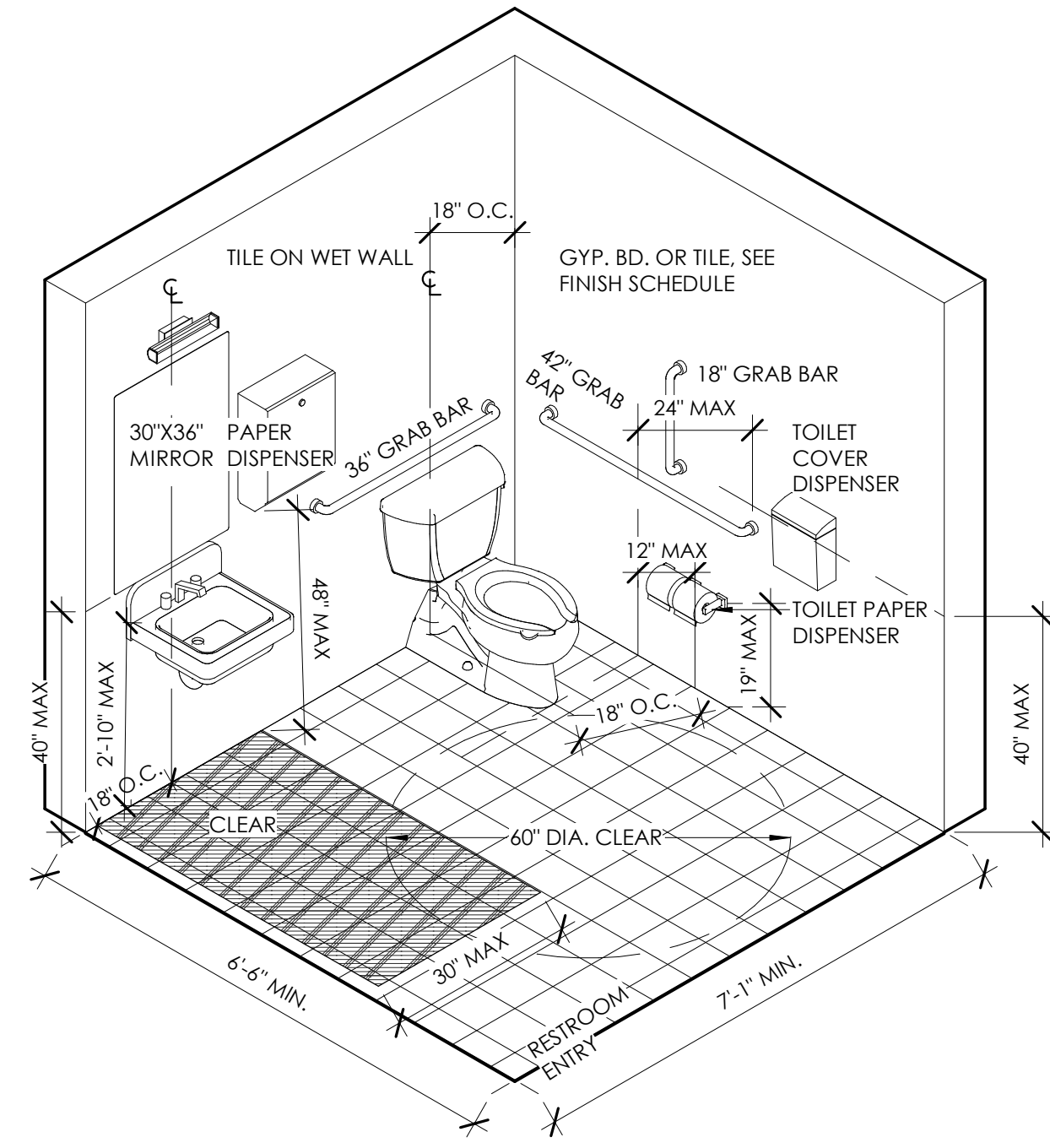
STAMP

PROJECT NUMBER  
2023.120

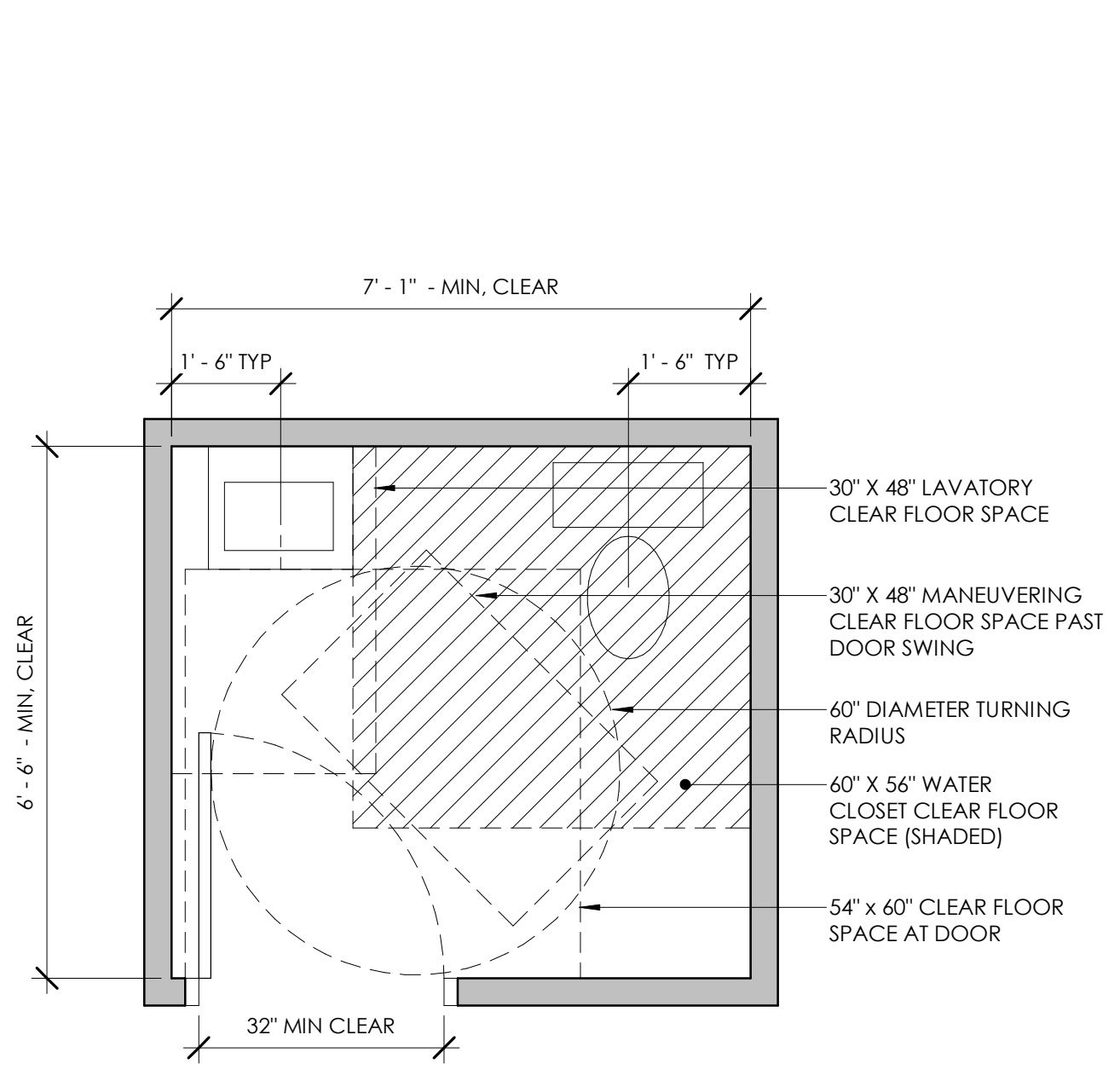
MOUNTING HEIGHTS + ABBREVIATIONS

T002

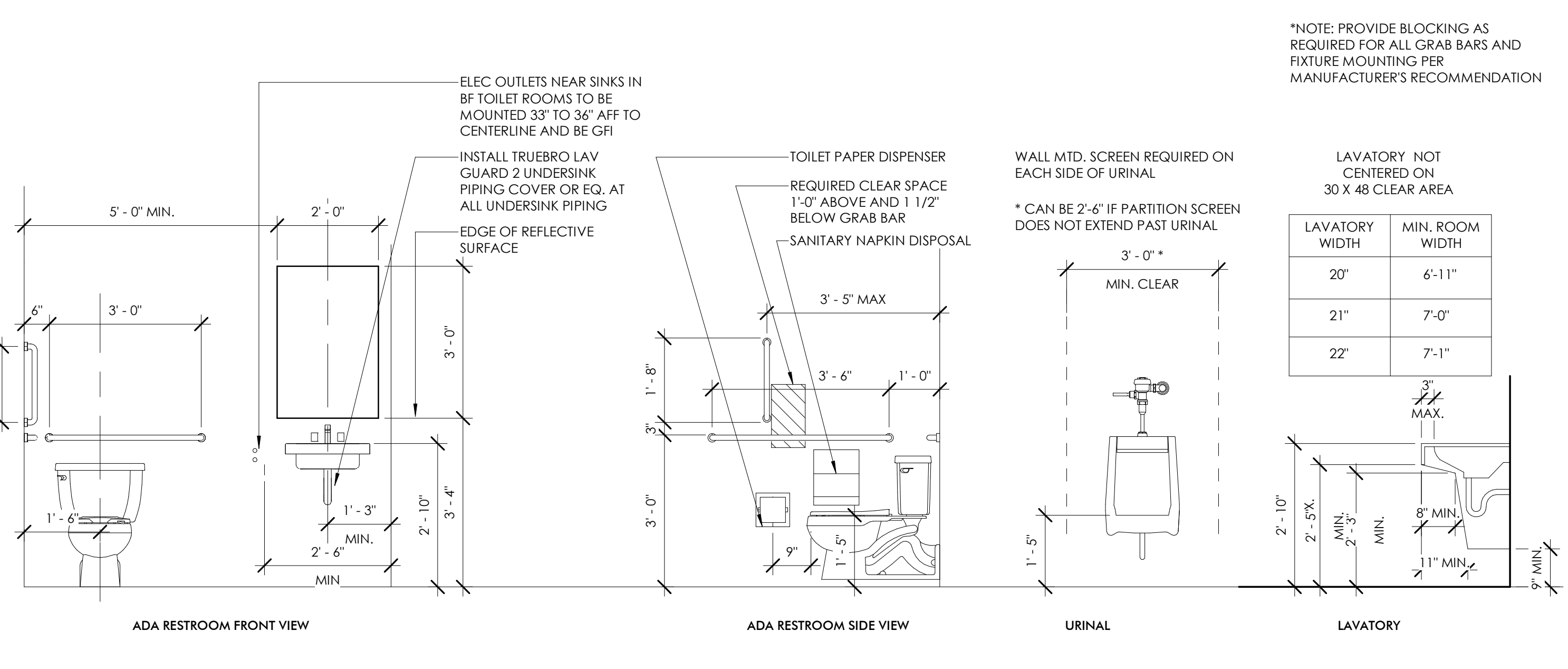
\*NOTE: PROVIDE BLOCKING AS REQUIRED FOR ALL GRAB BARS AND FIXTURE MOUNTING PER MANUFACTURER'S RECOMMENDATION



**ADA RESTROOM AXON - NTS**



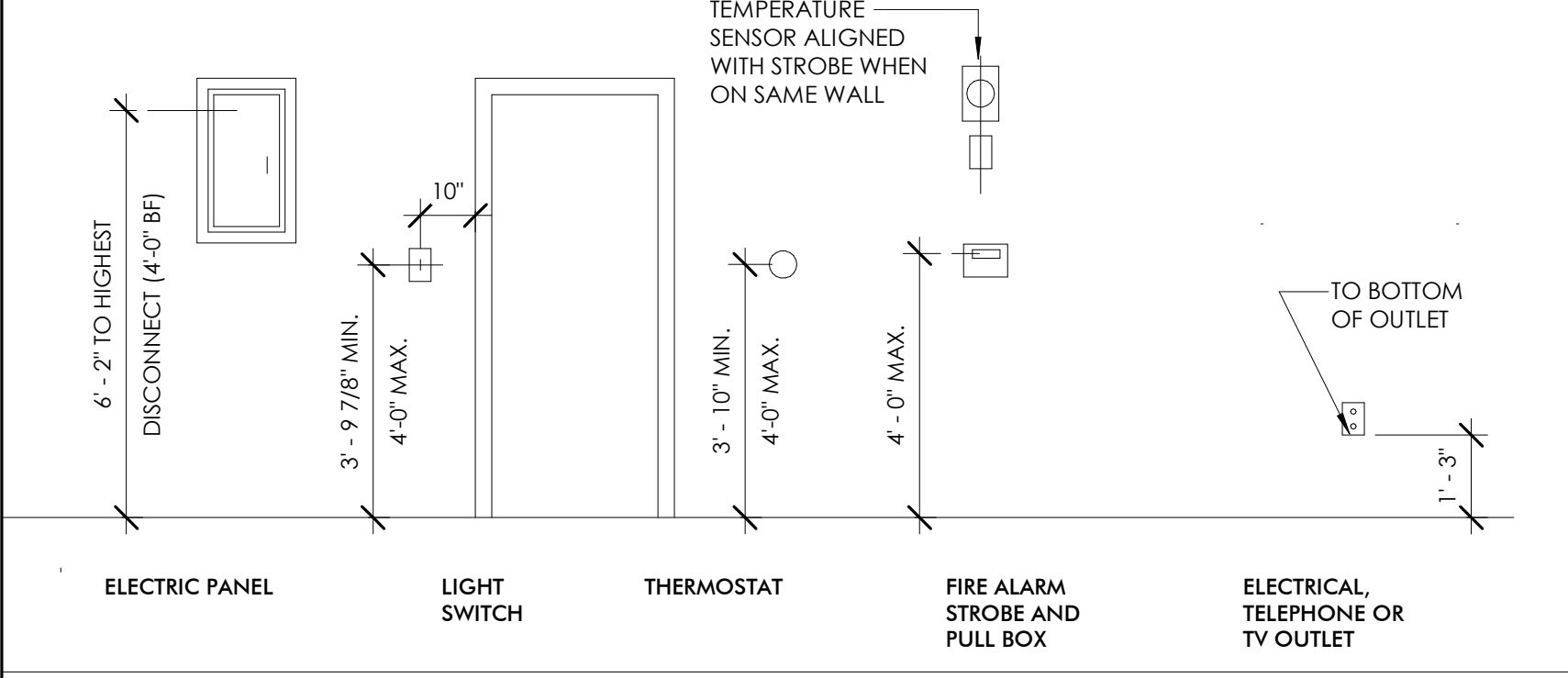
**ADA RESTROOM PLAN - NTS**



**RESTROOM DETAILS - NTS**

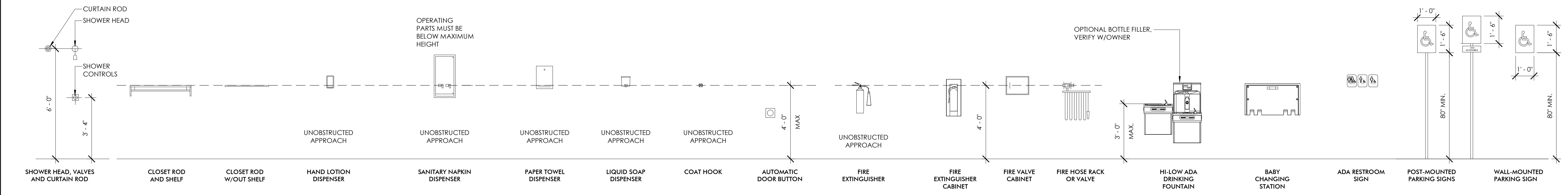
LAVATORY WIDTH	MIN. ROOM WIDTH
20"	6'-11"
21"	7'-0"
22"	7'-1"

**ELECTRICAL DETAILS**

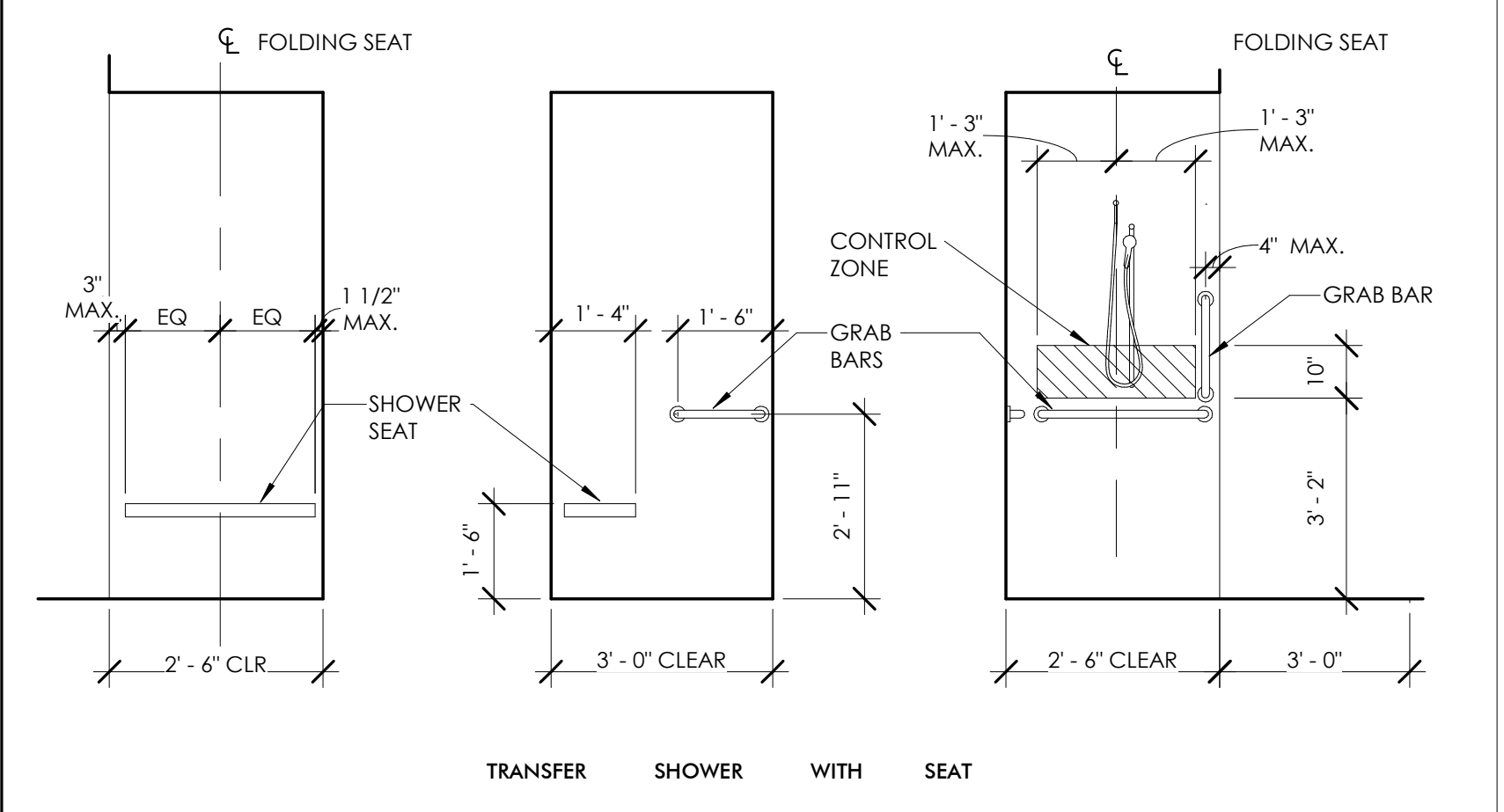


ACCESSORIES SCHEDULE				
TYPE MARK	DESCRIPTION	MANUFACTURER	MODEL	COMMENTS
GB-1	18" VERTICAL GRAB BAR	BRADLEY CORP.	812-001-18	
GB-2	36" GRAB BAR	BRADLEY CORP.	812-001-36	
GB-3	42" GRAB BAR	BRADLEY CORP.	812-001-42	
MI-1	MIRROR	BRADLEY CORP.	748-2436	
PTD-1	PAPERTOWEL DISPENSER	BRADLEY CORP.	250-15	
SD-1	SOAP DISPENSER	BRADLEY CORP.	6562	
SND-1	SANITARY NAPKIN DISPOSAL	BRADLEY CORP.	4A10	
TTD-1	TOILET TISSUE DISPENSER	BRADLEY CORP.	5084	

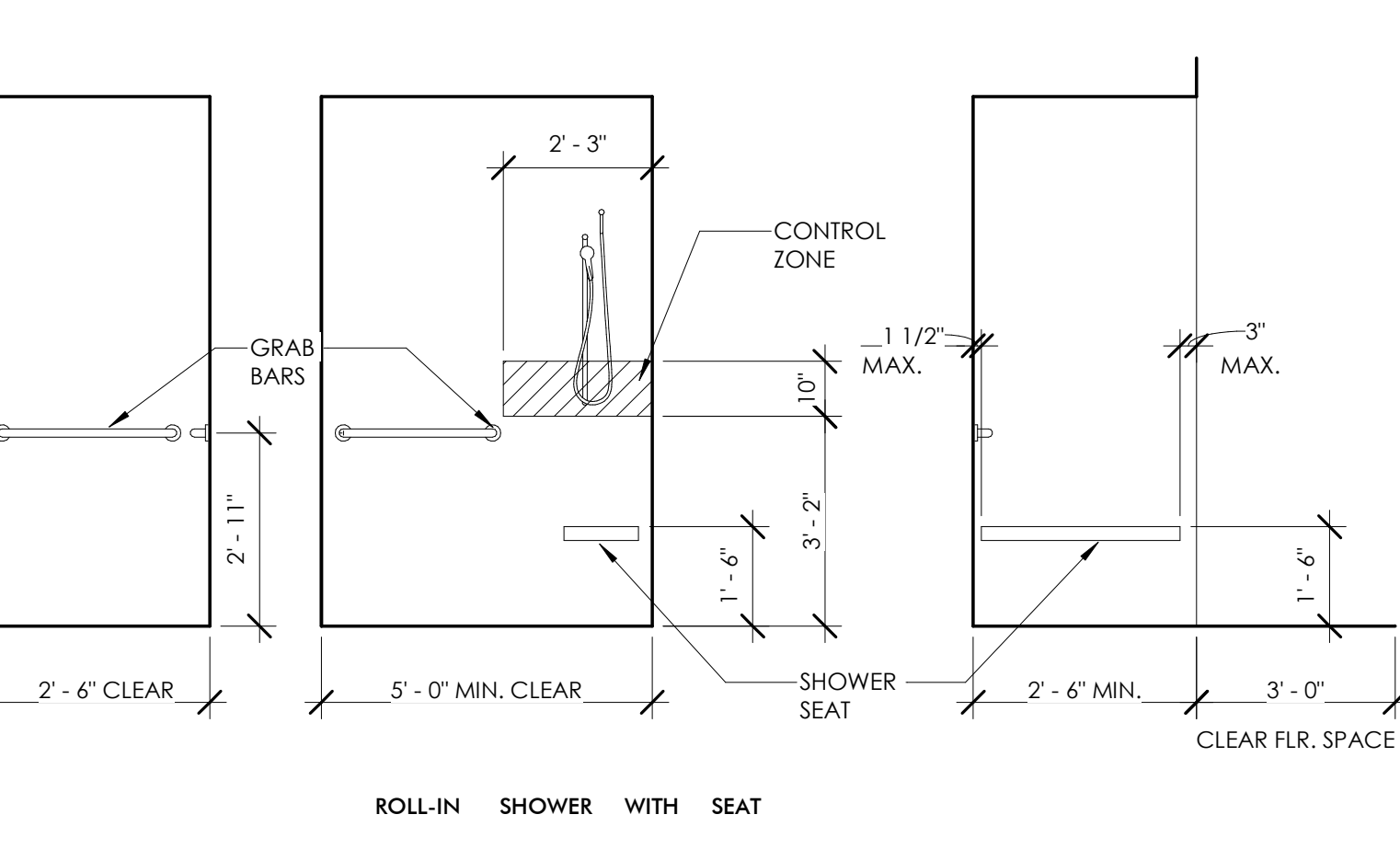
**MOUNTING HEIGHTS**



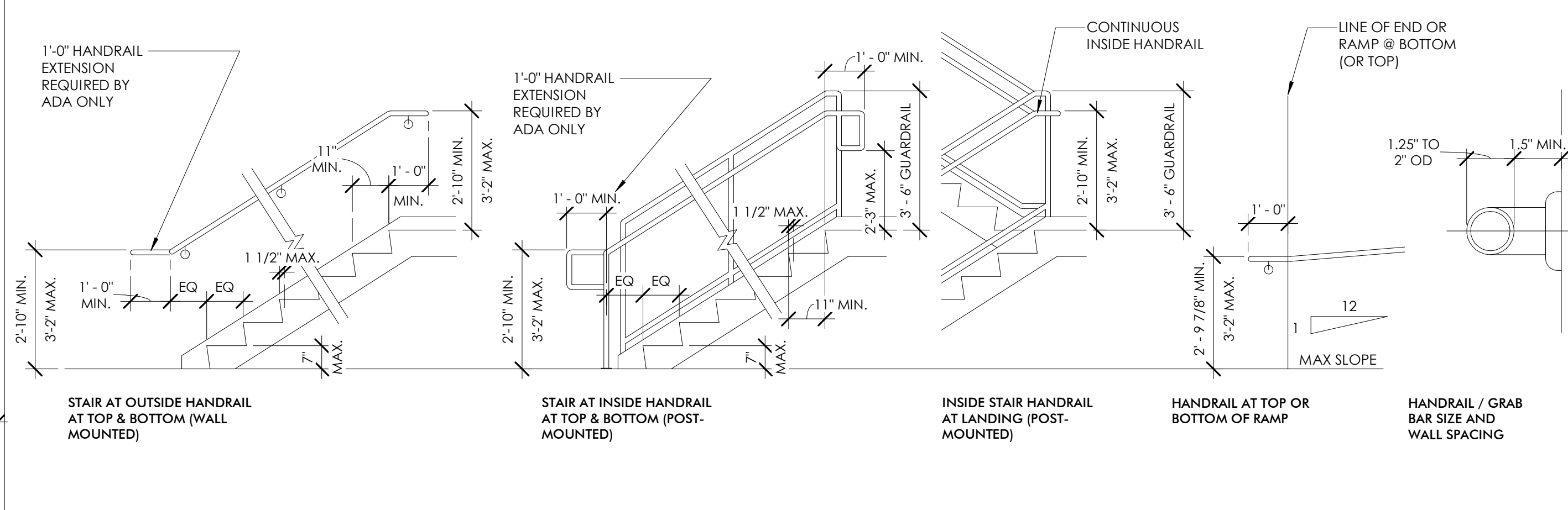
**SHOWER DETAILS**



**SHOWER DETAILS**



**RAILING DETAILS**



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MARSHALL MASONIC TEMPLE  
 PROJECT ADDRESS  
115 E. GREEN ST., MARSHALL, MI  
 CLIENT  
DAN SABER

ISSUE  
SCHEMATIC DESIGN

REVISION

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PROJECT NUMBER  
2023.120

MOUNTING HEIGHTS CONTINUED

**T003**

# 2015 MICHIGAN REHABILITATION CODE

## CHAPTER 5: CLASSIFICATION OF WORK SECTION 505

AREA OF RENOVATION = 17,850 SQUARE FEET, WHICH IS 100% OF THE TOTAL BUILDING AREA.  
THE WORK IS GREATER THAN 50% AND THEREFORE IS CONSIDERED A LEVEL 3 ALTERATION.

SECTION 508.2 EXCEPT AS SPECIFICALLY PROVIDED FOR IN CHAPTER 12, HISTORIC BUILDINGS SHALL COMPLY WITH APPLICABLE PROVISIONS OF THIS CODE FOR THE TYPE OF WORK BEING PERFORMED. THE BUILDING IS CURRENTLY LISTED ON THE STATE REGISTRY OF HISTORIC PROPERTIES.

## CHAPTER 7: ALTERATIONS - LEVEL 1

SECTION 702.5 EMERGENCY ESCAPE AND RESCUE OPENINGS, WHERE WINDOWS ARE REQUIRED TO PROVIDE EMERGENCY ESCAPE AND RESCUE OPENINGS IN GROUP R-2 AND R-23 OCCUPANCIES AND ONE AND TWO FAMILY DWELLINGS AND TOWNHOUSES REGULATED BY THE INTERNATIONAL RESIDENTIAL CODE, REPLACEMENT WINDOWS SHALL BE EXEMPT FROM THE REQUIREMENTS OF SECTIONS 1030.2, 1030.3 AND 1030.5 OF THE INTERNATIONAL BUILDING CODE AND SECTIONS R310.2.1 AND R310.2.3 OF THE INTERNATIONAL RESIDENTIAL CODE ACCORDINGLY, PROVIDED THE REPLACEMENT WINDOW IS THE MANUFACTURER'S LARGEST STANDARD SIZE WINDOW THAT WILL FIT WITHIN THE EXISTING FRAME OR EXISTING ROUGH OPENING. THE REPLACEMENT WINDOW SHALL BE PERMITTED TO BE OF THE SAME OPERATING STYLE AS THE EXISTING WINDOW OR A STYLE THAT PROVIDES FOR AN EQUAL OR GREATER WINDOW OPENING AREA THAN THE EXISTING WINDOWS.

SECTION 702.6 MATERIALS AND METHODS, ALL NEW WORK SHALL COMPLY WITH THE MATERIALS AND METHOD REQUIREMENTS IN THE INTERNATIONAL BUILDING CODE, INTERNATIONAL ENERGY CONSERVATION CODE, INTERNATIONAL MECHANICAL CODE, AND INTERNATIONAL PLUMBING CODE, AS APPLICABLE, THAT SPECIFY MATERIAL STANDARDS, DETAIL OF INSTALLATION AND CONNECTION, JOINTS, PENETRATIONS, AND CONTINUITY OF ANY ELEMENT, COMPONENT, OR SYSTEM IN THE BUILDING.

SECTION 704.1 GENERAL. ALTERATIONS SHALL BE DONE IN A MANNER THAT MAINTAINS THE LEVEL OF PROTECTION PROVIDED FOR THE MEANS OF EGRESS.

SECTION 708.1 MINIMUM REQUIREMENTS, LEVEL 1 ALTERATIONS TO EXISTING BUILDINGS OR STRUCTURES ARE PERMITTED WITHOUT REQUIRING THE ENTIRE BUILDING OR STRUCTURE TO COMPLY WITH THE ENERGY REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE OR INTERNATIONAL RESIDENTIAL CODE. THE ALTERATIONS SHALL CONFIRM TO THE ENERGY REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE OR INTERNATIONAL RESIDENTIAL CODE AS THEY RELATE TO NEW CONSTRUCTION ONLY.

## CHAPTER 8: ALTERATIONS - LEVEL 2

SECTION 801.3 COMPLIANCE, ALL NEW CONSTRUCTION ELEMENTS, COMPONENTS, SYSTEMS, AND SPACES SHALL COMPLY WITH THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE. **EXCEPTIONS:** 1. WINDOWS MAY BE ADDED WITHOUT REQUIRING COMPONENTS, SYSTEMS, AND SPACES SHALL COMPLY WITH THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE. 2. NEWLY INSTALLED ELECTRICAL EQUIPMENT SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 808. 3. THE LENGTH OF DEAD-END CORRIDORS IN NEWLY CONSTRUCTED SPACES SHALL ONLY BE REQUIRED TO COMPLY WITH THE PROVISIONS OF SECTION 805.6. 4. THE MINIMUM CEILING HEIGHT OF THE NEWLY CREATED HABITABLE AND OCCUPIABLE SPACES AND CORRIDORS SHALL BE 7 FEET.

SECTION 803.2 VERTICAL OPENINGS, EXISTING VERTICAL OPENINGS SHALL COMPLY WITH THE PROVISIONS OF SECTION 803.1, 803.2.2, AND 803.2.3.

SECTION 803.2.1 EXISTING VERTICAL OPENINGS, ALL EXISTING INTERIOR VERTICAL OPENINGS CONNECTING TWO OR MORE FLOORS SHALL BE ENCLOSED WITH APPROVED ASSEMBLIES HAVING A FIRE-RESISTANCE RATING OF NOT LESS THAN 1 HOUR WITH APPROVED OPENING PROTECTIVE. **EXCEPTIONS:** 1. WHERE VERTICAL OPENING ENCLOSURE IS NOT REQUIRED BY THE INTERNATIONAL BUILDING OR INTERNATIONAL FIRE CODE. 2. INTERIOR VERTICAL OPENINGS OTHER THAN STAIRWELLS MAY BE BLOCKED AT THE FLOOR AND CEILING OF THE WORK AREA BY INSTALLATION OF NEW LESS THAN 2" OF SOLID WOOD OR EQUIVALENT CONSTRUCTION. 3. THE ENCLOSURE SHALL NOT BE REQUIRED WHERE: 3.1 CONNECTING THE MAIN FLOOR AND MEZZANINES, OR 3.2 ALL OF THE FOLLOWING REQUIREMENTS ARE MET: THE COMMUNICATING AREA HAS A LOW HAZARD OCCUPANCY OR HAS A MODERATE HAZARD OCCUPANCY THAT IS PROTECTED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM. 3.2.2 THE LOWEST OR NEXT TO THE LOWEST LEVEL IS THE STREET LEVEL. 3.2.3 THE ENTIRE AREA IS OPEN AND UNOBSTRUCTED IN A MANNER SUCH THAT IT MAY BE ASSUMED THAT A FIRE IN ANY PART OF THE INTERCONNECTED SPACES WILL BE READILY OBVIOUS TO ALL OF THE OCCUPANTS. 3.2.4 EXIT CAPACITY IS SUFFICIENT TO PROVIDE EGRESS SIMULTANEOUSLY FOR ALL OCCUPANTS AT ALL LEVELS BY CONSIDERING ALL AREAS TO BE A SINGLE FLOOR AREA FOR THE DETERMINATE OF REQUIRED EXIT CAPACITY. 3.2.5 EACH FLOOR LEVEL, CONSIDERED SEPARATELY HAS AT LEAST ONE-HALF OF ITS INDIVIDUAL REQUIRED EXIT CAPACITY PROVIDED BY AN EXIT OR EXITS LEADING DIRECTLY OUT OF THAT LEVEL WITHOUT HAVING TO TRAVERSE ANOTHER COMMUNICATING FLOOR LEVEL.

SECTION 803.2.1 # 11.1, IN GROUP R-2 OCCUPANCIES, A MINIMUM 30-MINUTE ENCLOSURE SHALL BE PROVIDED TO PROTECT ALL VERTICAL OPENINGS NOT EXCEEDING THREE STORIES. THIS ENCLOSURE OF THE ENCLOSURE SPECIFIED IN SECTION 803.2.1, SHALL NOT BE REQUIRED IN THE FOLLOWING LOCATIONS: 11.1.1 VERTICAL OPENINGS NOT EXCEEDING TWO STORIES WITH NOT MORE THAN FOUR DWELLING UNITS PER FLOOR. 11.2 BUILDINGS PROTECT THROUGHOUT BY AN APPROVED AUTOMATIC SPRINKLER SYSTEM. 11.3 BUILDING WITH NOT MORE THAN FOUR DWELLING UNITS PER FLOOR WHERE EVERY SLEEPING ROOM ABOVE THE SECOND FLOOR IS PROVIDED WITH DIRECT ACCESS TO A FIRE ESCAPE OR OTHER APPROVED EXTERIOR DOOR OR WINDOW S HAVING A SILL HEIGHT OR NOT GREATER THAN 44 INCHES AND THE BUILDING IS PROTECTED THROUGHOUT BY AN AUTOMATIC FIRE ALARM SYSTEM COMPLYING WITH SECTION 804.4.

SECTION 804.2.2.1 MIXED USES, IN WORK AREAS CONTAINING MIXED USES, ONE OR MORE OF WHICH REQUIRES AUTOMATIC SPRINKLER PROTECTION IN ACCORDANCE WITH SECTION 804.2.2, WHICH PROTECTION SHALL NOT BE REQUIRED THROUGHOUT THE WORK AREA PROVIDED THAT THE USES REQUIRING SUCH PROTECTION ARE SEPARATED FROM THOSE NOT REQUIRING PROTECTION BY FIRE RESISTANCE RATED CONSTRUCTION HAVING A MINIMUM 2-HOUR RATING FOR GROUP H AND A MINIMUM 1-HOUR RATING FOR ALL OTHER OCCUPANCY GROUPS.

SECTION 804.4.1.6 A FIRE ALARM SYSTEM SHALL BE INSTALLED IN WORK AREAS OF GROUP R-2 APARTMENT BUILDINGS AS REQUIRED BY THE INTERNATIONAL FIRE CODE FOR EXISTING GROUP R-2 OCCUPANCIES.

SECTION 804.4.3 INDIVIDUAL SLEEPING UNITS AND INDIVIDUAL DWELLING UNITS IN ANY WORK AREA IN GROUP R OCCUPANCIES SHALL BE PROVIDED WITH SMOKE ALARMS IN ACCORDANCE WITH THE MICHIGAN BUILDING CODE.

SECTION 805.3.1 EVERY STORY UTILIZED FOR HUMAN OCCUPANCY ON WHICH THERE IS A WORK AREA THAT INCLUDES EXIT OR CORRIDORS SHARED BY MORE THAN ONE TENANT WITHIN THE WORK AREA SHALL BE PROVIDED WITH THE MINIMUM NUMBER OF EXITS BASED ON THE OCCUPANCY AND THE OCCUPANT LOAD IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE.

SECTION 805.3.1.1 SINGLE-EXIT BUILDINGS, ONLY ONE EXIT IS REQUIRED FROM BUILDINGS AND SPACES OF THE FOLLOWING OCCUPANCIES. 5. GROUPS R-1 AND R-2 NOT MORE THAN TWO STORIES IN HEIGHT, WHEN THERE ARE NOT MORE THAN FOUR DWELLING UNITS PER FLOOR AND THE EXIT ACCESS TRAVEL DISTANCE DOES NOT EXCEED 50 FEET. THE MINIMUM FIRE-RESISTANCE RATING OF THE EXIT ENCLOSURE AND OF THE OPENING PROTECTION SHALL BE 1 HOUR. 6. IN MULTILEVEL DWELLING UNITS IN BUILDINGS OF

SECTION 805.4.3 IN ANY WORK AREA, ALL DOORS OPENING ONTO AN EXIT PASSAGEWAY AT GRADE OR AN EXIT STAIRWAY SHALL BE SELF-CLOSING OR AUTOMATIC-CLOSING BY LISTED CLOSING DEVICES.

SECTION 805.5.1 ALL DWELLING UNIT OR SLEEPING UNIT CORRIDOR DOORS IN WORK AREAS IN BUILDINGS OF GROUPS R-2 SHALL BE AT LEAST 1 3/8" SOLID CORE WOOD OR APPROVED EQUIVALENT AND SHALL BE EQUIPPED WITH APPROVED DOOR CLOSERS. **EXCEPTION 5:** DOOR ASSEMBLIES HAVING A FIRE PROTECTION RATING OF AT LEAST 20 MINUTES.

SECTION 805.5.2 TRANSOMS, IN ALL BUILDINGS OF GROUP 1-1, 1-2, R-1, AND R-2 OCCUPANCIES, ALL TRANSOMS IN CORRIDOR WALLS IN WORK AREAS SHALL BE EITHER GLAZED WITH 1/4" WIRED GLASS SET IN METAL FRAMES OR OTHER GLAZING ASSEMBLIES HAVING A FIRE PROTECTION RATING AS REQUIRED FOR THE DOOR AND PERMANENTLY SECURED IN THE CLOSED POSITION OR SEALED WITH MATERIAL CONSISTENT WITH THE CORRIDOR CONSTRUCTION.

SECTION 805.6 DEAD-END CORRIDORS IN ANY WORK AREA SHALL NOT EXCEED 35 FEET.

SECTION 805.8.1 MEANS OF EGRESS IN ALL WORK AREAS SHALL BE PROVIDED WITH EXIT SIGNS IN ACCORDANCE WITH THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE.

SECTION 807.2 NEW STRUCTURAL ELEMENTS IN ALTERATIONS SHALL COMPLY WITH THE INTERNATIONAL BUILDING CODE.

SECTION 807.4 ALTERATIONS SHALL NOT REDUCE THE CAPACITY OF EXISTING GRAVITY LOAD-CARRYING STRUCTURAL ELEMENTS UNLESS IT IS DEMONSTRATED THAT THE ELEMENTS HAVE THE CAPACITY TO CARRY THE APPLICABLE DESIGN GRAVITY LOADS REQUIRED BY THE INTERNATIONAL BUILDING CODE.

SECTION 808.1 ALL NEWLY INSTALLED ELECTRICAL EQUIPMENT AND WIRING RELATING TO WORK DONE IN ANY WORK AREA SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF NFPA 70.

SECTION 809.1 ALL RECONFIGURED SPACES INTENDED FOR OCCUPANCY AND ALL SPACES CONVERTED TO HABITABLE SPACE IN ANY WORK AREA SHALL BE PROVIDED WITH NATURAL OR MECHANICAL VENTILATION IN ACCORDANCE WITH THE INTERNATIONAL MECHANICAL CODE.

SECTION 811.1 LEVEL 2 ALTERATIONS TO EXISTING BUILDINGS SHALL CONFORM TO THE ENERGY REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE AS THEY RELATE TO NEW CONSTRUCTION ONLY.

## CHAPTER 9: ALTERATIONS - LEVEL 3

SECTION 901.1 SCOPE, LEVEL 3 ALTERATIONS AS DESCRIBED IN SECTION 505 SHALL COMPLY WITH THE REQUIREMENTS OF THIS CHAPTER.

SECTION 903.1 EXISTING SHAFTS AND VERTICAL OPENINGS, EXISTING STAIRWAYS THAT ARE PART OF THE MEANS OF EGRESS SHALL BE ENCLOSED IN ACCORDANCE WITH SECTION 803.2.1 FROM THE HIGHEST WORK AREA FLOOR TO, AND INCLUDING, THE LEVEL OF EXIT DISCHARGE AND ALL FLOORS BELOW.

SECTION 903.3 INTERIOR FINISH, INTERIOR FINISH IN EXITS SERVING THE WORK AREA SHALL COMPLY WITH SECTION 803.4 BETWEEN THE HIGHEST FLOOR ON WHICH THERE IS A WORK AREA TO THE FLOOR OF EXIT DISCHARGE.

SECTION 904.1 AUTOMATIC SPRINKLER SYSTEMS, AN AUTOMATIC SPRINKLER SYSTEM SHALL BE PROVIDED BY SECTION 804.2 OR THIS SECTION.

SECTION 904.2 FIRE ALARM AND DETECTION SYSTEMS, FIRE ALARM AND DETECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 907 OF THE INTERNATIONAL BUILDING CODE AS REQUIRED FOR NEW CONSTRUCTION.

SECTION 906.2 TYPE B DWELLING OR SLEEPING UNITS, WHERE FOUR OR MORE GROUP 1-1, 1-2, R-1, R-2, R-3, OR R-4 DWELLING OR SLEEPING UNITS ARE BEING ALTERED, THE REQUIREMENTS OF SECTION 1107 OF THE INTERNATIONAL BUILDING CODE FOR TYPE B UNITS AND CHAPTER 9 OF THE INTERNATIONAL BUILDING CODE FOR VISIBLE ALARMS APPLY ONLY TO THE QUANTITY OF THE SPACES BEING ALTERED. **EXCEPTION:** GROUP 1-1, 1-2, R-2, R-3, AND R-4 DWELLING OR SLEEPING UNITS WHERE THE FIRST CERTIFICATE OF OCCUPANCY WAS ISSUED BEFORE MARCH 15TH, 1991 ARE NOT REQUIRED TO PROVIDE TYPE B DWELLING OR SLEEPING UNITS.

SECTION 908.1 MINIMUM REQUIREMENTS, LEVEL 3 ALTERATIONS TO EXISTING BUILDINGS OR STRUCTURES ARE PERMITTED WITHOUT REQUIRING THE ENTIRE BUILDING OR STRUCTURE TO COMPLY WITH THE ENERGY REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE OR INTERNATIONAL RESIDENTIAL CODE. THE ALTERATIONS SHALL CONFIRM TO THE ENERGY REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE OR INTERNATIONAL RESIDENTIAL CODE AS THEY RELATE TO NEW CONSTRUCTION ONLY.

## CHAPTER 10: CHANGE OF OCCUPANCY

SECTION 1008.3 WHERE THE OCCUPANCY OF PART OF AN EXISTING BUILDING IS CHANGED, ELECTRICAL SERVICE SHALL BE UPGRADED TO MEET THE REQUIREMENTS OF NFPA 70 FOR THE NEW OCCUPANCY.

SECTION 1012.1.1.2 WHERE A PORTION OF AN EXISTING BUILDING IS CHANGED TO A NEW OCCUPANCY CLASSIFICATION, AND THAT PORTION IS SEPARATED FROM THE REMAINDER OF THE BUILDING WITH FIRE BARRIERS HAVING A FIRE-RESISTANCE RATING AS REQUIRED IN THE INTERNATIONAL BUILDING CODE FOR THE SEPARATE OCCUPANCY, THAT PORTION SHALL COMPLY WITH ALL OF THE REQUIREMENTS OF CHAPTER 9 FOR THE NEW OCCUPANCY CLASSIFICATION.

TABLE 1012.4 OCCUPANCY CLASSIFICATIONS R-1 AND R-2 ARE BOTH CONSIDERED RELATIVE HAZARD LEVEL 3.

SECTION 1012.4.2 WHEN THE CHANGE OF OCCUPANCY CLASSIFICATION IS MADE TO AN EQUAL OR LESSER HAZARD CATEGORY AS SHOWN IN TABLE 1012.4, EXISTING ELEMENTS OF THE MEANS OF EGRESS SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 905 FOR THE NEW OCCUPANCY CLASSIFICATION. NEWLY CONSTRUCTED OR CONFIGURED MEANS OF EGRESS SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 10 OF THE INTERNATIONAL BUILDING CODE. THE ORIGINAL USE OF THE SECOND AND THIRD FLOORS WAS R-1, THE PROPOSED USE IS R-2.

TABLE 1012.5 OCCUPANCY CLASSIFICATIONS R-1 AND R-2 ARE BOTH CONSIDERED RELATIVE HAZARD LEVEL 2.

SECTION 1012.5.2 WHEN A CHANGE OF OCCUPANCY CLASSIFICATION IS MADE TO AN EQUAL OR LESSER HAZARD CATEGORY AS SHOWN IN TABLE 1012.5, THE HEIGHT AND AREA OF THE EXISTING BUILDING SHALL BE DEEMED ACCEPTABLE.

TABLE 1012.6 OCCUPANCY CLASSIFICATIONS R-1 AND R-2 ARE BOTH CONSIDERED RELATIVE HAZARD LEVEL 3.

SECTION 1012.6.2 WHEN A CHANGE OF OCCUPANCY CLASSIFICATION IS MADE TO AN EQUAL OR LESSER HAZARD CATEGORY AS SHOWN IN TABLE 1012.6, EXISTING EXTERIOR WALLS, INCLUDING OPENINGS SHALL BE ACCEPTED.

SECTION 1012.6.3 OPENINGS IN EXTERIOR WALLS SHALL BE PROTECTED AS REQUIRED BY THE INTERNATIONAL BUILDING CODE. **EXCEPTION 4:** EXTERIOR OPENING PROTECTIVES ARE NOT REQUIRED WHEN THE CHANGE OF OCCUPANCY GROUP IS TO AN EQUAL OR LOWER HAZARD CLASSIFICATION IN ACCORDANCE WITH TABLE 1012.6.

## CHAPTER 11: ADDITIONS

SECTION 1102.1 NO ADDITION SHALL INCREASE THE HEIGHT OF AN EXISTING BUILDING BEYOND THAT PERMITTED UNDER THE APPLICABLE PROVISIONS OF CHAPTER 5 OF THE INTERNATIONAL BUILDING CODE FOR NEW BUILDINGS.

SECTION 1102.2 NO ADDITION SHALL INCREASE THE AREA OF AN EXISTING BUILDING BEYOND THAT PERMITTED UNDER THE APPLICABLE PROVISIONS OF CHAPTER 5 OF THE INTERNATIONAL BUILDING CODE FOR NEW BUILDINGS UNLESS FIRE SEPARATION AS REQUIRED BY THE INTERNATIONAL BUILDING CODE IS PROVIDED.

SECTION 1103.4 ANY STRUCTURAL ELEMENT OF AN EXISTING BUILDING SUBJECT TO ADDITIONAL LOADS FROM THE EFFECTS OF SNOW DRIFT AS A RESULT OF AN ADDITION SHALL COMPLY WITH THE INTERNATIONAL BUILDING CODE.

SECTION 1106.1 ADDITIONS TO EXISTING BUILDINGS SHALL CONFORM TO THE ENERGY REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE AS THEY RELATE TO NEW CONSTRUCTION.

## CHAPTER 12: HISTORIC BUILDINGS

SECTION 1204.1 EXCEPTION: TYPE B DWELLING OR SLEEPING UNITS REQUIRED BY SECTION 1107 OF THE INTERNATIONAL BUILDING CODE ARE NOT REQUIRED TO BE PROVIDED IN HISTORICAL BUILDINGS.

SECTION 1205.2 THE ALLOWABLE FLOOR AREA FOR HISTORIC BUILDINGS UNDERGOING A CHANGE OF OCCUPANCY SHALL BE PERMITTED TO EXCEED BY 20 PERCENT THE ALLOWABLE AREAS SPECIFIED IN CHAPTER 5 OF THE INTERNATIONAL BUILDING CODE

SECTION 1205.4 REQUIRED OCCUPANCY SEPARATIONS OF 1 HOUR MAY BE OMITTED WHEN THE BUILDING IS PROVIDED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM THROUGHOUT.

SECTION 1205.10 WHERE 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION IS REQUIRED BY THESE PROVISIONS, IT NEED NOT BE PROVIDED, REGARDLESS OF CONSTRUCTION OR OCCUPANCY, WHERE THE EXISTING WALL AND CEILING FINISH IS WOOD LATH AND PLASTER.

SECTION 1203.6 IN BUILDINGS OF THREE STORIES OR LESS, EXIT ENCLOSURE CONSTRUCTION SHALL LIMIT THE SPREAD OF SMOKE BY THE USE OF TIGHT-FITTING DOORS AND SOLID ELEMENTS. SUCH ELEMENTS ARE NOT REQUIRED TO HAVE A FIRE-RESISTANCE RATING.

SECTION 1205.6 EXISTING DOOR OPENINGS AND CORRIDOR AND STAIRWAY WIDTHS LESS THAN THOSE THAT WOULD BE ACCEPTABLE FOR NONHISTORIC BUILDINGS UNDER THESE PROVISIONS SHALL BE APPROVED, PROVIDED THAT, IN THE OPINION OF THE CODE OFFICIAL, THERE IS SUFFICIENT WIDTH AND HEIGHT FOR A PERSON TO PASS THROUGH THE OPENING OR TRAVERSE THE EXIT AND THAT THE CAPACITY OF THE EXIT SYSTEM IS ADEQUATE FOR THE OCCUPANT LOAD, OR WHERE OTHER OPERATIONAL CONTROLS TO LIMIT OCCUPANCY ARE APPROVED BY THE CODE OFFICIAL.

SECTION 1205.11 EXISTING STAIRWAYS SHALL COMPLY WITH THE REQUIREMENTS OF THESE PROVISIONS. THE CODE OFFICIAL SHALL GRANT ALTERNATIVES FOR STAIRWAYS AND GUARDS IF ALTERNATIVE STAIRWAYS ARE FOUND TO BE ACCEPTABLE OR ARE JUDGED TO MEET THE INTENT OF THESE PROVISIONS. EXISTING STAIRWAYS SHALL COMPLY WITH SECTION 1203.

# CODE COMPLIANCE

TOPIC	SECTION	ALLOWED/REQUIRED	ACTUAL
APPLICABLE CODES			
2015 INTERNATIONAL FIRE CODE			
2015 MICHIGAN BUILDING CODE			
2015 MICHIGAN MECHANICAL CODE			
2015 MICHIGAN REHABILITATION CODE	505	LEVEL 3 ALTERATION	INTERIOR RENOVATION OVER 50%
2017 NATIONAL ELECTRICAL CODE			
2018 MICHIGAN PLUMBING CODE			
ANSI/ASHRAE 90.1-2013			
ICC/ANSI 117.1-2009			
NFPA 13 (2013) + NFPA 72 (2013)			
ZONING			
ZONING	CITY OF MARSHALL		B-3 NEIGHBORHOOD COMMERCIAL
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DEFERRED SUBMITTALS	107.3.4.1		THERE ARE NO DEFERRED SUBMITTALS FOR THIS PROJECT
DESIGN PROFESSIONAL IN CHARGE	107.3.4		CODY NEWMAN IS TO BE THE DESIGN PROFESSIONAL IN CHARGE
SPECIAL INSPECTIONS	110		THERE ARE NO SPECIAL INSPECTIONS FOR THIS PROJECT
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BUILDING USE	304.1 + 310.4	BEFORE - B (BUSINESS) + A-2 (ASSEMBLY)	AFTER - B (BUSINESS) + R-2 (RESIDENTIAL)
3 - AREA BY USE			
BUSINESS			AREA
RESIDENTIAL			AREA
3 - GROSS BUILDING AREA			
1 - FIRST FLOOR			3,978 SF
2 - SECOND FLOOR			3,697 SF
3 - THIRD FLOOR			
4 - FOURTH FLOOR			
TOTAL			
5 - GENERAL BUILDING HEIGHTS AND AREAS			
ALLOWABLE BUILDING HEIGHT	TABLE 504.3	75 FEET	60 FEET
REQUIRED SEPARATION OF OCCUPANCIES	TABLE 508.4	1 HOUR	1 HOUR
TABULAR AREA	TABLE 506.2	48,000 SF	
6 - TYPE OF CONSTRUCTION			
TYPE OF CONSTRUCTION	TABLE 601		III-B
7 - FIRE AND SMOKE PROTECTION			
			SMOKE AND CARBON MONOXIDE DETECTORS REQUIRED
9 - FIRE PROTECTION SYSTEMS			
AUTOMATIC SPRINKLER SYSTEM	903.2.1.3	REQUIRED	PROVIDED
FIRE ALARM AND DETECTION SYSTEMS	907	REQUIRED	PROVIDED
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EXIT ACCESS TRAVEL DISTANCE	TABLE 1017.2	250 FEET	
NUMBER OF EXITS	TABLE 1006.3.1	2 EXITS	3 EXITS
STAIR EGRESS WIDTH	1005.3.1	44"	
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OCCUPANCY	TABLE 1004.1.2	#	PEOPLE
OCCUPANCY	TABLE 1004.1.2		
TOTAL OCCUPANT LOAD			PEOPLE
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	1501.1		NEW STANDING SEAM METAL ROOF
27 - ELECTRICAL			
EMERGENCY LIGHTING	1008.1	WILL COMPLY	ON COMPLIANCE DRAWINGS
EMERGENCY POWER	1008.3.2.1 008.3.3	WILL COMPLY	ON COMPLIANCE DRAWINGS
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DRINKING FOUNTAIN REQUIREMENTS	TABLE 403.1	1 REQUIRED PER COMMERCIAL UNIT	1 PROVIDED PER COMMERCIAL UNIT
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**NOT FOR CONSTRUCTION**

PROJECT NAME  
MARSHALL MASONIC TEMPLE

PROJECT ADDRESS  
115 E. GREEN ST., MARSHALL, MI

CLIENT  
DAN SABER

ISSUE  
SCHEMATIC DESIGN

REVISION

DRAWN BY  
CMN

DATE  
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SCALE

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PROJECT NUMBER  
2023.120

CODE COMPLIANCE - HISTORIC

**T004**

# 2015 MICHIGAN BUILDING CODE

## CHAPTER 3: USE AND OCCUPANCY CLASSIFICATION

SECTION 309.1 MERCANTILE  
SECTION 310.4 RESIDENTIAL GROUP R-2. RESIDENTIAL GROUP R-2 OCCUPANCIES CONTAINING SLEEPING UNITS OR MORE THAN TWO DWELLING UNITS WHERE THE OCCUPANTS ARE PRIMARILY PERMANENT IN NATURE INCLUDING APARTMENTS.

## CHAPTER 4: SPECIAL DETAILED REQUIREMENTS BASED ON USE AND OCCUPANCY

SECTION 420.2 WALLS SEPARATING DWELLING UNITS SHALL BE CONSTRUCTED AS FIRE PARTITIONS IN ACCORDANCE WITH SECTION 708

SECTION 420.3 FLOOR ASSEMBLIES SEPARATING DWELLING UNITS IN THE SAME BUILDING AND SEPARATING DWELLING UNITS FROM OTHER OCCUPANCIES SHALL BE CONSTRUCTED AS HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 711

SECTION 420.5 GROUP R OCCUPANCIES SHALL BE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.2.8. QUICK RESPONSE OR RESIDENTIAL AUTOMATIC SPRINKLER SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 903.3.2

SECTION 420.6 FIRE ALARM SYSTEMS AND SMOKE ALARMS SHALL BE PROVIDED IN GROUP R-2 OCCUPANCIES IN ACCORDANCE WITH SECTION 907.2.9 SINGLE OR MULTIPLE STATION SMOKE ALARMS SHALL BE PROVIDED IN GROUPS R-2 IN ACCORDANCE WITH SECTION 907.2.11.

## CHAPTER 5: GENERAL BUILDING HEIGHTS AND AREAS

SEE CODE COMPLIANCE TABLE TO BUILDING HEIGHTS/AREAS/SEPARATION REQUIREMENTS  
PER THE 2015 MICHIGAN REHABILITATION CODE SECTIONS 1205.4 AND 1205.10 THERE ARE NO REQUIRED SEPARATIONS BETWEEN THE STORAGE IN THE BASEMENT AND THE RESTAURANT AS WELL AS BETWEEN THE RESTAURANT AND THE RESIDENTIAL UNITS. THE BUILDING WILL BE COMPLETELY FIRE SUPPRESSED THROUGHOUT.

## CHAPTER 6: TYPES OF CONSTRUCTION

SECTION 602 CONSTRUCTION CLASSIFICATION TYPE III-B. SEE CODE COMPLIANCE TABLE FOR ADDITIONAL INFORMATION

## CHAPTER 7: FIRE AND SMOKE PROTECTION

SECTION 708.3 EXCEPTION 1: CORRIDOR WALLS PERMITTED TO HAVE A 1/2 HOUR FIRE RESISTANCE RATING BY TABLE 1020.1.

SECTION 711.2.3 THE SUPPORTING CONSTRUCTION SHALL BE PROTECTED TO AFFORD THE REQUIRED FIRE RESISTANCE RATING OF THE HORIZONTAL ASSEMBLY SUPPORTED. EXCEPTION: IN TYPE III-B BUILDINGS THE CONSTRUCTION SUPPORTING HORIZONTAL ASSEMBLIES AT THE SEPARATIONS OF THE DWELLING UNITS IS NOT REQUIRED TO BE FIRE RESISTANCE RATED.

SECTION 711.2.4.1 WHERE THE HORIZONTAL ASSEMBLY SEPARATED MIXED OCCUPANCIES, THE ASSEMBLY SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN THAT REQUIRED BY SECTION 508.4. HALF HOUR FIRE RESISTANCE IS REQUIRED IN TYPE III-B BUILDINGS CORRIDORS

SECTION 713.13.4 SHAFT ENCLOSURES SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN ONE HOUR WHERE CONNECTING THREE STORIES OR LESS

SECTION 713.14.1 EXCEPTION 4: ENCLOSED ELEVATOR LOBBIES ARE NOT REQUIRED WHERE THE BUILDING IS PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.2.

TABLE 716.5 OPENINGS IN ONE HOUR FIRE BARRIERS FOR SHAFTS, EXIT ACCESS STAIRWAYS, AND INTERIOR EXITSTAIRWAYS ARE TO HAVE ONE HOUR FIRE DOORS

## CHAPTER 8: INTERIOR FINISHES

TABLE 803.1.1 INTERIOR WALL AND CEILING FINISH REQUIREMENTS  
INTERIOR WALL & CEILING FINISHES  
EXIT ENCLOSURE AND PASSAGEWAY CLASS B / SMOKE-DEVELOPED INDEX 0-450 / FLAME SPREAD 26-75  
CORRIDORS CLASS C / SMOKE-DEVELOPED INDEX 0-450 / FLAME SPREAD 76-200  
ROOMS AND ENCLOSED SPACES C / SMOKE-DEVELOPED INDEX 0-450 / FLAME SPREAD 76-200

## INTERIOR FINISH FLOOR REQUIREMENTS

INTERIOR WALL & CEILING FINISHES  
EXIT ENCLOSURE AND PASSAGEWAY CLASS II / WATTS / CM2 .22 OR GREATER  
CORRIDORS CLASS II / WATTS / CM2 .22 OR GREATER  
ROOMS AND ENCLOSED SPACES CLASS II / WATTS / CM2 .22 OR GREATER

## CHAPTER 9: FIRE PROTECTION SYSTEMS

SECTION 903.2.8 AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3 SHALL BE PROVIDED THROUGHOUT ALL BUILDINGS WITH A GROUP R FIRE AREA.

SECTION 906.1.1 EXCEPTION: IN GROUP R-2 OCCUPANCIES, PORTABLE FIRE EXTINGUISHERS SHALL BE REQUIRED ONLY IN LOCATIONS SPECIFIED IN ITEMS 2 THROUGH 6 WHERE EACH DWELLING UNIT IS PROVIDED WITH A PORTABLE FIRE EXTINGUISHER HAVING A MINIMUM RATING OF 1-A:10-B:C.

## CHAPTER 10: MEAN OF EGRESS

SEE CODE COMPLIANCE TABLE FOR SIZING BREAKDOWN

SECTION 1005 MEANS OF EGRESS SIZING  
SECTION 1005.3.1 STAIRWAYS .3" PER OCCUPANT; MINIMUM WIDTH 44" ( .36" IF < 50 OCCUPANTS (SECTION 1011.2))  
SECTION 1005.3.2 OTHER ELEMENTS .2" PER OCCUPANT  
SECTION 1010.1.1 DOORS 32" MINIMUM CLEAR WIDTH, CORRIDORS 44" MINIMUM CLEAR WIDTH  
SECTION 1011.1.1 EXCEPTION 4: CHANGES IN ROOM ELEVATIONS OF THREE OR FEWER RISERS WITHIN DWELLING UNITS IN GROUP R-2 DO NOT REQUIRE HANDRAILS

TABLE 1017.2 MAXIMUM EXIT ACCESS TRAVEL DISTANCE  
R USE GROUP AREAS 250'-0" WITH FIRE SUPPRESSION THROUGHOUT

SECTION 1020.4 EXCEPTION 2: IN OCCUPANCIES IN GROUP R-2, WHERE THE BUILDING IS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM, THE LENGTH OF THE DEAD-END CORRIDORS SHALL NOT EXCEED 50'.

SECTION 1023.1 INTERIOR EXIT STAIRWAYS SHALL BE ENCLOSED AND LEAD DIRECTLY TO THE EXTERIOR OF THE BUILDING OR SHALL BE EXTENDED TO THE EXTERIOR OF THE BUILDING WITH AN EXIT PASSAGEWAY CONFORMING TO THE REQUIREMENTS OF SECTION 1024.

SECTION 1023.2 ENCLOSURES FOR INTERIOR EXIT STAIRWAYS SHALL BE CONSTRUCTION AS FIRE BARRIERS IN ACCORDANCE WITH SECTION 707. INTERIOR EXIT STAIRWAY ENCLOSURES SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 1 HOURS WHERE CONNECTING THREE STORIES OR LESS.

SECTION 1024.2 EXIT PASSAGEWAY ENCLOSURES SHALL HAVE WALLS, FLOORS, AND CEILINGS OF NOT LESS THAN A 1-HOUR FIRE-RESISTANCE RATING, AND NOT LESS THAN THAT REQUIRED FOR ANY CONNECTING INTERIOR EXIT STAIRWAY. EXIT PASSAGEWAYS SHALL BE CONSTRUCTED AS FIRE BARRIERS IN ACCORDANCE WITH SECTION 707.

## CHAPTER 11: ACCESSIBILITY

SECTION 1107.6.2.2.1 IN GROUP R-2 OCCUPANCIES CONTAINING MORE THAN 20 DWELLING UNITS, AT LEAST 2 PERCENT BUT NOT LESS THAN ONE OF THE UNITS SHALL BE A TYPE A UNIT. THIS PROJECT CONTAINS 8 DWELLING UNITS, AND THEREFORE IS NOT REQUIRED TO HAVE ANY TYPE A UNITS.

SECTION 1107.6.2.2.2 WHERE THERE ARE FOUR OR MORE DWELLING UNITS INTENDED TO BE OCCUPIED AS A RESIDENCE IN A SINGLE STRUCTURE, EVERY DWELLING UNIT INTENDED TO BE OCCUPIED AS A RESIDENCE SHALL BE A TYPE B UNIT. NOTE THAT THE 2015 MICHIGAN REHABILITATION CODE 1204.1 STATES THAT TYPE B UNITS ARE NOT REQUIRED IN HISTORICAL BUILDINGS.

## CHAPTER 12: INTERIOR ENVIRONMENT

SECTION 1207.2 WALLS, PARTITIONS, AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS FROM EACH OTHER OR FROM PUBLIC OR SERVICE AREAS SHALL HAVE A SOUND TRANSMISSION CLASS OF NOT LESS THAN 50 FOR AIR-BORNE NOISE WHEN TESTED IN ACCORDANCE WITH ASTM E90. **PROVIDED STC = 50.**

SECTION 1207.3 FLOOR/CEILING ASSEMBLIES BETWEEN DWELLING UNITS OR BETWEEN A DWELLING UNIT AND A PUBLIC OR SERVICE AREA WITHIN THE STRUCTURE SHALL HAVE AN IMPACT INSULATION CLASS RATING OF NOT LESS THAN 50 WHEN TESTED IN ACCORDANCE WITH ASTM E492. **PROVIDED IIC = 57.**

SECTION 1208.2 OCCUPIABLE SPACES, HABITABLE SPACES, AND CORRIDORS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7'-6". BATHROOMS, TOILET ROOMS, KITCHENS, STORAGE ROOMS, AND LAUNDRY ROOMS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7'-0".  
EXCEPTION 4: CORRIDORS CONTAINED WITHIN A DWELLING UNIT OR SLEEPING UNIT IN A GROUP R OCCUPANCY SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7'-0".

# CODE COMPLIANCE

TOPIC	SECTION	ALLOWED/REQUIRED	ACTUAL
APPLICABLE CODES			
2015 INTERNATIONAL FIRE CODE			
2015 MICHIGAN BUILDING CODE			
2015 MICHIGAN MECHANICAL CODE			
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ZONING			
	CITY OF MARSHALL		B-3 NEIGHBORHOOD COMMERCIAL
1 - SCOPE AND ADMIN			
DEFERRED SUBMITTALS	107.3.4.1		THERE ARE NO DEFERRED SUBMITTALS FOR THIS PROJECT
DESIGN PROFESSIONAL IN CHARGE	107.3.4		CODY NEWMAN IS TO BE THE DESIGN PROFESSIONAL IN CHARGE
SPECIAL INSPECTIONS	110		THERE ARE NO SPECIAL INSPECTIONS FOR THIS PROJECT
3 - USE			
BUILDING USE	304.1 + 310.4	BEFORE - B (BUSINESS) + A-2 (ASSEMBLY)	AFTER - B (BUSINESS) + R-2 (RESIDENTIAL)
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BUSINESS			AREA
RESIDENTIAL			AREA
3 - GROSS BUILDING AREA			
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6 - TYPE OF CONSTRUCTION			
TYPE OF CONSTRUCTION	TABLE 601		III-B
7 - FIRE AND SMOKE PROTECTION			
			SMOKE AND CARBON MONOXIDE DETECTORS REQUIRED
9 - FIRE PROTECTION SYSTEMS			
AUTOMATIC SPRINKLER SYSTEM	903.2.1.3	REQUIRED	PROVIDED
FIRE ALARM AND DETECTION SYSTEMS	907	REQUIRED	PROVIDED
10 - MEANS OF EGRESS			
DOOR EGRESS WIDTH	1005.3.2	72"	180"
EXIT ACCESS TRAVEL DISTANCE	TABLE 1017.2	250 FEET	
NUMBER OF EXITS	TABLE 1006.3.1	2 EXITS	3 EXITS
STAIR EGRESS WIDTH	1005.3.1	44"	
10 - OCCUPANCY			
OCCUPANCY	TABLE 1004.1.2	#	PEOPLE
OCCUPANCY	TABLE 1004.1.2	#	PEOPLE
OCCUPANCY	TABLE 1004.1.2		
TOTAL OCCUPANT LOAD			PEOPLE
15 - ROOF ASSEMBLY			
	1501.1		NEW STANDING SEAM METAL ROOF
27 - ELECTRICAL			
EMERGENCY LIGHTING	1008.1	WILL COMPLY	ON COMPLIANCE DRAWINGS
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DRINKING FOUNTAIN REQUIREMENTS	TABLE 403.1	1 REQUIRED PER COMMERCIAL UNIT	1 PROVIDED PER COMMERCIAL UNIT
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**NOT FOR CONSTRUCTION**

PROJECT NAME  
MARSHALL MASONIC TEMPLE  
PROJECT ADDRESS  
115 E. GREEN ST., MARSHALL, MI  
CLIENT  
DAN SABER

ISSUE  
SCHEMATIC DESIGN

REVISION

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PROJECT NUMBER  
2023.120

CODE COMPLIANCE - NEW

**T005**

**COMPLIANCE LEGEND**

SYMBOL	ITEM
	FIRE EXTINGUISHER
	EXIT SIGN W/ EGRESS LIGHTS
	EGRESS LIGHTING
	TRAVEL DISTANCE
	1 HOUR WALL
	2 HOUR WALL
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR

**CODE COMPLIANCE**

TOPIC	SECTION	ALLOWED/REQUIRED	ACTUAL
<b>APPLICABLE CODES</b>			
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MARSHALL MASONIC TEMPLE  
**PROJECT ADDRESS**  
115 E. GREEN ST., MARSHALL, MI  
**CLIENT**  
DAN SABER

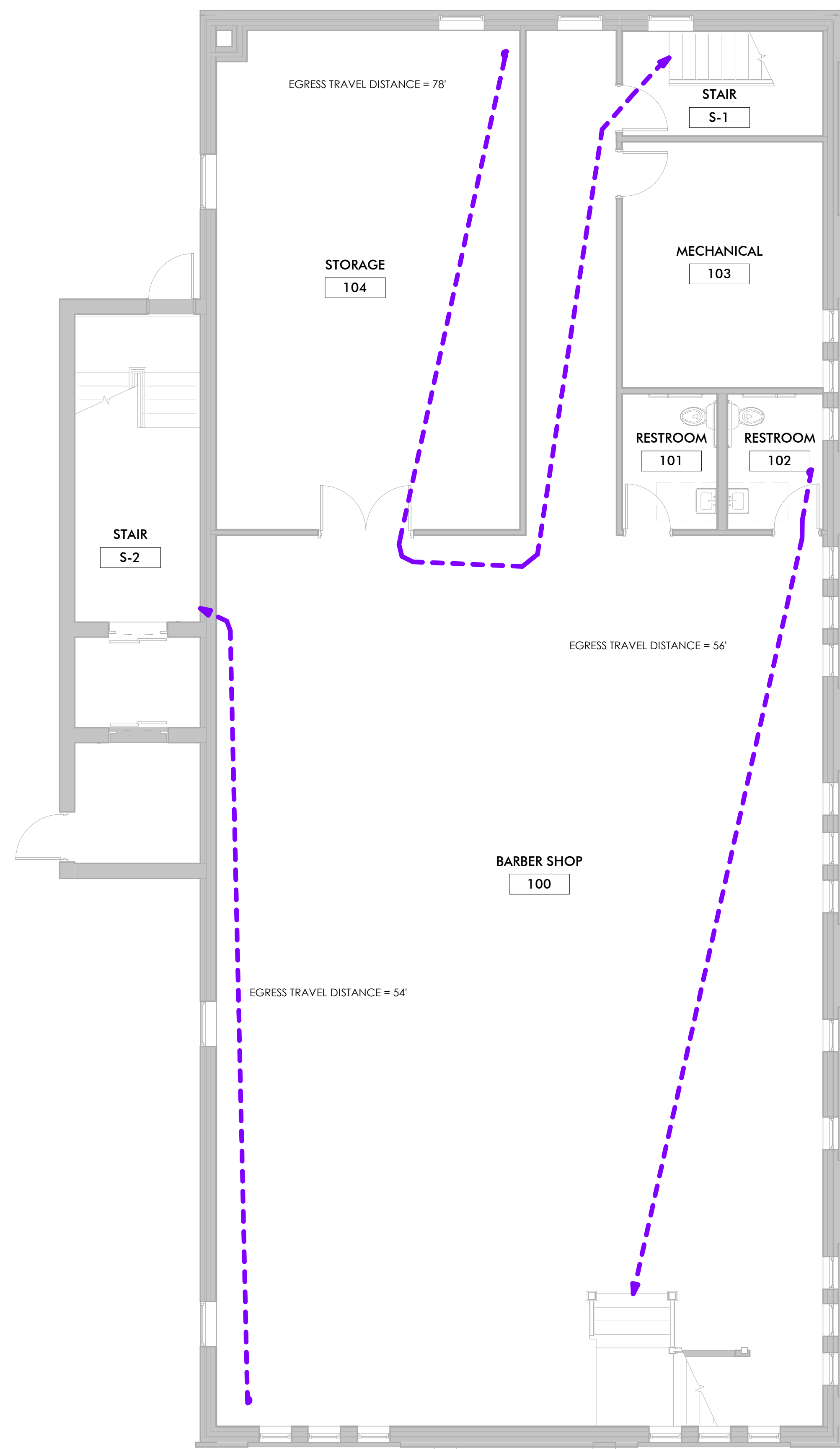
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SCHEMATIC DESIGN

**REVISION**

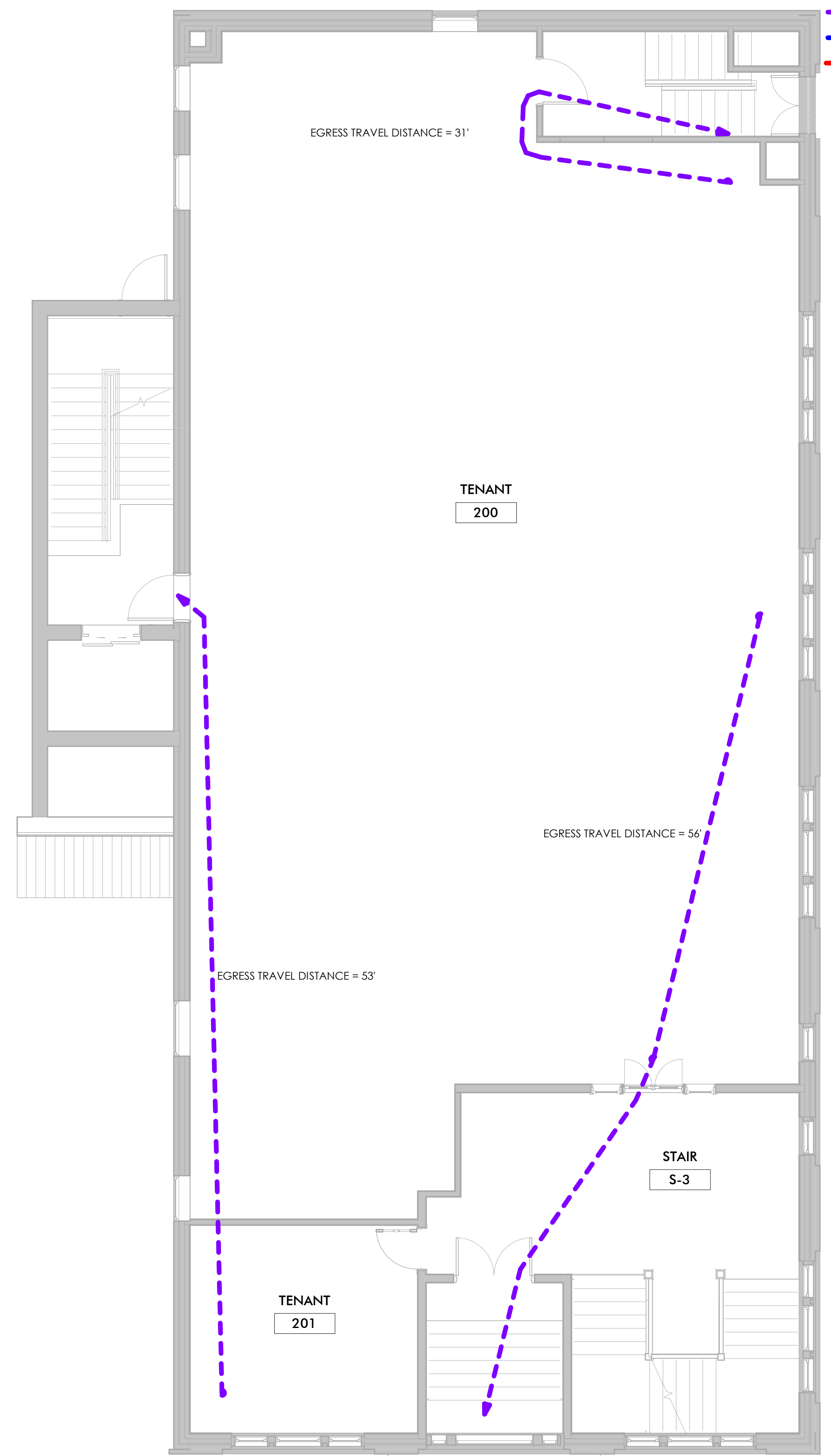
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**PROJECT NUMBER**  
2023.120

**CODE COMPLIANCE**  
**T006**



**1 FIRST FLOOR COMPLIANCE PLAN**  
 1006 3/16" = 1'-0"



**2 SECOND FLOOR COMPLIANCE PLAN**  
 1006 3/16" = 1'-0"

**CODE COMPLIANCE GENERAL NOTES**

- ENSURE EXIT SIGNS ARE MOUNTED ABOVE THE DOORS AND VISIBLE FROM 75 FEET AWAY. ALL EGRESS LIGHTING IS TO POINT DOWN TO ILLUMINATE THE EGRESS PATH OF TRAVEL.
- ALL FIRE EXTINGUISHERS ARE TO BE ABC EXTINGUISHERS, UNLESS NOTED OTHERWISE. ALL EXTINGUISHERS ARE TO BE TAGGED WITH THE CURRENT YEAR'S INSPECTION ON IT. ANNUAL INSPECTIONS ARE TO OCCUR FOR ALL FIRE EXTINGUISHERS.
- PROVIDE ADA RESTROOM SIGNS AT ALL RESTROOMS, CORRESPONDING TO THE CORRECT SEX.
- SEE T002 FOR MOUNTING HEIGHTS AND LOCATIONS
- SEE T003 FOR ADDITIONAL CODE COMPLIANCE INFORMATION
- FURNITURE AND EQUIPMENT SHOWN ON COMPLIANCE DRAWINGS ARE FOR REFERENCE ONLY

**CODE COMPLIANCE**

TOPIC	SECTION	ALLOWED/REQUIRED	ACTUAL
<b>APPLICABLE CODES</b>			
2015 INTERNATIONAL FIRE CODE			
2015 MICHIGAN BUILDING CODE			
2015 MICHIGAN MECHANICAL CODE			
2015 MICHIGAN REHABILITATION CODE	505	LEVEL 3 ALTERATION	INTERIOR RENOVATION OVER 50%
2017 NATIONAL ELECTRICAL CODE			
2018 MICHIGAN PLUMBING CODE			
ANSI/ASHRAE 90.1-2013			
ICC/ANSI 117.1-2009			
NFPA 13 (2013) + NFPA 72 (2013)			
<b>ZONING</b>			
	CITY OF MARSHALL		B-3 NEIGHBORHOOD COMMERCIAL
<b>1 - SCOPE AND ADMIN</b>			
DEFERRED SUBMITTALS	107.3.4.1		THERE ARE NO DEFERRED SUBMITTALS FOR THIS PROJECT
DESIGN PROFESSIONAL IN CHARGE	107.3.4		CODY NEWMAN IS TO BE THE DESIGN PROFESSIONAL IN CHARGE
SPECIAL INSPECTIONS	110		THERE ARE NO SPECIAL INSPECTIONS FOR THIS PROJECT
<b>3 - USE</b>			
BUILDING USE	304.1 + 310.4	BEFORE - B (BUSINESS) + A-2 (ASSEMBLY)	AFTER - B (BUSINESS) + R-2 (RESIDENTIAL)
3 - AREA BY USE			AREA
BUSINESS RESIDENTIAL			AREA
<b>3 - GROSS BUILDING AREA</b>			
1 - FIRST FLOOR			3,978 SF
2 - SECOND FLOOR			3,697 SF
3 - THIRD FLOOR			
4 - FOURTH FLOOR			
TOTAL			
<b>5 - GENERAL BUILDING HEIGHTS AND AREAS</b>			
ALLOWABLE BUILDING HEIGHT	TABLE 504.3	75 FEET	60 FEET
REQUIRED SEPARATION OF OCCUPANCIES	TABLE 508.4	1 HOUR	1 HOUR
TABULAR AREA	TABLE 506.2	48,000 SF	
<b>6 - TYPE OF CONSTRUCTION</b>			
TYPE OF CONSTRUCTION	TABLE 601		III-B
<b>7 - FIRE AND SMOKE PROTECTION</b>			
			SMOKE AND CARBON MONOXIDE DETECTORS REQUIRED
<b>9 - FIRE PROTECTION SYSTEMS</b>			
AUTOMATIC SPRINKLER SYSTEM	903.2.1.3	REQUIRED	PROVIDED
FIRE ALARM AND DETECTION SYSTEMS	907	REQUIRED	PROVIDED
<b>10 - MEANS OF EGRESS</b>			
DOOR EGRESS WIDTH	1005.3.2	72"	180"
EXIT ACCESS TRAVEL DISTANCE	TABLE 1017.2	250 FEET	
NUMBER OF EXITS	TABLE 1006.3.1	2 EXITS	3 EXITS
STAIR EGRESS WIDTH	1005.3.1	44"	
<b>10 - OCCUPANCY</b>			
OCCUPANCY	TABLE 1004.1.2	#	PEOPLE
OCCUPANCY	TABLE 1004.1.2	#	PEOPLE
OCCUPANCY	TABLE 1004.1.2		
TOTAL OCCUPANT LOAD			PEOPLE
<b>15 - ROOF ASSEMBLY</b>			
	1501.1		NEW STANDING SEAM METAL ROOF
<b>27 - ELECTRICAL</b>			
EMERGENCY LIGHTING	1008.1	WILL COMPLY	ON COMPLIANCE DRAWINGS
EMERGENCY POWER	1008.3.2, 1008.3.3	WILL COMPLY	ON COMPLIANCE DRAWINGS
EXIT SIGNS	1011.1	WILL COMPLY	ON COMPLIANCE DRAWINGS
<b>28 - PLUMBING</b>			
DRINKING FOUNTAIN REQUIREMENTS	TABLE 403.1	1 REQUIRED PER COMMERCIAL UNIT	1 PROVIDED PER COMMERCIAL UNIT
LAVATORY REQUIREMENTS	TABLE 403.1	1 MALE / 1 FEMALE PER COMMERCIAL UNIT	1 MALE / 1 FEMALE PER COMMERCIAL UNIT
SERVICE SINK REQUIREMENTS	TABLE 403.1	1 REQUIRED PER COMMERCIAL UNIT	1 PROVIDED PER COMMERCIAL UNIT
WATER CLOSETS REQUIREMENTS	TABLE 403.1	1 MALE / 1 FEMALE PER COMMERCIAL UNIT	1 MALE / 1 FEMALE PER COMMERCIAL UNIT

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**NOT FOR CONSTRUCTION**

PROJECT NAME  
MARSHALL MASONIC TEMPLE  
 PROJECT ADDRESS  
115 E. GREEN ST., MARSHALL, MI  
 CLIENT  
DAN SABER

ISSUE  
SCHEMATIC DESIGN

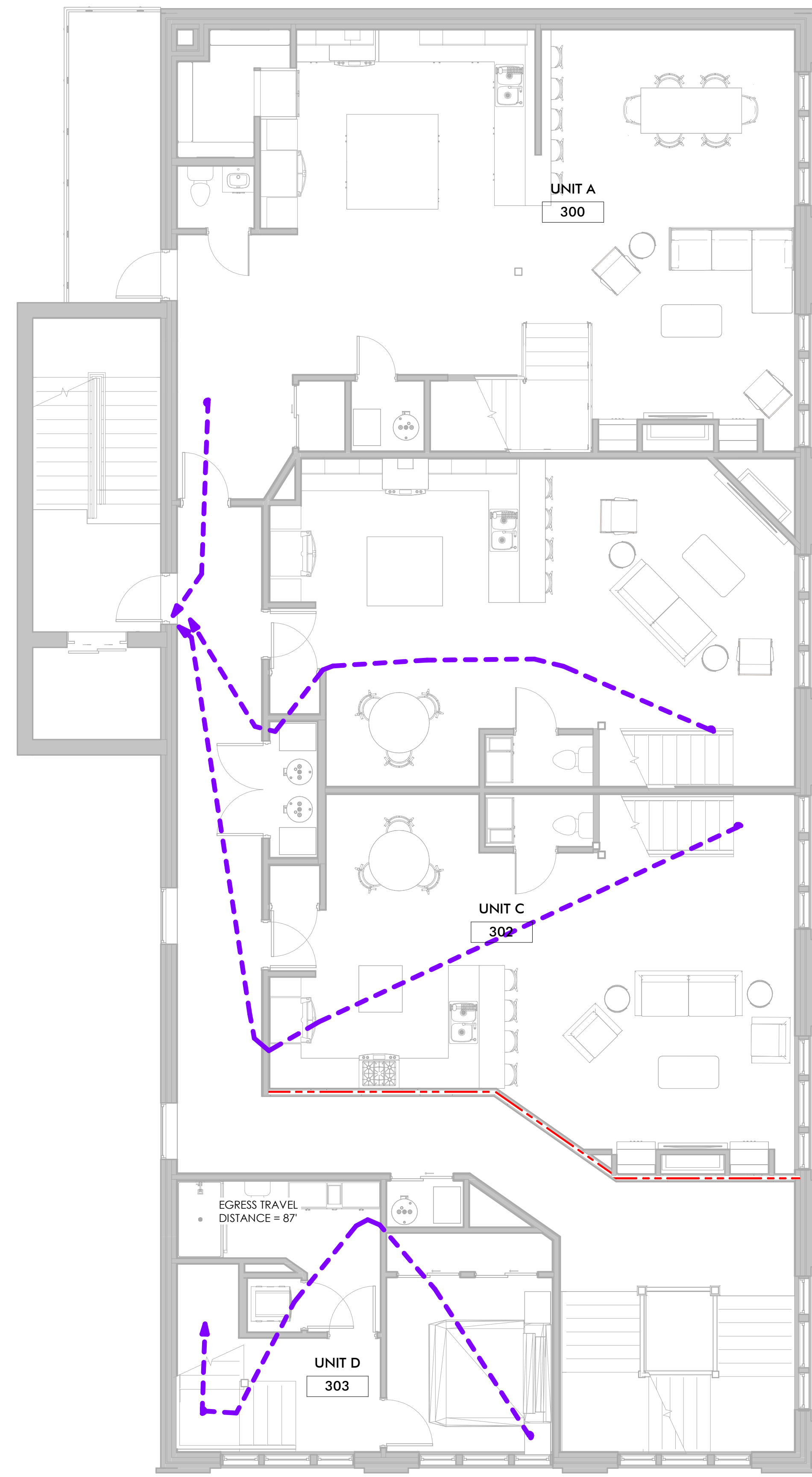
REVISION

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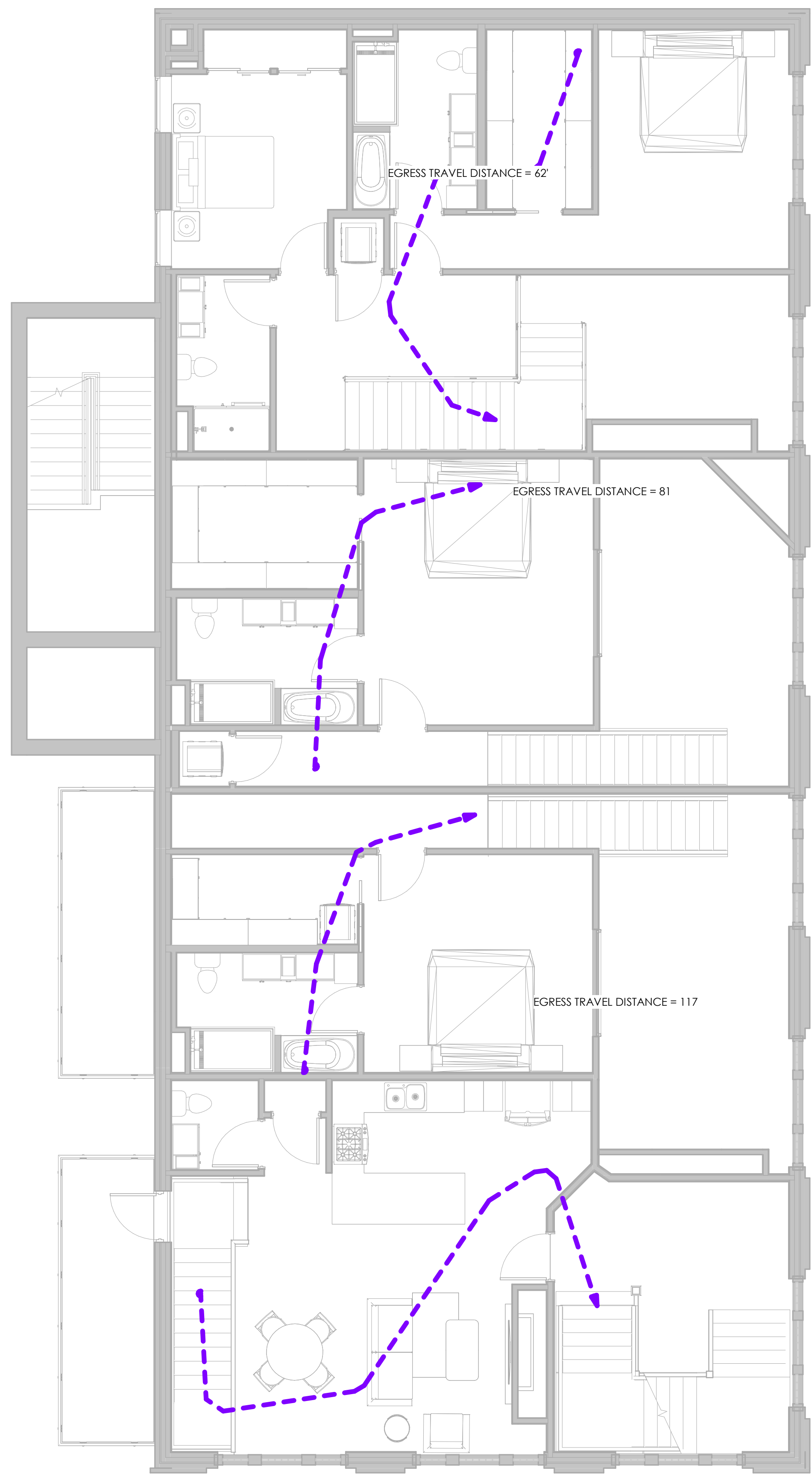
PROJECT NUMBER  
2023.120

CODE COMPLIANCE

**T007**



**2 THIRD FLOOR COMPLIANCE PLAN**  
 T007 3/16" = 1'-0"

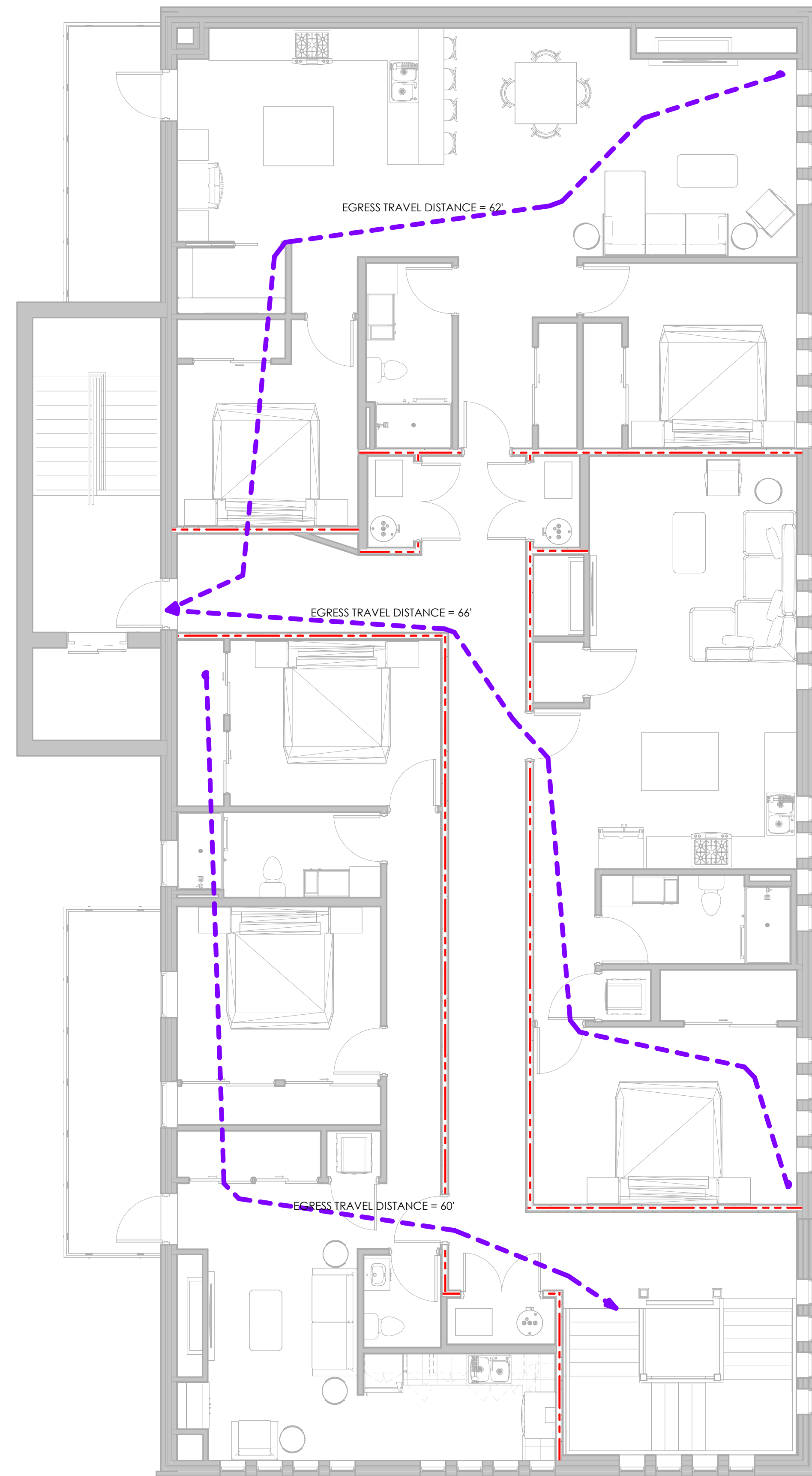


**4 FOURTH FLOOR COMPLIANCE PLAN**  
 T007 3/16" = 1'-0"

**COMPLIANCE LEGEND CODE COMPLIANCE GENERAL NOTES**

- FE FIRE EXTINGUISHER
- EXIT SIGN W/ EGRESS LIGHTS
- EGRESS LIGHTING
- TRAVEL DISTANCE
- 1 HOUR WALL
- 2 HOUR WALL
- SD SMOKE DETECTOR
- CO CARBON MONOXIDE DETECTOR

1. ENSURE EXIT SIGNS ARE MOUNTED ABOVE THE DOORS AND VISIBLE FROM 75 FEET AWAY. ALL EGRESS LIGHTING IS TO POINT DOWN TO ILLUMINATE THE EGRESS PATH OF TRAVEL.
2. ALL FIRE EXTINGUISHERS ARE TO BE ABC EXTINGUISHERS, UNLESS NOTED OTHERWISE. ALL EXTINGUISHERS ARE TO BE TAGGED WITH THE CURRENT YEAR'S INSPECTION ON IT. ANNUAL INSPECTIONS ARE TO OCCUR FOR ALL FIRE EXTINGUISHERS.
3. PROVIDE ADA RESTROOM SIGNS AT ALL RESTROOMS, CORRESPONDING TO THE CORRECT SEX.
4. SEE T002 FOR MOUNTING HEIGHTS AND LOCATIONS
5. SEE T003 FOR ADDITIONAL CODE COMPLIANCE INFORMATION
6. FURNITURE AND EQUIPMENT SHOWN ON COMPLIANCE DRAWINGS ARE FOR REFERENCE ONLY



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PROJECT NAME  
 MARSHALL MASONIC TEMPLE  
 PROJECT ADDRESS  
 115 E. GREEN ST., MARSHALL, MI  
 CLIENT  
 DAN SABER

ISSUE  
 SCHEMATIC DESIGN

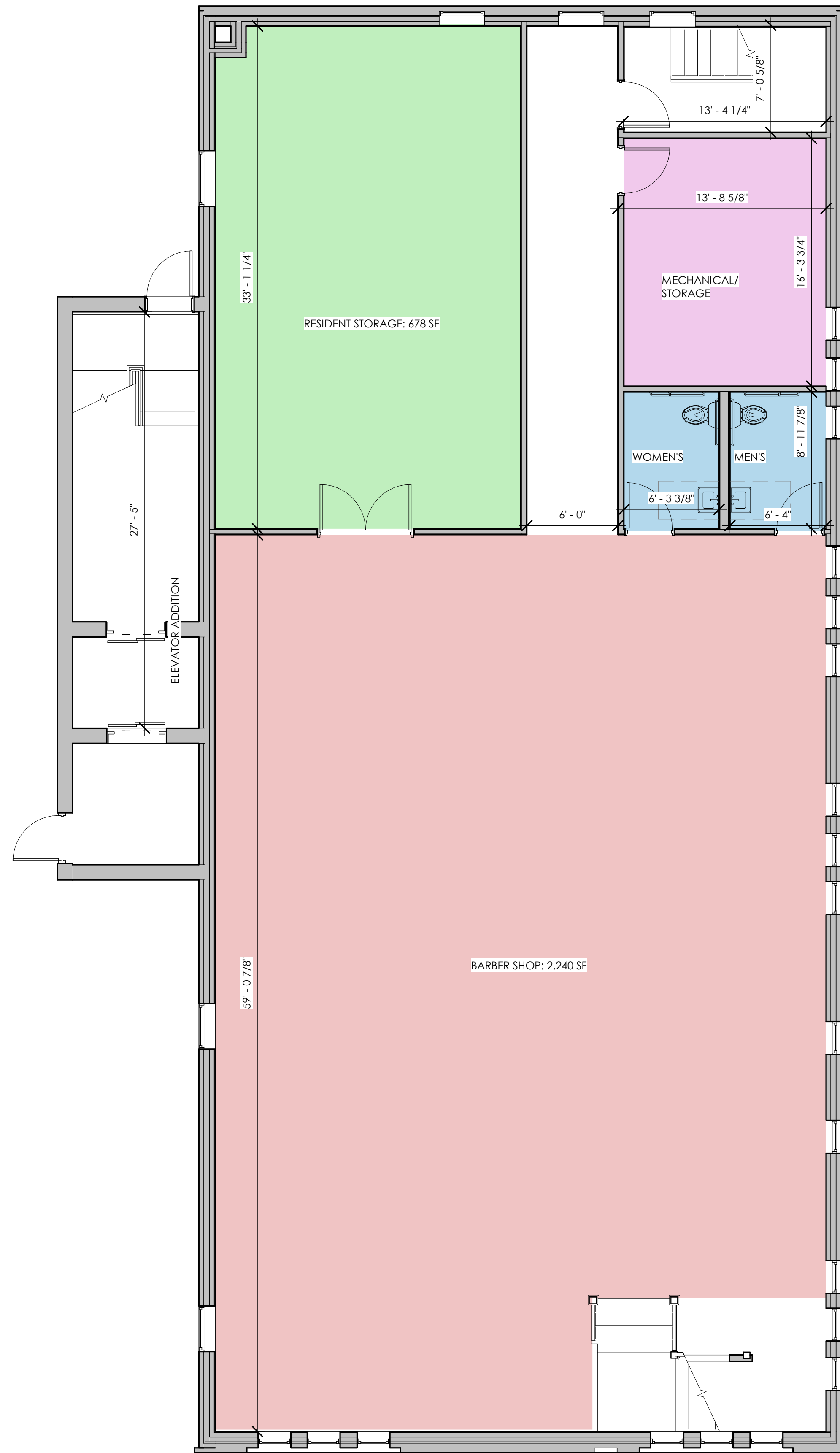
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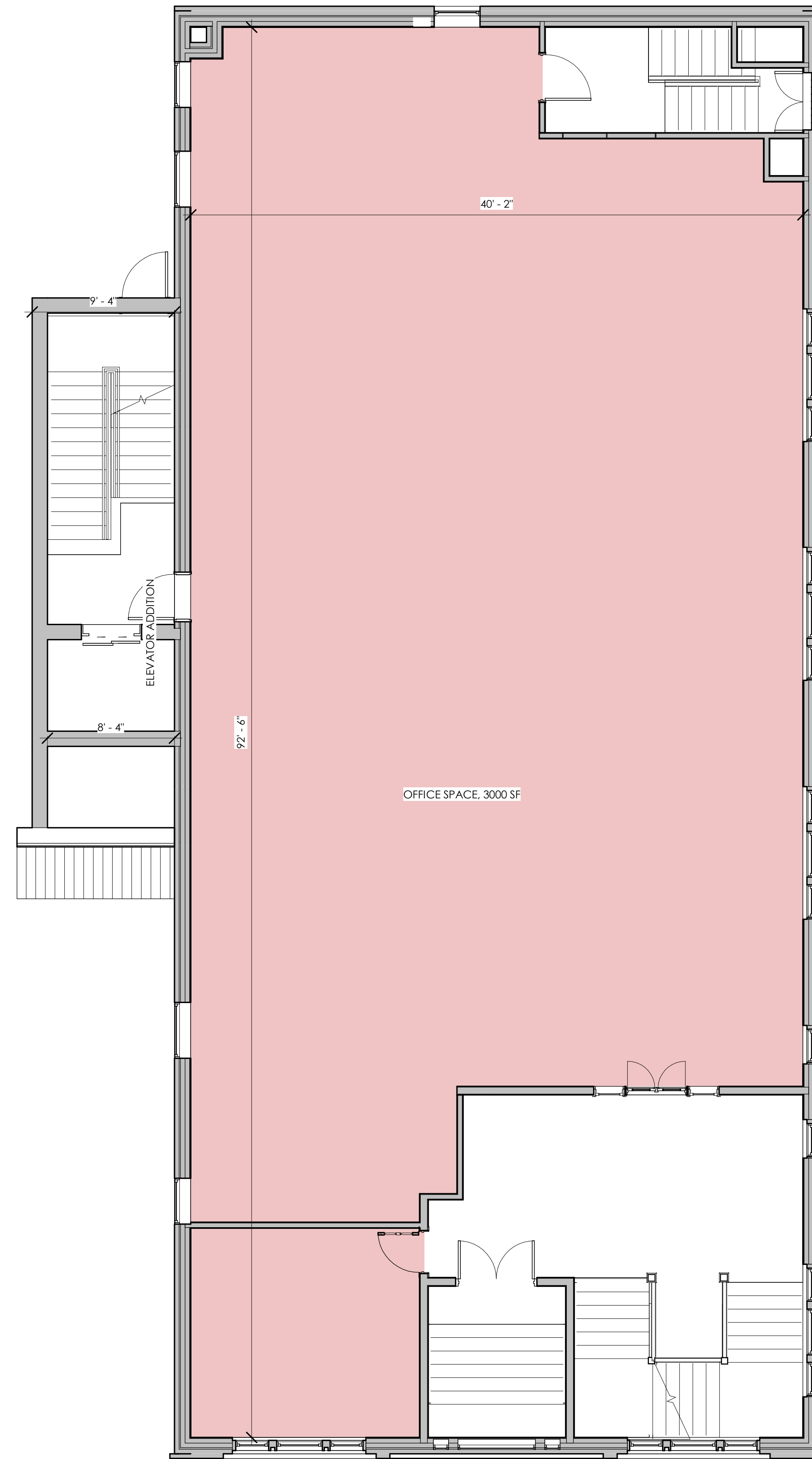
PROJECT NUMBER  
 2023.120

CODE COMPLIANCE  
**T008**

**1 FIFTH FLOOR COMPLIANCE PLAN**  
 T008 3/16" = 1'-0"



**1** 00 - FIRST FLOOR AREA PLAN  
 T009 3/16" = 1'-0"



**2** SECOND FLOOR AREA PLAN  
 T009 3/16" = 1'-0"

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PROJECT NAME  
 MARSHALL MASONIC TEMPLE  
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 115 E. GREEN ST., MARSHALL, MI  
 CLIENT  
 DAN SABER

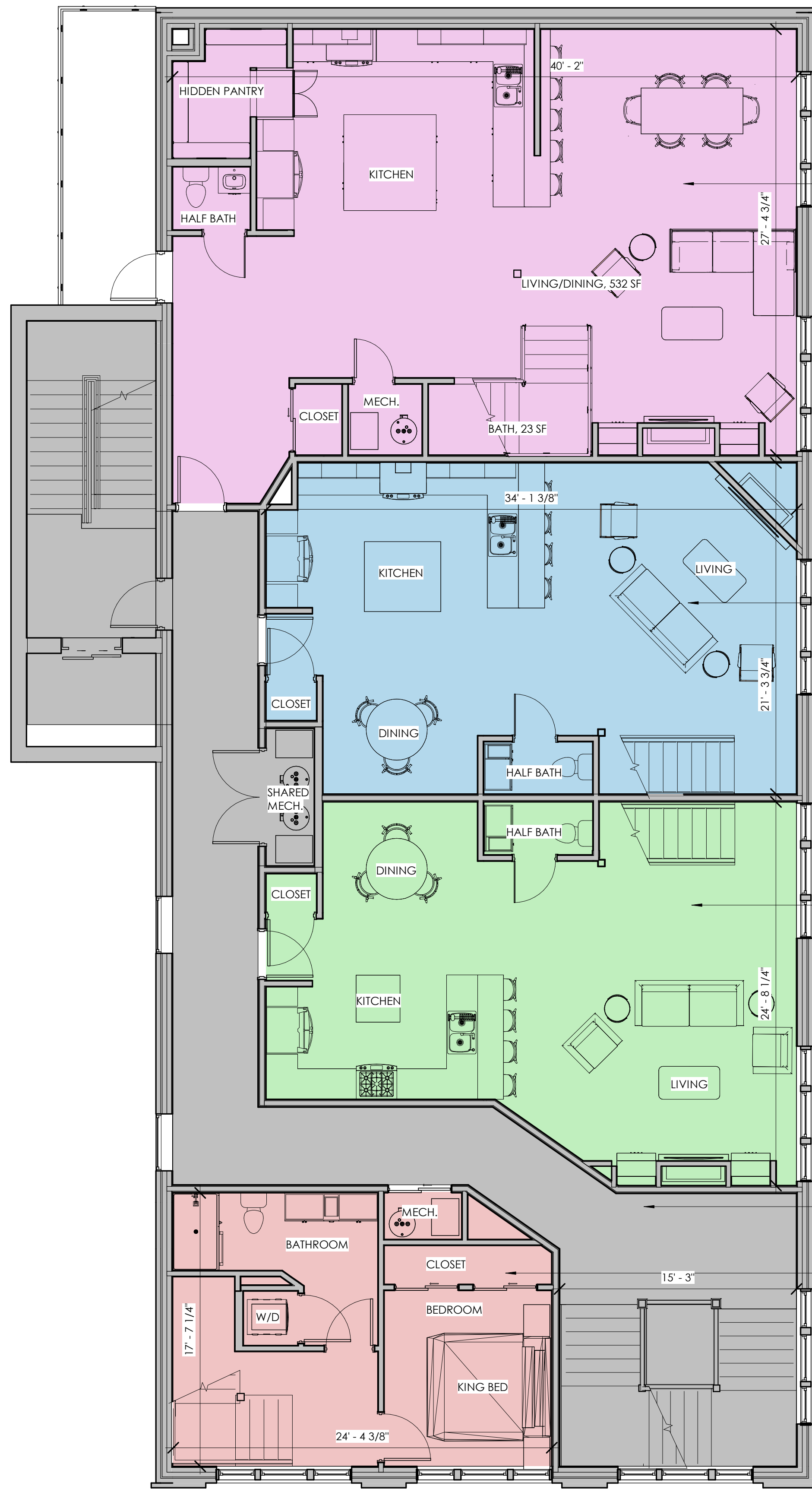
ISSUE  
 SCHEMATIC DESIGN

REVISION

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PROJECT NUMBER  
 2023.120  
 AREA PLANS - COMMERCIAL

**T009**



UNIT 204: 1,125 SF LEVEL ONE

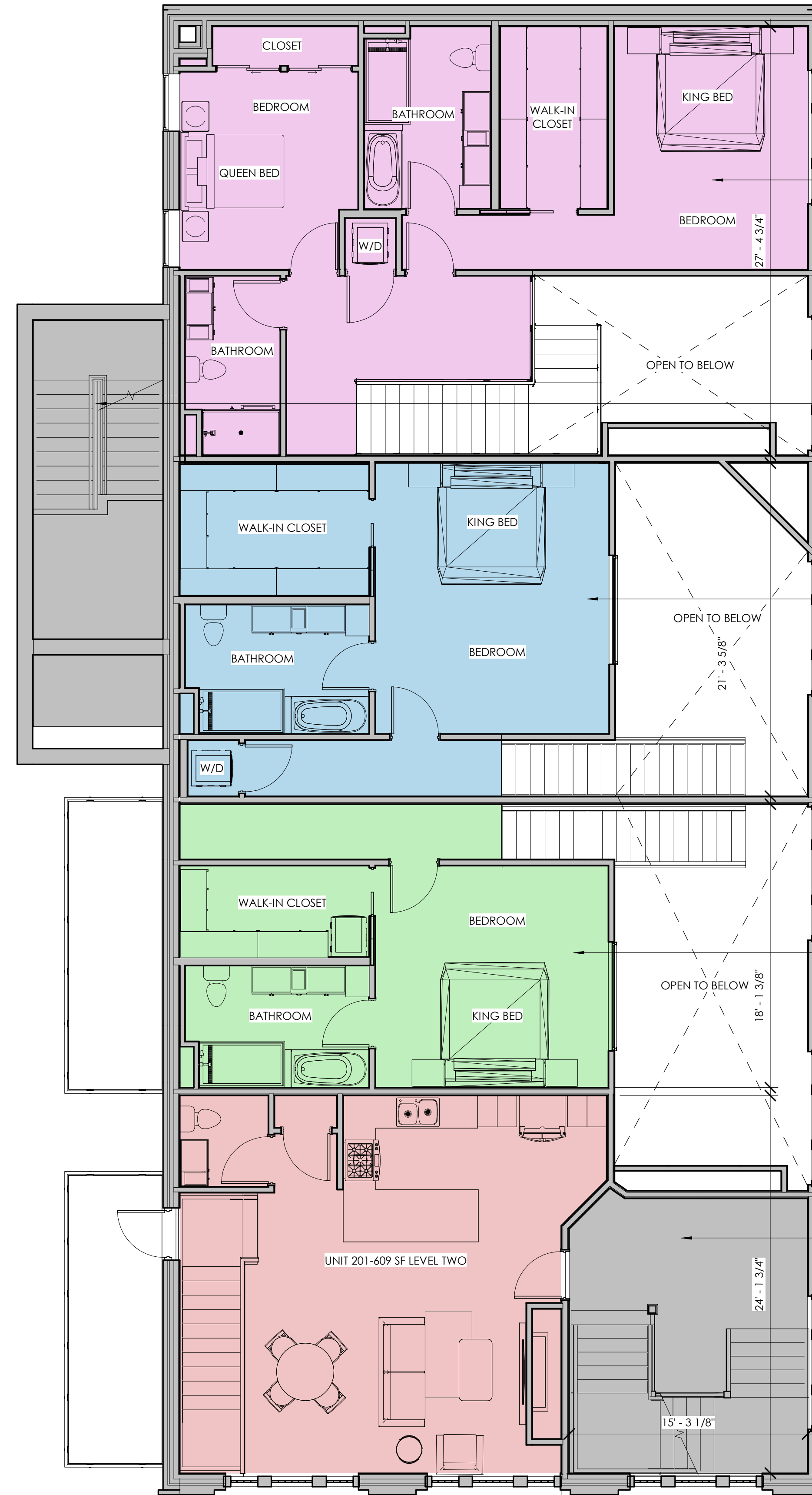
UNIT 203: 708 SF LEVEL ONE

UNIT 202: 755 SF LEVEL ONE

COMMON: 876 SF LEVEL ONE

UNIT 201: 421 SF LEVEL ONE

**1** THIRD FLOOR AREA PLAN (UNITS)  
 1010 3/16" = 1'-0"



UNIT 204: 838 SF LEVEL TWO

COMMON: 216 SF LEVEL TWO

UNIT 203: 584 SF LEVEL TWO

UNIT 202: 479 SF LEVEL TWO

COMMON: 267 SF LEVEL TWO

**2** 03 - FOURTH FLOOR AREA PLAN (UNITS)  
 1010 3/16" = 1'-0"

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**NOT FOR CONSTRUCTION**

PROJECT NAME  
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 115 E. GREEN ST., MARSHALL, MI  
 CLIENT  
 DAN SABER

ISSUE  
 SCHEMATIC DESIGN

REVISION

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PROJECT NUMBER  
 2023.120

AREA PLANS - RESIDENTIAL

**T010**



UNIT 402: 1,149 SF

UNIT 403: 804 SF

COMMON: 930 SF LEVEL ONE

UNIT 401: 960 SF

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115 E. GREEN ST., MARSHALL, MI  
 CLIENT  
DAN SABER

ISSUE  
SCHEMATIC DESIGN

REVISION

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PROJECT NUMBER  
2023.120  
 AREA PLANS - RESIDENTIAL

**T011**

1 04 - FIFTH FLOOR AREA PLAN (UNITS)  
 T011 3/16" = 1'-0"



City of Marshall
ZONING BOARD OF APPEALS VARIANCE APPLICATION

Telephone (269) 781-3985

Address: 323 W Michigan Ave, Marshall, Michigan 49068

Fax (269) 789-4628

RESIDENTIAL FEE: \$400

COMMERCIAL FEE: \$400

Handwritten note: \$200 Balance Due

Petitioner Name: Dan Saber
Address: 115 E. Green Street, Marshall, MI
Phone: (312) 420-2285 Email: dsaber@acing.net

Property Address for Variance: 115 E. Green Street

Are you the owner? Yes [checked] No [ ] (Owner is required to sign this form)

Current Zone B-3 Neighbor Current Use Vacant

Zoning of abutting parcels B-3 Dimensional Variance [ ] Use Variance [checked]

Required attachments

- Plot Plan Attached (According to ordinance, you must include a plot plan of the site, drawn to scale, with a north arrow, all lot lines shown, street right-of-ways, any easements, any structures, setback dimensions, any parking areas, driveways, sidewalks, and any other site improvements)
Reasons for variance (A letter must be submitted with this application addressing how you feel you meet the criteria for a Dimension or Use variance-see back)

\*The ZBA meets on the 3rd Thursday of each month. Application must be received on or before the deadline date for the next scheduled meeting.

I understand that I am expected to attend the ZBA public hearing pertaining to this matter. If I am unable to attend, I will send a representative in my place. I understand that the application fee is non-refundable and does not apply to any future permits. Furthermore, if the variance is granted, I agree to obtain the appropriate permits before commencing work.

Signature of Petitioner:

Date:

Signature of Owner:

Handwritten signature of Dan Saber

Date: 1/19/26

Questions concerning these requirements should be directed to the Planning and Zoning Office

Zoning Administrator- 269-781-3985

## **DIMENSIONAL VARIANCE**

*Please attach a letter addressing how your situation meets these criteria:*

*The granting of a variance from particular area, setback, frontage, height, bulk, density or other dimensional (non-use) standards of this Ordinance shall require a finding of practical difficulties based upon the following criteria:*

1. Strict Compliance with the specified dimensional standard(s) will deprive the applicant of rights commonly enjoyed by other property owners in the same zoning district, create an unnecessary burden on the applicant, or unreasonably prevent the owner from using the property for a permitted purpose.
2. The variance will do substantial justice to the applicant, as well as to other property owners, and a lesser variance than requested will not give substantial relief to the applicant or be consistent with justice to other property owners.
3. The need for the variance is due to unique circumstances peculiar to the land or structures involved that are not applicable to other land or structures in the same district.
4. The problem and resulting need for the variance has not been self-created by the applicant or the applicant's predecessors.
5. The variance will not cause significant adverse impacts to adjacent properties, the neighborhood or the City and will not create a public nuisance or materially impair public health, safety, comfort, morals or welfare.
6. The alleged hardship and practical difficulties that will result from a failure to grant the variance include substantially more than mere inconvenience, or an inability to attain a higher financial return.

## **USE VARIANCE**

*Please attach a letter addressing how your situation meets these criteria:*

*The granting of a variance from the use provisions of this Ordinance shall require a finding of unnecessary hardship, based upon the following criteria:*

1. The current zoning ordinance prohibits the property owner from securing any reasonable economic return or making any reasonable use of the property. Under this standard, the ZBA must find that the property (land, structures and other improvements) is not suitable for uses permitted in the zoning district.
2. The landowner's plight is due to unique circumstances peculiar to the property and not to general neighborhood conditions. Circumstances common to the larger neighborhood may reflect the unreasonableness of the zoning itself, which should be addressed through a rezoning or other legislative action.
3. The use variance, if granted, would not alter the essential character of the neighborhood. This standard requires consideration of whether the intent and purpose of the Ordinance and zoning district will be preserved, and the essential character of the area will be maintained.
4. The hardship is not the result of the applicant's actions. Under this standard, the ZBA must determine that the hardship that led to the use variance request was not self-created by the applicant. Purchase of a property with a pre-existing hardship does not constitute a self-created hardship. Financial hardships that would prevent reasonable use of the property shall be considered, but shall not be the only determining factor in granting a use variance.

Questions concerning these requirements should be directed to Trisha Nelson, Planning & Zoning Administrator at: (269) 781-5183.

Date: December 24, 2025

**RE: Use Variance Application for 115 E. Green Street (Marshall Masonic Temple)**

Dear Members of the Zoning Board of Appeals,

Driven Design Studio is the Architect of Record for the proposed redevelopment of the historic building located at **115 E. Green Street**, known as the Marshall Masonic Temple. We are writing to formally support the application for a **Use Variance** to allow for residential units on the first floor of this property, which is currently located in the **B-3 Neighborhood** zoning district.

As outlined in the attached schematic design plans, our firm has developed a comprehensive adaptive reuse strategy that transforms this vacant structure into a vibrant multi-family residential community. The inclusion of first-floor housing units is critical to the project's success for the following reasons:

**1. Reasonable Economic Return & Site Suitability**

The current B-3 zoning and the building's vacant status present a significant challenge to securing a reasonable economic return. The building's unique internal layout and historic character are best suited for high-density residential use. By utilizing the first floor for residential units (specifically Units 1, 2, and 3), we are able to maximize the building's footprint and ensure the long-term financial viability of the preservation effort.

**2. Preservation of Neighborhood Character**

The proposed use variance will not alter the essential character of the neighborhood; rather, it will enhance it. By converting a vacant landmark into active housing, we are preserving the intent of the zoning district to serve the neighborhood while maintaining the historical integrity of the structure. Residential use is a low-impact solution that fits seamlessly with the surrounding context of Marshall.

**3. ADA Accessibility and Universal Design**

Integrating housing on the first floor is essential for providing accessible living options within the city. Our plans include a **new elevator addition** to service the

upper floors, but the first-floor units provide immediate, barrier-free access that is vital for residents with mobility limitations.

#### **4. Mitigation of Unnecessary Hardship**

The hardship necessitating this variance is not self-created but is inherent to the unique physical characteristics of the existing historic structure. Strict adherence to the current use provisions would leave a significant portion of the building underutilized, preventing the owner from making a reasonable use of the property.

In conclusion, the inclusion of first-floor residential units is a fundamental component of the **Marshall Masonic Temple** project. We believe this proposal meets the criteria for a use variance by ensuring the property is used to its highest and best potential while serving the needs of the Marshall community.

Sincerely,

A handwritten signature in black ink that reads "Cody Newman". The signature is written in a cursive style and is followed by a long horizontal line that extends to the right.

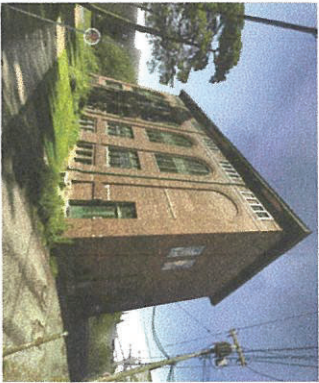
**Cody Newman, AIA**

Driven Design Studio PLLC  
117 West Michigan Avenue  
Battle Creek, MI 49017

# MARSHALL MASONIC TEMPLE 2.0

115 E. GREEN ST., MARSHALL, MI

RENDERING - FOR REFERENCE ONLY

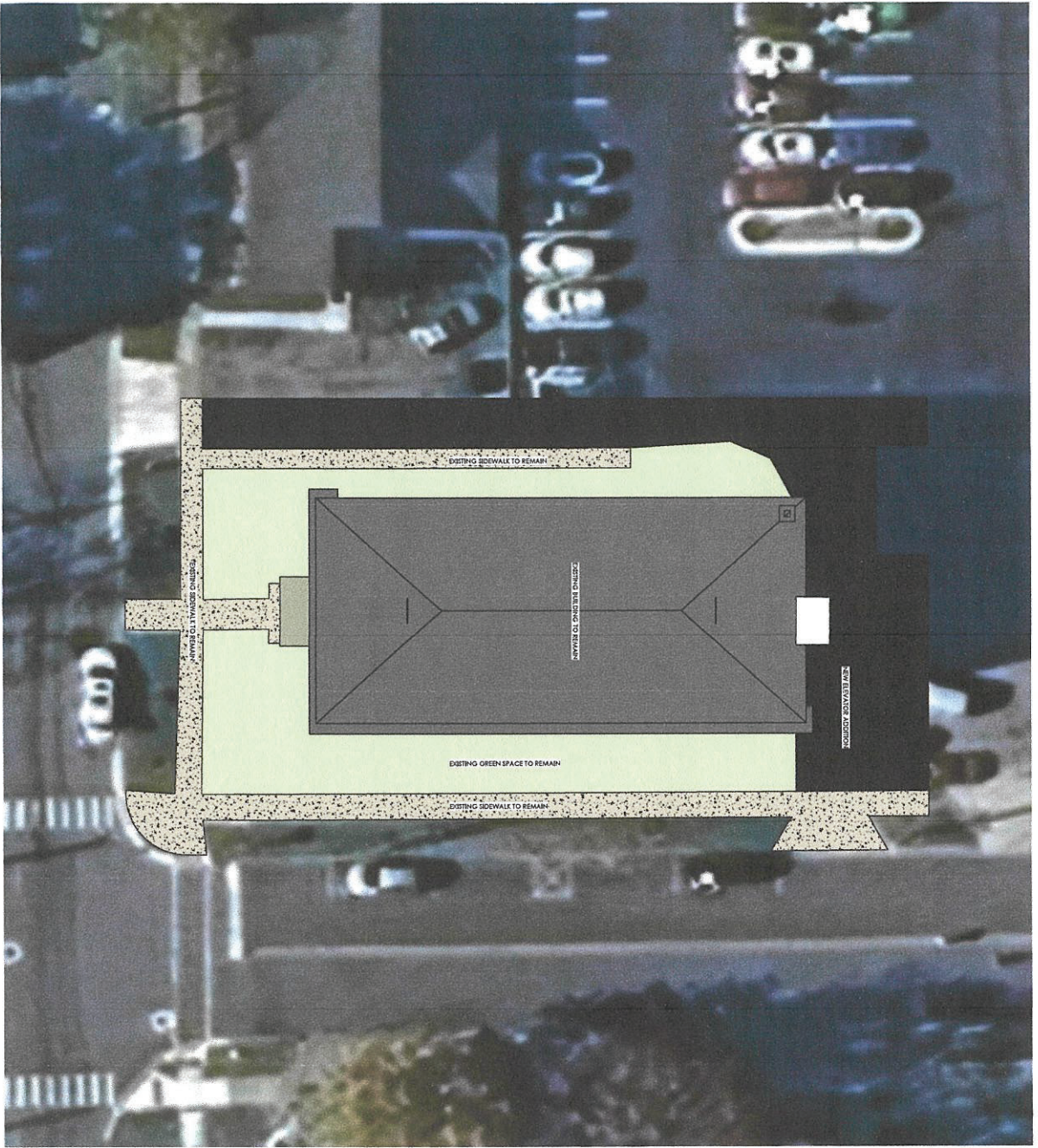


EXISTING PHOTOS - FOR REFERENCE ONLY

- ### PROJECT NOTES
1. CONSULT LOCAL COMMUNITY.
  2. DO NOT SCALE DRAWING. NOMINAL DIMENSIONS ARE SHOWN. REFER TO SPEC. NOTES, SPECIFICATIONS AND PARTS LIST FOR INFORMATION. CONTACT ARCHITECT FOR ADDITIONAL INFORMATION IF NEEDED.
  3. EXISTING MATERIALS AND METHODS TO BE MAINTAINED FROM THE EXISTING AND REPAIR OR REPLACEMENT AS NEEDED. THE CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS PRIOR TO COMMENCEMENT OF WORK. DRAWING MAY BE SUBJECT TO CHANGE WITHOUT NOTICE. THE CONTRACTOR SHALL VERIFY ALL ORIGINAL DIMENSIONS AND CONDITIONS. UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS AND MATERIALS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE SPECIFIED. ALWAYS VERIFY FIELD CONDITIONS BEFORE COMMENCING WORK. VERIFY ALL EXISTING FIELD CONDITIONS CAREFULLY.
  4. INFORMATION FOR DESIGN CONSTRUCTION MAY BE OBTAINED IN PART OF THE CONSTRUCTION DRAWINGS. FAILURE OF THE DESIGN CONTRACTOR OR HIS/HERS TO OBTAIN INFORMATION SHALL BE AT HIS/HERS RISK. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND MATERIALS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCY OR INCONSISTENCY AND IN WRITING OF ANY DISCREPANCY OR INCONSISTENCY. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCY OR INCONSISTENCY. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCY OR INCONSISTENCY.
  5. ALL UTILITY CHAINS SHALL BE MAINTAINED OR REPAIRED. ETC., SPACES, ETC., WHICH ARE TO BE MAINTAINED OR REPAIRED SHALL BE MAINTAINED OR REPAIRED. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCY OR INCONSISTENCY. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCY OR INCONSISTENCY.
  6. VERIFY ALL EXISTING FIELD CONDITIONS CAREFULLY. THE CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS CAREFULLY. THE CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS CAREFULLY.
  7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORKS REQUIRED TO EXECUTE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORKS REQUIRED TO EXECUTE WORK.
  8. IF THE PROJECT IS A SCHOOL, THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL UTILITIES NOT BEING MAINTAINED IN THE PROJECT AND IN THE PLAN OF THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCY OR INCONSISTENCY. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCY OR INCONSISTENCY.
  9. THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL BE RESPONSIBLE TO OBTAIN AND PAY FOR ALL LOCAL/STATE/OTHER PERMITS AND NOTIFICATIONS.
  10. ALL SAFETY RELATES RELATED TO CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND MAINTAINING ALL NECESSARY PERMITS AND NOTIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND MAINTAINING ALL NECESSARY PERMITS AND NOTIFICATIONS.
  11. ALL WORK TO BE GUARANTEED. A PERIOD OF ONE YEAR FROM THE DATE OF COMPLETION OF THE PROJECT.
  12. IF DISCREPANCIES OCCUR BETWEEN DRAWINGS AND FIELD CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCY OR INCONSISTENCY.
  13. SEE ISSUED AND NOT FOR ADDITIONAL PROJECT NOTES, ADDITIONAL NOTES, AND SYMBOLS.
  14. 20 NEW WALLS AND ROOF FOR ADDITIONAL PROJECT NOTES, ADDITIONAL NOTES, AND SYMBOLS.
  15. THE PROJECT SHALL CONFORM TO THE REQUIREMENTS OF THE DISTRICT CODES.
  16. APPLICABLE SUBMITTALS TO ACHIEVE THE QUALITY OF THE PROJECT SHALL BE APPROVED BY THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND MAINTAINING ALL NECESSARY PERMITS AND NOTIFICATIONS.
  17. FOR ANY CHANGE OF THE RESPONSIBILITY OF ANY CHANGES IN MATERIALS, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCY OR INCONSISTENCY. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCY OR INCONSISTENCY.
  18. APPROVE CONTRACT IS APPROVED THROUGH THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCY OR INCONSISTENCY. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCY OR INCONSISTENCY.
  19. PROVIDE PROVISIONS AS REQUIRED AT ALL CHANGES FOR MATERIALS, CONSTRUCTION, ETC. AT THE FIELD ASSUMES.
  20. REFER TO THE FIELD PLANS FOR DIMENSIONS OF ALL LINES AND DIMENSIONS OF MATERIALS.

### DRAWING LIST

NO.	DESCRIPTION	DATE
001	GENERAL	
002	FOUNDATION	
003	CONCRETE	
004	STEEL	
005	WOOD	
006	MECHANICAL	
007	ELECTRICAL	
008	PLUMBING	
009	PAINT	
010	FINISHES	
011	LANDSCAPE	
012	GENERAL NOTES	
013	CONCRETE	
014	STEEL	
015	WOOD	
016	MECHANICAL	
017	ELECTRICAL	
018	PLUMBING	
019	PAINT	
020	FINISHES	
021	LANDSCAPE	
022	GENERAL NOTES	
023	CONCRETE	
024	STEEL	
025	WOOD	
026	MECHANICAL	
027	ELECTRICAL	
028	PLUMBING	
029	PAINT	
030	FINISHES	
031	LANDSCAPE	
032	GENERAL NOTES	
033	CONCRETE	
034	STEEL	
035	WOOD	
036	MECHANICAL	
037	ELECTRICAL	
038	PLUMBING	
039	PAINT	
040	FINISHES	
041	LANDSCAPE	
042	GENERAL NOTES	
043	CONCRETE	
044	STEEL	
045	WOOD	
046	MECHANICAL	
047	ELECTRICAL	
048	PLUMBING	
049	PAINT	
050	FINISHES	
051	LANDSCAPE	
052	GENERAL NOTES	
053	CONCRETE	
054	STEEL	
055	WOOD	
056	MECHANICAL	
057	ELECTRICAL	
058	PLUMBING	
059	PAINT	
060	FINISHES	
061	LANDSCAPE	
062	GENERAL NOTES	
063	CONCRETE	
064	STEEL	
065	WOOD	
066	MECHANICAL	
067	ELECTRICAL	
068	PLUMBING	
069	PAINT	
070	FINISHES	
071	LANDSCAPE	
072	GENERAL NOTES	
073	CONCRETE	
074	STEEL	
075	WOOD	
076	MECHANICAL	
077	ELECTRICAL	
078	PLUMBING	
079	PAINT	
080	FINISHES	
081	LANDSCAPE	
082	GENERAL NOTES	
083	CONCRETE	
084	STEEL	
085	WOOD	
086	MECHANICAL	
087	ELECTRICAL	
088	PLUMBING	
089	PAINT	
090	FINISHES	
091	LANDSCAPE	
092	GENERAL NOTES	
093	CONCRETE	
094	STEEL	
095	WOOD	
096	MECHANICAL	
097	ELECTRICAL	
098	PLUMBING	
099	PAINT	
100	FINISHES	
101	LANDSCAPE	
102	GENERAL NOTES	
103	CONCRETE	
104	STEEL	
105	WOOD	
106	MECHANICAL	
107	ELECTRICAL	
108	PLUMBING	
109	PAINT	
110	FINISHES	
111	LANDSCAPE	
112	GENERAL NOTES	
113	CONCRETE	
114	STEEL	
115	WOOD	
116	MECHANICAL	
117	ELECTRICAL	
118	PLUMBING	
119	PAINT	
120	FINISHES	
121	LANDSCAPE	
122	GENERAL NOTES	
123	CONCRETE	
124	STEEL	
125	WOOD	
126	MECHANICAL	
127	ELECTRICAL	
128	PLUMBING	
129	PAINT	
130	FINISHES	
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359	PAINT	
360	FINISHES	
361	LANDSCAPE	
362	GENERAL NOTES	
363	CONCRETE	



**SITE PLAN**  
1" = 10'-0"

**GENERAL NOTES**

1. EXISTING BUILDING TO REMAIN ON THE EXISTING SITE
2. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR ANY NEW WORK
3. CONDUCT PRELIMINARY SURVEY TO LOCATE ALL EXISTING UTILITIES BEFORE BEGINNING ANY NEW WORK
4. MATCH EXISTING SURFACING MATERIALS TO EXISTING SURFACING MATERIALS ON THE SITE, UNLESS OTHERWISE SPECIFIED
5. EXISTING VEGETATION TO REMAIN ON THE SITE SHALL BE MAINTAINED
6. PROVIDE A COPY OF THIS PLAN TO THE BUILDING DEPARTMENT WITH LOCAL FIRE DEPARTMENT
7. WORK WITHIN THE STREET TO BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPLICABLE JURISDICTION
8. FINISH, TESTING, SIGNAGE & MAINTENANCE SHALL BE PROVIDED BY THE CONTRACTOR. CITY INSPECTION FEES SHALL BE PAID FOR BY THE OWNER.

**PROJECT ZONING**

EDF WITH TOWN VALUE

**PARKING REQUIREMENTS**

REVIEW LOCAL ORDINANCES AND PROVIDE CALCULATIONS

**LANDSCAPE REQUIREMENTS**

REVIEW LOCAL ORDINANCES AND PROVIDE CALCULATIONS

**LEGAL DESCRIPTION**

GOOGLE AND ADO

**DRIVEN DESIGN**

ARCHITECTURE/INTERIOR DESIGN  
Driven Design Studio, PLLC  
117 West Michigan Avenue  
Ann Arbor, MI 48107  
(734) 755-8800  
cody@drivendesignstudio.com

**OWNER**  
Owner Name  
Owner Address  
Owner Phone Number  
Owner Email

**CONSTRUCTION MANAGEMENT**  
GC Name  
GC Address  
GC Phone Number  
GC Email

**REGISTERED PROFESSIONALS**  
Engineer Name  
Engineer Address  
Engineer Phone Number  
Engineer Email

**REGISTERED PROFESSIONALS**  
Engineer Name  
Engineer Address  
Engineer Phone Number  
Engineer Email

**REGISTERED PROFESSIONALS**  
Engineer Name  
Engineer Address  
Engineer Phone Number  
Engineer Email

**REGISTERED PROFESSIONALS**  
Engineer Name  
Engineer Address  
Engineer Phone Number  
Engineer Email

**NOT FOR CONSTRUCTION**

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**PROJECT INFORMATION**  
Project Name  
Project Address  
Project Phone Number  
Project Email

**DATE**  
Date  
Time

**OWNER**  
Owner Name  
Owner Address  
Owner Phone Number  
Owner Email

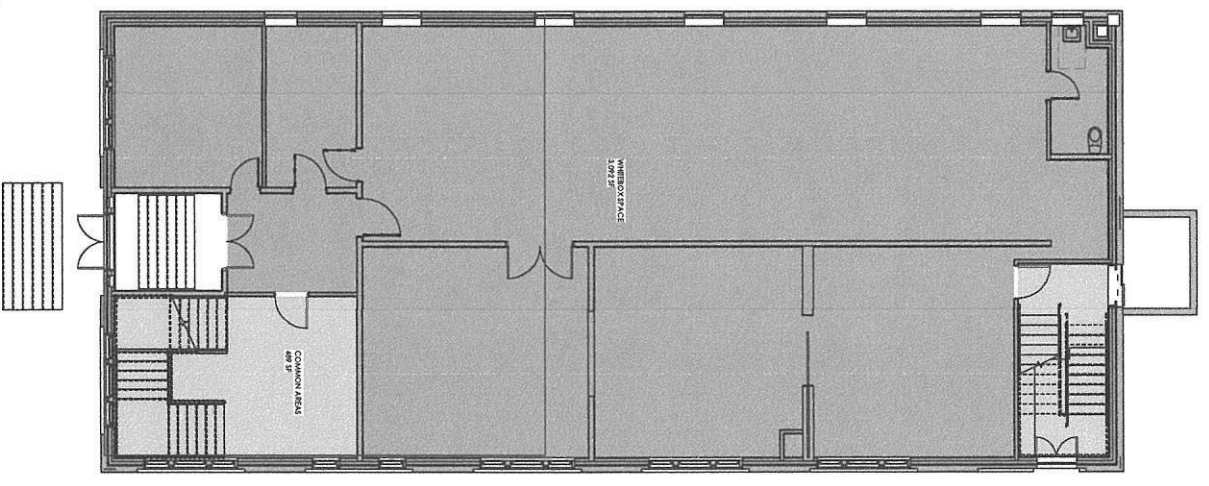
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Date  
Time

**PROJECT INFORMATION**  
Project Name  
Project Address  
Project Phone Number  
Project Email

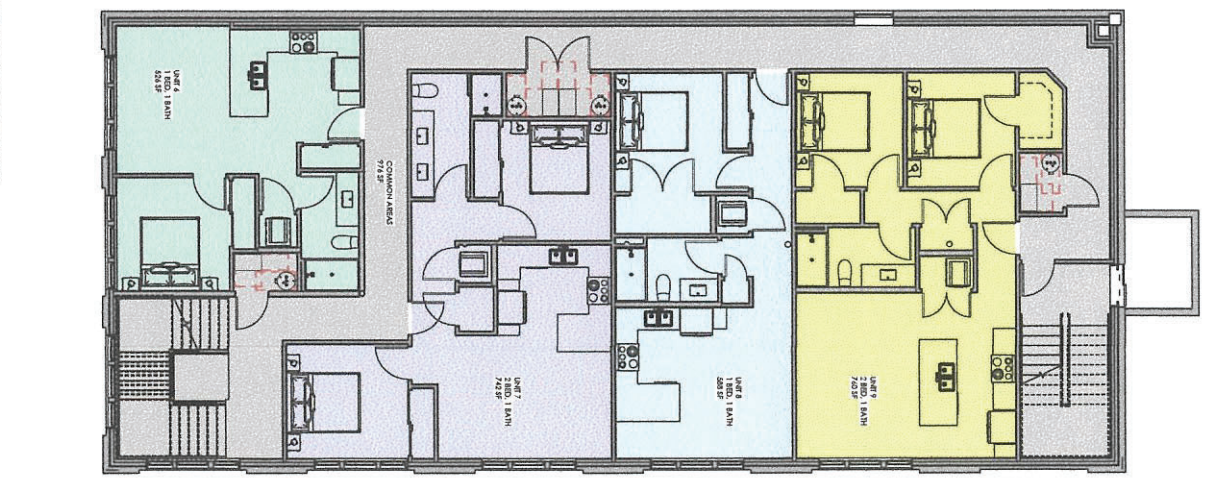
**DATE**  
Date  
Time



2000 5105 - 150  
**FIRST FLOOR AREA PLAN**



2000 5105 - 150  
**SECOND FLOOR AREA PLAN**



2000 5105 - 150  
**THIRD FLOOR AREA PLAN**

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**OWNER**  
 Owner Name  
 Owner Address  
 Owner Phone Number  
 Owner Email

**CONSTRUCTION MANAGER/GC**  
 GC Name  
 GC Address  
 GC City  
 GC Phone Number  
 GC Email

**REGISTERED ENGINEER**  
 Engineer Name  
 Engineer Address  
 Engineer City  
 Engineer Phone Number  
 Engineer Email

**REGISTERED ENGINEER**  
 Engineer Name  
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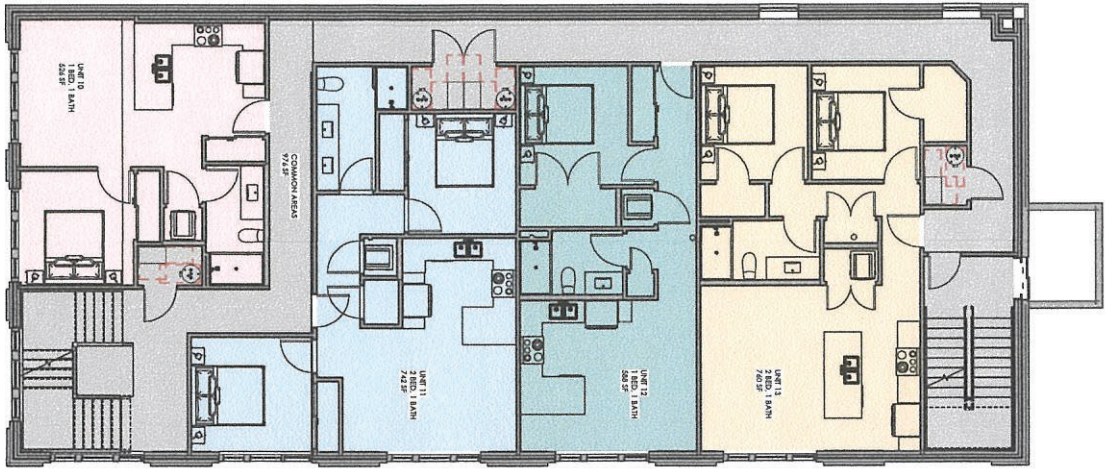
**REGISTERED ENGINEER**  
 Engineer Name  
 Engineer Address  
 Engineer City  
 Engineer Phone Number  
 Engineer Email

**NOT FOR CONSTRUCTION**

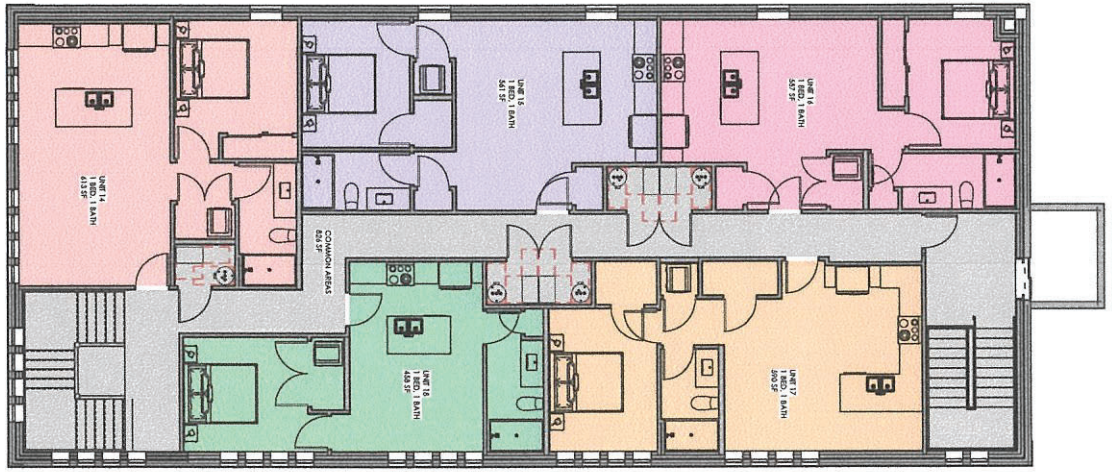
**PROJECT INFORMATION**  
 PROJECT NAME: MARSHALL MANOR TOWER 2D  
 PROJECT ADDRESS: 1115 WEST LAKE STREET, SUITE 100, CHICAGO, ILLINOIS 60601  
 ARCHITECT: DRIVEN DESIGN STUDIO, PLLC  
 DATE: 01/17/2023 09:53:27 AM  
 DRAWING NO.: 210 - 01 - 01  
 SCALE: 1/8" = 1'-0"

**OWNER CONTACT**  
 NAME: CDM  
 PHONE: 773.735.8040  
 EMAIL: cody@drivendesignstudio.com

**DATE PLOTTED:** 02/05/19  
**SCALE:** AS SHOWN  
**T005**



1 FOURTH FLOOR AREA PLAN  
3/16" = 1'-0"



2 FIFTH FLOOR AREA PLAN  
3/16" = 1'-0"

ARCHITECTURAL DESIGN  
Driven Design Studio PLLC  
117 West Michigan Avenue  
Ann Arbor, MI 48106  
(734) 758-8040  
codr@drivendesignstudio.com

OWNER  
Owner Name  
Owner Address  
Owner Phone Number  
Owner Email

CONSTRUCTION MANAGER/GC  
GC Name  
GC City  
GC Phone Number  
GC Email

ENGINEER  
Engineer Name  
Engineer Address  
Engineer City  
Engineer Phone Number  
Engineer Email

ENGINEER  
Engineer Name  
Engineer Address  
Engineer City  
Engineer Phone Number  
Engineer Email

ENGINEER  
Engineer Name  
Engineer Address  
Engineer City  
Engineer Phone Number  
Engineer Email

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NOT FOR  
CONSTRUCTION

PROJECT NUMBER  
2025.129

DATE PLOTTED  
2025.129

PROJECT NAME  
T006

DATE  
11/14/2025 2:32:34 PM

USER  
3/16" = 1'-0"

SCALE  
SCALE 1 - Other

PROJECT NUMBER  
2025.129

DATE PLOTTED  
2025.129

PROJECT NAME  
T006

DATE  
11/14/2025 2:32:34 PM

USER  
3/16" = 1'-0"

SCALE  
SCALE 1 - Other







115 E Green St

Marshall, Michigan

See more dates



# ITEM: 7.B

## ADMINISTRATIVE REPORT

---



**TO:** HONORABLE BOARD MEMBERS  
**FROM:** Marcia Strange, Director of Community Development  
**DATE:** March 19, 2026  
**SUBJECT:** DIMENSIONAL VARIANCE PVA2026-0002 - REDUCE FRONT YARD SETBACK

---

A dimensional variance is being requested to eliminate the front yard setback to allow a front porch and stairs.

We have received public comment against this project that has been included in the packet. The historic sandstone home at 507 West Hanover has been owned but vacant for around a decade. The existing stairs are in need of replacement and the Owner would like to incorporate new stairs and a landing into a larger front porch. Historically this building may have had a porch of some sort. Due to the location of the home in relation to the Right-of-Way (ROW), the front of the home is 15'-6" into the setback and ANY construction towards the road is in the required setback. The owner is seeking to renovate the home, and add a front porch and stairs built to within a foot of the ROW line. They are requesting a dimensional variance #PVA26-0002 to reduce the required R-3 setback from 25 feet to zero.

Sketches are provided for reference.

### REDUCE FRONT YARD SET BACK

Items to consider for a dimensional variance:

1. Strict compliance with the specified dimensional standard(s) will deprive the applicant of rights commonly enjoyed by other property owners in the same zoning district, create an unnecessary burden on the applicant, or unreasonably prevent the owner from using the property for a permitted purpose.

Staff Comment: The request to have a landing with stair would not require a variance. The inclusion of the front porch, although it encroaches on the setback, it does not create more of a pinchpoint in the streetscape (a concern for emergency services in some conditions), and is not anticipated to change the streetscape would affect other property owners negatively. Not having a landing and stair would be unreasonable, but a front porch is an added nicety that will add usable space and value to the property. Other property owners in the area enjoy front porches similarly close to the ROW.

2. The variance will do substantial justice to the applicant, as well as to other property owners, and a lesser variance than requested will not give substantial relief to the applicant or be consistent with justice to other property owners.

Staff Comment: Allowing more than a minimal landing will accommodate the use of the front yard by occupants in a way many others enjoy. The visual impact can be debated if it is historically accurate

or the correct style. However, the promise of renovations for this neglected property should be an improvement for all in the neighborhood.

3. The need for the variance is due to unique circumstances peculiar to the land or structures involved that are not applicable to other land or structures in the same district.

Staff comment: The unique circumstances include the fact that the home is built 15'-6" into the setback. This is not a condition that has been created by the applicant. The building access has been changed over the course of time and it is not clear if the addition of a porch would be a return to a prior condition,

4. The problem and resulting need for the variance has not been self-created by the applicant or the applicant's predecessors. The variance will not cause significant adverse impacts to adjacent properties, the neighborhood or the city, and will not create a public nuisance or materially impair public health, safety, comfort, morals or welfare.

Staff comment: The request for a front porch is due to a desire by the Owner to have something larger than a simple landing and stair. A very nice aesthetic could be achieved with a small covered landing. The concern about the variance has come due to the Owner's history of lack of maintenance on this property (and others). That cause for concern has indeed been self-created as the Owner has not invested in maintenance of this property in the 10 years of ownership. The concern about past maintenance, in my opinion, should not prohibit an Owner from seeking improvements. It is anticipated that this property will become a rental. Reactivating this building to add available housing aligns with the City's goals in the current Master Plan. The City has no rental ordinance to provide oversight of rental properties and this Owner has a significant number of rental units in the City. I believe this is why this variance has drawn criticism, not necessarily the concern about adding a front porch to this structure. Will the addition of a rental in this location cause a nuisance for the neighbors? I do not think that having a porch will cause a nuisance, and the impact of a rental is not the question at hand.

The City Engineer and other staff have been consulted regarding the impact of building into this area of the setback and there are utilities that run in the area where the proposed porch and stair up would be built up to the ROW.

5. The alleged hardship and practical difficulties that will result from a failure to grant the variance include substantially more than mere inconvenience, or an inability to attain a higher financial return.

Staff comment: Not allowing a front porch would not cause a hardship, however a stair and landing would need to be allowed. That stair and landing, if oriented towards the street, would extend the same distance towards the street. The addition of the porch is indeed for financial gain: attract renters.

**RECOMMENDATION:**

It is my recommendation to approve variance #PVA26-0002, a dimensional variance to allow no front yard setback at 507 West Hanover with the following contingency:

Because the building will not be owner-occupied, work must be completed by a licensed contractor after plans are reviewed and permits approved by the Building Department.

A complete survey and site plan with Right-of-Way, drive and building locations be submitted for confirmation of compliance by City staff..

Site plan must be submitted to bring the rest of the site into current ordinance compliance including : Maintain right-of-way trees and providing for the installation of single paved drive that extends

through the side yard and allows for parking of at least 2 vehicles on the property but outside of the front yard.



---

**Fwd: Appeal #26.02 John Bruggeman**

---

**From** Kathy Dye <katjadye@aol.com>  
**Date** Thu 3/12/2026 11:51 AM  
**To** Marcia Strange <MStrange@cityofmarshall.com>

The City of Marshall Zoning of Appeals  
APPEAL # 26.02

We oppose the Dimensional Variance for 507 W Hanover.

We oppose this request due to the condition of the surrounding area. By taking the stairway out to the sidewalk it will be distracting and oversized. The owner bought this property several years ago and has not taken care of it. He is a known landlord for many properties in Marshall and does not take care of them. Several in this neighborhood. 302 S Sycamore street has had many roof leak causing mold that he would not repair. Tenants moved out and left everything. Garbage container left out at curb 24/7. Car with no plates parked between sidewalk and street (city property) for at least 2 years. Cars parking on sidewalk and city property. That house use to have a driveway...all of a sudden curb parking. Same at 421 W Hanover with curb parking. That house use to have 2 driveways, one on N side and 1 on W side. The house on 302 S Kalamazoo that is a duplex, had so much trash in Hanover street driveway and yard for several years, it's shameful. That one has new tenants now and looks decent. John Bruggeman bought 507 W Hanover knowing it was a Landmark. Look at the property and you can see it is an eyesore.

I may have mention things not related to extending a stairway and porch, but I felt it was necessary to look at the big picture.

That being said, I remember when an original stairway went straight up to the main floor from the sidewalk. At that time the property, all the way back, was maintained.

I wish city ordinances and zoning was enforced. We really need a Landlord checkpoint, before it's too late.

Sincerely,  
Kathy Dye  
Katjadye@aol.com  
Cell: 2692750410  
Robert Dye  
Bubdye@aol.com

Begin forwarded message:

**From:** Marcia Strange <MStrange@cityofmarshall.com>  
**Date:** March 12, 2026 at 11:01:24 AM EDT  
**To:** Kathy Dye <katjadye@aol.com>  
**Subject: Re: Appeal #26.02 John Bruggeman**

Hi Kathy-

Definitely. I am happy to include your comments in the packet for the Board members consideration. Email is fine - but I will need your comments by noon tomorrow to include in the packet.

Thank you for reaching out. I will look forward to your email.

Marcia Strange  
City of Marshall

Get [Outlook for iOS](#)

---

**From:** Kathy Dye <katjadye@aol.com>

**Sent:** Thursday, March 12, 2026 9:48:59 AM

**To:** Marcia Strange <MStrange@cityofmarshall.com>

**Subject:** Appeal #26.02 John Bruggeman

Good morning Marcia,

I would like to respond.

I will send a written response, may I email?

We are in FL on a vacation until April 8.

Sincerely,

Kathy Dye

Robert and Kathy Dye

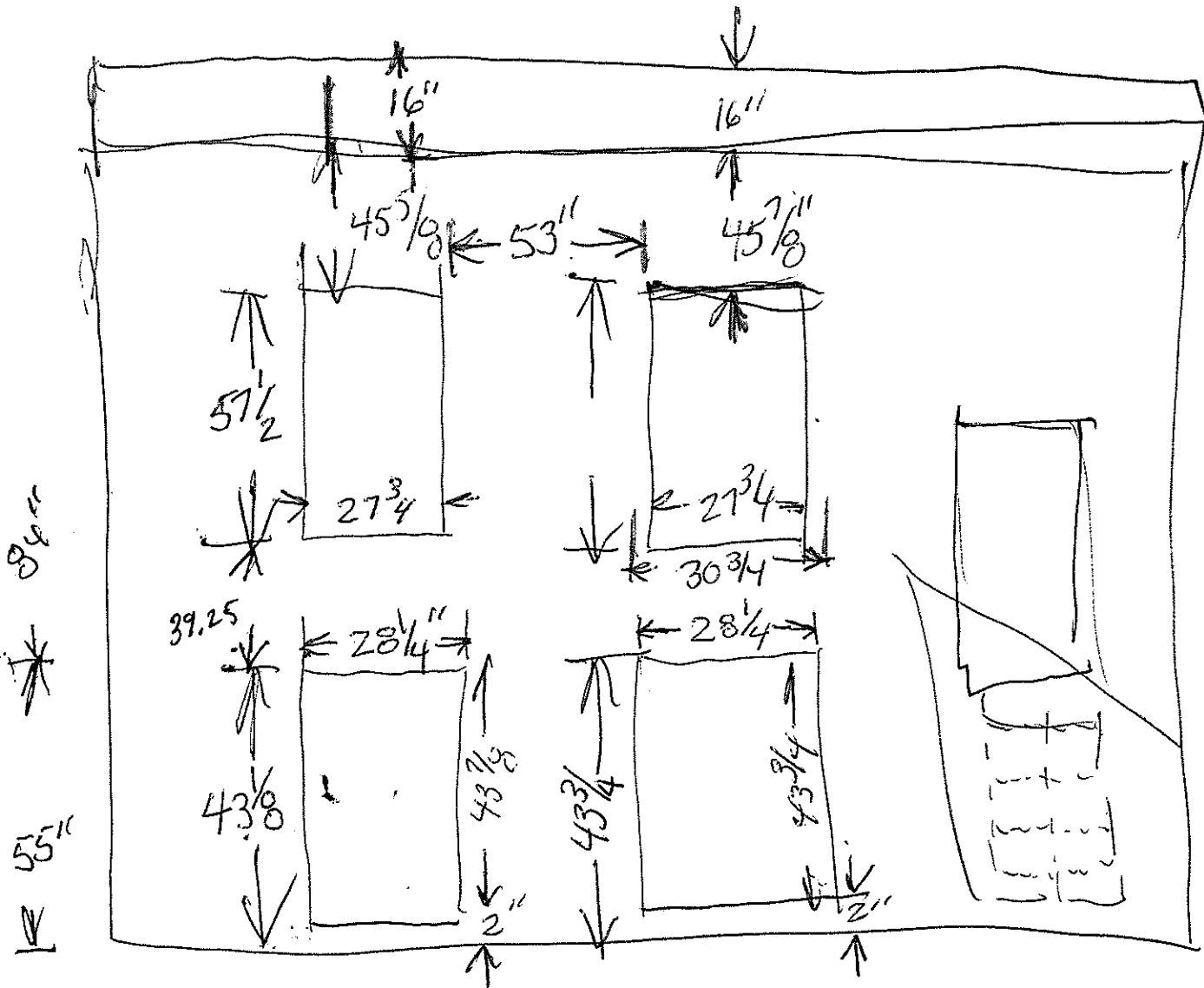
305 S Sycamore St

Marshall, MI 49068

Cell: 2692750410

Chicks

319 654 4214

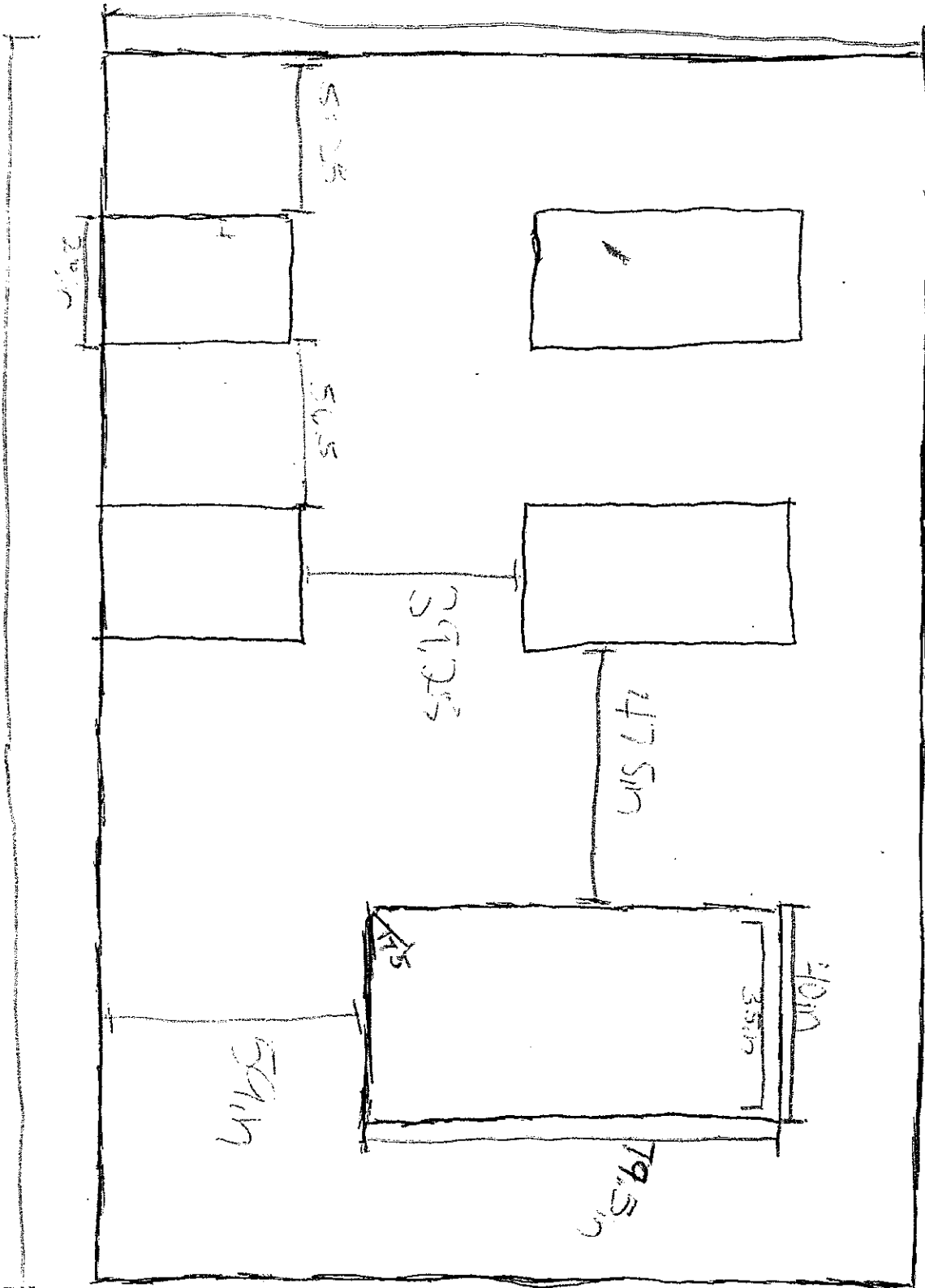


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$$\begin{array}{r} 39 \\ 51 \\ \hline 96 \end{array}$$

$$\begin{array}{r} 43 \\ 39 \\ 51 \\ 45 \\ 16 \\ \hline 200 \end{array}$$

292/2M



189.5M

01-13-26

John Bruggeman (owner)  
380 Lyon Lake Rd.  
Marshall, Mi. 49068

(Cover  
Letter)

a need for a variance is based on setbacks to the Road (Hanover St.) I have a historic building built in 1830's, <sup>which</sup> needs a new <sup>- Greek Revival -</sup> more conventional looking porch. This porch will match the Greek Revival style of the house will be six feet deep deck which is a two foot wider and will create a functional deck. There are several houses on Hanover St with similar setbacks.

The president of the historic society has said that they have no control of what I do. They also gave me their blessing! This will help keep the house attractive.



● front elevation ●



City of Marshall
ZONING BOARD OF APPEALS VARIANCE APPLICATION

Telephone (269) 781-3985

Address: 323 W Michigan Ave, Marshall, Michigan 49068

Fax (269) 789-4628

RESIDENTIAL FEE: \$400

COMMERCIAL FEE: \$400

Petitioner Name: John Bruggeman Property address 507 W Hanover
Address: 380 Lync Lake Rd
Phone: 269 589 5277 Email: John.Bruggeman58@gmail.com

Property Address for Variance:

Are you the owner? Yes [checked] No [ ] (Owner is required to sign this form)

Current Zone R-3 Current Use Empty - proposed residential

Zoning of abutting parcels All are R-3 Dimensional Variance [checked] Use Variance [ ]

Required attachments

- [checked] Plot Plan Attached (According to ordinance, you must include a plot plan of the site, drawn to scale, with a north arrow, all lot lines shown, street right-of-ways, any easements, any structures, setback dimensions, any parking areas, driveways, sidewalks, and any other site improvements)
[checked] Reasons for variance (A letter must be submitted with this application addressing how you feel you meet the criteria for a Dimension or Use variance-see back)

\*The ZBA meets on the 3rd Thursday of each month. Application must be received on or before the deadline date for the next scheduled meeting.

I understand that I am expected to attend the ZBA public hearing pertaining to this matter. If I am unable to attend, I will send a representative in my place. I understand that the application fee is non-refundable and does not apply to any future permits. Furthermore, if the variance is granted, I agree to obtain the appropriate permits before commencing work.

Signature of Petitioner: John Bruggeman
Signature of Owner: [Signature]

Date:
Date: 01-13-26

Questions concerning these requirements should be directed to the Planning and Zoning Office

Zoning Administrator- 269-781-3985

## **DIMENSIONAL VARIANCE**

***Please attach a letter addressing how your situation meets these criteria:***

*The granting of a variance from particular area, setback, frontage, height, bulk, density or other dimensional (non-use) standards of this Ordinance shall require a finding of practical difficulties based upon the following criteria:*

1. Strict Compliance with the specified dimensional standard(s) will deprive the applicant of rights commonly enjoyed by other property owners in the same zoning district, create an unnecessary burden on the applicant, or unreasonably prevent the owner from using the property for a permitted purpose.
2. The variance will do substantial justice to the applicant, as well as to other property owners, and a lesser variance than requested will not give substantial relief to the applicant or be consistent with justice to other property owners.
3. The need for the variance is due to unique circumstances peculiar to the land or structures involved that are not applicable to other land or structures in the same district.
4. The problem and resulting need for the variance has not been self-created by the applicant or the applicant's predecessors.
5. The variance will not cause significant adverse impacts to adjacent properties, the neighborhood or the City and will not create a public nuisance or materially impair public health, safety, comfort, morals or welfare.
6. The alleged hardship and practical difficulties that will result from a failure to grant the variance include substantially more than mere inconvenience, or an inability to attain a higher financial return.

## **USE VARIANCE**

***Please attach a letter addressing how your situation meets these criteria:***

*The granting of a variance from the use provisions of this Ordinance shall require a finding of unnecessary hardship, based upon the following criteria:*

1. The current zoning ordinance prohibits the property owner from securing any reasonable economic return or making any reasonable use of the property. Under this standard, the ZBA must find that the property (land, structures and other improvements) is not suitable for uses permitted in the zoning district.
2. The landowner's plight is due to unique circumstances peculiar to the property and not to general neighborhood conditions. Circumstances common to the larger neighborhood may reflect the unreasonableness of the zoning itself, which should be addressed through a rezoning or other legislative action.
3. The use variance, if granted, would not alter the essential character of the neighborhood. This standard requires consideration of whether the intent and purpose of the Ordinance and zoning district will be preserved, and the essential character of the area will be maintained.
4. The hardship is not the result of the applicant's actions. Under this standard, the ZBA must determine that the hardship that led to the use variance request was not self-created by the applicant. Purchase of a property with a pre-existing hardship does not constitute a self-created hardship. Financial hardships that would prevent reasonable use of the property shall be considered, but shall not be the only determining factor in granting a use variance.

Questions concerning these requirements should be directed to Trisha Nelson, Planning & Zoning Administrator at: (269) 781-5183.

2-10-26

507 Hanover St.

Shellenberger Tavern

- ① Adjacent Property Owners to the west
- |                   |                               |
|-------------------|-------------------------------|
| 515 W Hanover St. | 8 Foot to Sidewalk from porch |
| 517 W Hanover St. | " "                           |
| 523 W Hanover St. | 6 Foot to Sidewalk from porch |

Proposed Property at 507 West Hanover will be  
8 Foot from sidewalk

The depth of Proposed Porch at 507 Hanover  
will be 6 Foot to allow use to  
Patio Furniture and rocking chair.

- ② allowing variance will extend usability of  
Property which has been vacant for 10 year  
The house is 15' 6" in Setback as built. This  
allows for no front porch. Other property owners  
in the area have front porches as a valuable  
assets to there properties.

3. House was built in the 1830's and is in the top five oldest structures in Marshall. It is the last Marshall Sandstone house. Due to its location it requires similar setbacks like its neighboring houses.
4. The condition of the porch is already out of compliance due to the homes location. Multiple provisions such as stairs and landings configuration are also non-compliant and have deteriorated and must be removed to add the new front porch.
5. There are immediately adjacent homes with similar sized porches with similar setbacks (within inches) utilities are unimpacted by the proposed project and location. Gas utilities are on the West side of house out of the way. The Project will not create a public nuisance or materially impair public health, safety, comfort, morals or welfare.

2-10-26

507 Hanover St. (cont.)

#6 The historic Greek Rival Home has been built in the setback, even the landing for the steps, would be in the setback, house has been empty years. Adding a front porch will enhance its Greek Rival style and its utilitarian use.

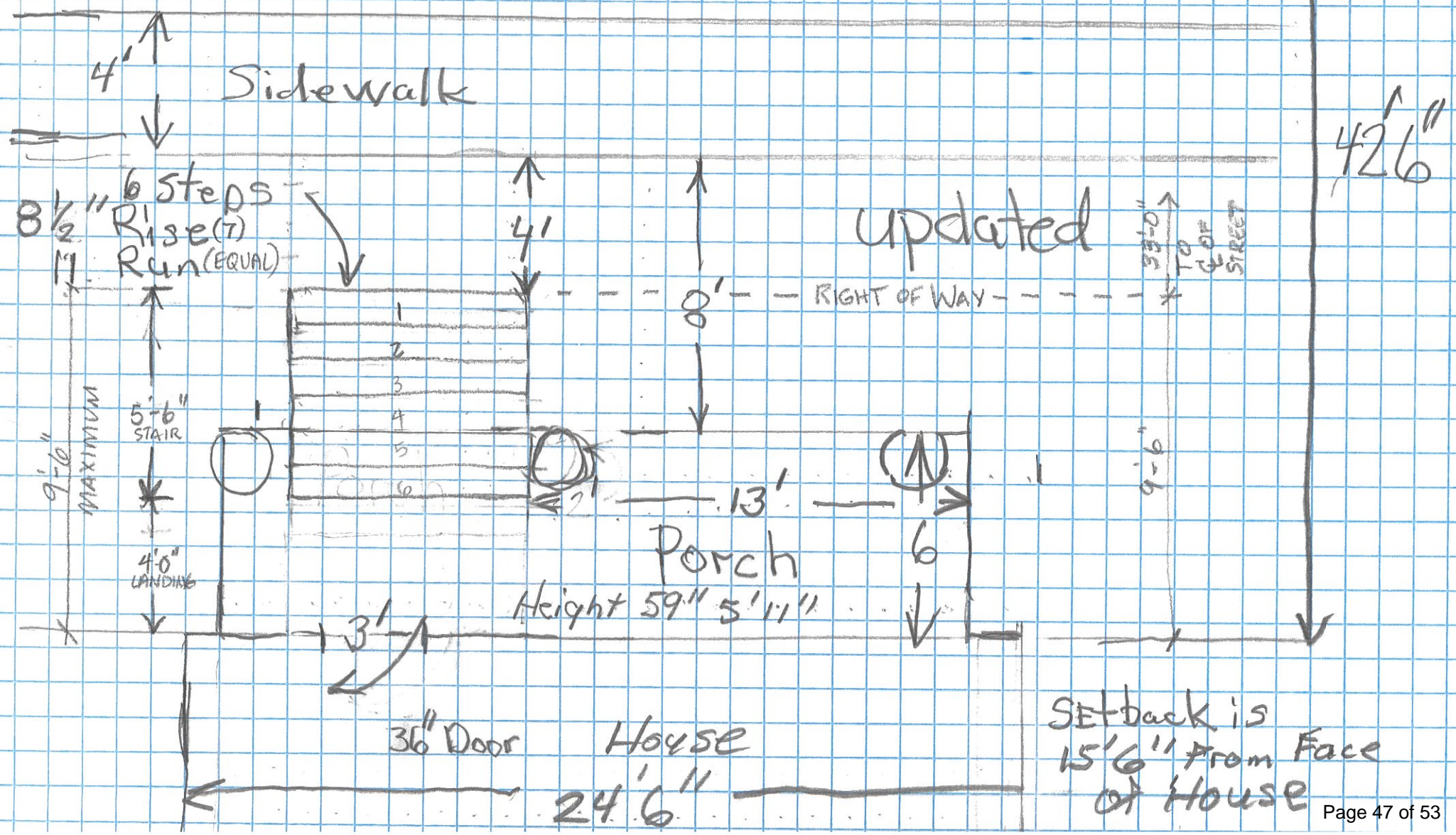
Thanks  
Jh

North

Middle of Street

507 W Hanover St.  
Tavern House

Columns 12" Diameter  
Platform 18" " "



W Hanover St

S Sycamore St

S Sycamore St

53-000-684-00



BRUGGEMAN JOHN W  
507 W HANOVER ST, MARSHALL



523 W Hanover St  
Marshall, Michigan

> Back to latest  



